

AGENDA



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
AUGUST 10, 2021 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = *RED*

(I) CALL TO ORDER

(II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

- (2) Approval of Minutes for the July 27, 2021 Planning and Zoning Commission meetings.

(3) **P2021-037 (HENRY LEE)**

Discuss and consider a request by Isaac Peña for the approval of a Final Plat for Lots 1 & 2, Block A, Isaac Addition being a 6.388-acre tract of land identified as Tract 1 of the J. A. Ramsey Survey, Abstract No. 186, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), addressed as 2185 S. FM-549, and take any action necessary.

(4) **P2021-040 (DAVID GONZALES)**

Consider a request by Jeremy Nelson of McAdams Co. on behalf of Spencer Byington of SWBC Rockwall, LP for the approval of a Final Plat for Lot 1, Block A, SWBC Rockwall Addition, Phase 2 being currently identified as a 21.275-acre tract of a larger 42.555-acre tract of land identified as Tract 1-4 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development 83 (PD-83) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, located east of the intersection of Discovery Boulevard and John King Boulevard, and take any action necessary.

(5) **P2021-041 (DAVID GONZALES)**

Discuss and consider a request by Humberto Johnson, Jr. of the Skorburg Company on behalf of Ben Klutts, Jr. of the Klutts Farm, LLC for the approval of a Master Plat for the Homestead Subdivision being a 196.009-acre tract of land identified as Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 92 (PD-92), generally located at the northeast corner of the intersection of FM-549 and FM-1139, and take any action necessary.

(6) **P2021-044 (DAVID GONZALES)**

Discuss and consider a request by Kevin Harrell of the Skorburg Company on behalf of Ben Klutts, Jr. of the Klutts Farm, LLC for the approval of a Preliminary Plat for the Homestead Subdivision being a 196.009-acre tract of land identified as Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 92 (PD-92), generally located at the northeast corner of the intersection of FM-549 and FM-1139, and take any action necessary.

(7) **SP2021-023 (HENRY LEE)**

Discuss and consider a request by Rob Baldwin of Baldwin Associates, LLC on behalf of Matt Gillen CM Goliad I GO, LLC for the approval of an Amended Site Plan for a Restaurant on a 2.2297-acre parcel of land identified as Lot 1, Block 11, Rockwall Centre Corners Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-276 Overlay (SH-276 OV); the IH-30 Overlay (IH-30 OV); and the SH-205 Overlay (SH-205 OV) Districts, addressed as 2235 S. Goliad Street [SH-205], and take any action necessary.

(V) PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

(8) **Z2021-028 (RYAN MILLER)**

Hold a public hearing to discuss and consider approval of a Text Amendment to Section 10, *Fee Schedule*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02] for the purpose of creating a *Non-Compliant Structure* application fee for Specific Use Permit (SUP) applications.

(9) **Z2021-029 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Ed Cavendish of Cavendish Homes for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1465-acre parcel of land identified as Lot 28, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 104 Reliance Court, and take any action necessary.

(10) **Z2021-030 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Ed Cavendish of Cavendish Homes for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1637-acre parcel of land identified as Lot 12, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 118 Mischief Lane, and take any action necessary.

(11) **Z2021-031 (DAVID GONZALES)**

Hold a public hearing to discuss and consider a request by Tino and Judy Liscano on behalf of Jeremy Lance Epton for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a 4.95-acre parcel of land identified as Lot 1, Block A, Epton Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 2065 & 2075 Airport Road, and take any action necessary.

(VI) ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(12) **SP2021-015 (DAVID GONZALES)**

Discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of Kris Sharp for the approval of a Site Plan for a warehouse/office building on a 1.914-acre parcel of land identified as Lot 5, Block A, Sharp Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, generally located on the southside of Springer Road west of the intersection of Springer Road and Data Drive, and take any action necessary.

(13) **SP2021-021 (DAVID GONZALES)**

Discuss and consider a request by Keaton Mai of the Dimension Group behalf of Russell Phillips of Rockwall 205 Investors, LLC for the approval of a Site Plan for a *Retail Store with Gasoline Sales* on a 1.503-acre portion of a larger tract of land being a 34.484-acre tract of land identified as Tracts 17-5 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at east of the intersection of S. Goliad Street [SH-205] and S. FM-549, and take any action necessary.

(VII) DISCUSSION ITEMS

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission.

(14) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- P2021-038: Replat for Lots 2-7, Block A, Sky Ridge Addition **(APPROVED)**
- P2021-039: Final Plat for Lot 1, Block A, Rockwall Friendship Baptist Church Addition **(APPROVED)**
- P2021-042: Replat for Lot 2, Block A, Ladera Rockwall Addition **(APPROVED)**
- P2021-043: Conveyance Plat for Lots 1 & 2, Block B, Fit Sport Life Addition **(APPROVED)**

- MIS2021-008: Alternative Tree Mitigation Settlement Agreement for RISD (**APPROVED**)
- Z2021-020: SUP for a House of Worship at 1500 Sunset Hill Drive (**APPROVED; 2ND READING**)
- Z2021-021: SUP for a Mini-Warehouse Facility at 1280 E. Ralph Hall Parkway (**APPROVED; 2ND READING**)
- Z2021-022: SUP for a Residential Infill at 147 Eva Place (**APPROVED; 2ND READING**)
- Z2021-024: Zoning Amendment to Planned Development District 46 (PD-46) (**APPROVED; 2ND READING**)
- Z2021-025: SUP for a Residential Infill at 154 Lynne Drive (**APPROVED; 2ND READING**)
- Z2021-026: Amendment to Planned Development District 8 (PD-8) (**APPROVED; 1ST READING**)

(VIII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on August 6, 2021 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
JULY 27, 2021 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

I. CALL TO ORDER

Chairman Chodun called the meeting to order at 6:00 PM. Commissioners present were John Womble, Derek Deckard, Sedric Thomas, Mark Moeller, Jean Conway and Vice-Chairman Jerry Welch. Staff members present were Planning and Zoning Director Ryan Miller, Planning and Zoning Manager David Gonzales, Planning and Zoning Coordinator Angelica Gamez, Planner Henry Lee, City Engineer Amy Williams, Civil Engineers Jeremy White and Sarah Johnston, and Fire Marshall Ariana Kistner.

II. OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

Chairman Chodun explained how open forum is conducted and asked if anyone wished to speak to come forward at this time.

Jim Pruitt
110 S. Goliad Street
Rockwall, TX 75087

Mr. Pruitt came forward and provided clarity in regards to the 380 agreement that was signed when he was Mayor of City of Rockwall.

Darlene Reed
701 S. Alamo
Rockwall, TX 75087

Mrs. Reed came forward and expressed her opposition to the construction of the apartments in Downtown Rockwall.

Howard Haddock
155 Willowcrest
Rockwall, TX 75032

Mr. Haddock came forward and expressed his opposition to the construction of the apartments in Downtown Rockwall.

Jim Turner
1691 E. Old Quail Run Road
Rockwall, TX 75087

Mr. Turner came forward and provided a PowerPoint in regards to the construction of the apartments in downtown Rockwall.

Charles Stall
503 Westway Drive
Rockwall, TX 75087

Mr. Stall came forward and expressed his opposition to the construction of the apartments in downtown Rockwall.

Frank Tyminski
815 Oak Hollow Lane
Rockwall, TX 75087

Mr. Tyminski came forward and provided a PowerPoint in regards to public safety, emergency response, high tension power lines, and TxDot traffic Impact Analysis.

Bob Wacker
309 Featherstone Drive
Rockwall, TX 75087

Mr. Wacker came forward and provided a PowerPoint in regards to the apartments in downtown Rockwall.

Johnny L. Johnson
303 N. Clark Street
Rockwall, TX 75087

Mr. Johnson came forward and expressed his opposition to the apartments in Downtown Rockwall due to safety measures.

Dayan Velasquez
787 Mountcastle Drive
Rockwall, TX 75087

Mr. Velasquez came forward and expressed his opposition to the apartments in downtown Rockwall due to traffic and lack of parking.

Josh Tucker
544 La Grange Drive
Fate, TX 75087

Mr. Tucker came forward and expressed his opposition to the apartments in downtown Rockwall.

Janice Carson
826 Oak Hollow Lane
Rockwall, TX 75087

Mrs. Carson came forward and expressed her opposition to the apartments in downtown Rockwall.

Chairman Chodun asked if there was anyone else who wished to speak. There being no one coming forward, Chairman Chodun closed the open forum.

III. CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

1. Approval of Minutes for the July 13, 2021 Planning and Zoning Commission meeting.

2. **P2021-038 (HENRY LEE)**

Consider a request by Bill Thomas of Engineering Concepts & Design on behalf of Josh Swiercinsky of 7.1 Ridge, LLC for the approval of a Replat for Lots 2-7, Block A, Sky Ridge Addition being a 8.583-acre parcel of land identified as Lot 1, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, generally located west of the intersection of Ridge Road [FM-740] and W. Yellow Jacket Lane, and take any action necessary.

3. **P2021-039 (HENRY LEE)**

Consider a request by Shanon Thomas of Rockwall Friendship Baptist Church for the approval of a Final Plat for Lot 1, Block A, Rockwall Friendship Baptist Church Addition being a 3.94-acre tract of land identified as Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 5651 SH-276, and take any action necessary.

4. **P2021-042 (DAVID GONZALES)**

Discuss and consider a request by Justin Lansdowne of McAdams Co. on behalf of John Delin of RW Ladera, LLC for the approval of a Replat for Lot 2, Block A, Ladera Rockwall Addition being a 37.8-acre tract of land identified as Lot 1, Block A, Ladera Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 85 (PD-85), situated within the 205 By-Pass Overlay (205 BY-OV) and the East SH-66 Overlay (E SH-66 OV) District, located at the northeast corner of the intersection of SH-66 and John King Boulevard, and take any action necessary.

5. **P2021-043 (ANGELICA GAMEZ)**

Consider a request by Randall Eardley of Wier & Associates, Inc. on behalf of Stephen Doyle of Structured REA-Rockwall Land, LLC for the approval of a Conveyance Plat for Lots 1 & 2, Block B, Fit Sport Life Addition being a 12.807-acre portion of a larger 31.65-acre tract of land identified as Tract 22-2 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located at the southeast corner of the intersection of Corporate Crossing [FM-549] and the IH-30 Frontage Road, and take any action necessary.

Commissioner Thomas made a motion to approve the consent agenda. Vice-Chairman Welch seconded the motion which passed by a vote of 7-0.

IV. PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

6. **Z2021-026 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Troy Lewis of Newstream Capital Partners for the approval of a Zoning Change to amend Planned Development District 8 (PD-8) [Ordinance No. 92-39] for the purpose of allowing townhomes on a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [Ordinance No. 92-39] for Zero Lot Line (ZL-5) District land uses, generally located south on the south side of Henry M. Chandler Drive west of Ridge Road [FM-740], and take any action necessary.

Director of Planning and Zoning Ryan Miller came forward and provided a summary in regards to the request. This case was tabled at the last meeting and it dealt with a proposal to construct 36 townhome lots on the subject property. The applicant is proposing to amend the current zoning to incorporate the concept plan shown. The issues encountered during the first meeting involved it not conforming to the anti-monotony requirements. Staff would like to point out that it is still deficient in terms of the City's General Residential district standards for anti-monotony. The applicant is also proposing flat front entry garages which our Code states about providing alley served access or j-swing or recessed front entry. In this case, the applicant is proposing 100% flat front entry. There were also deviations between lot size and lot width. This item does not conform to the Comprehensive Plan even though they are not changing the density of the district. The Future Land Use Map shows this as being medium density residential and the proposed zoning change would need to that to high density residential. The Chandlers Landing Homeowners Association (HOA) has provided a letter that this project will be a part of the Chandlers Landing Community. Staff has received additional property owner notifications in regards to the case. As of tonight there have been 14 property owner notifications and 5 emails in opposition of the applicant's request. There have also been 11 property owner notifications and 5 emails turned in in favor of the applicant's request. Mr. Miller then advised the Commission that the applicant and Staff were present and available to answer questions.

Commissioner Womble asked if they received clarity from the Chandlers Landing HOA.

Chairman Chodun asked the applicant to come forward.

Troy Lewis
311 S. Oak Street
Roanoke, TX 76262

Mr. Lewis came forward and provided a PowerPoint presentation in regards to the request.

Commissioner Womble asked if the applicant was proposing to utilize any of the green space on the property.

Commissioner Thomas asked about incorporating a trail system.

Commissioner Deckard wanted to warn the applicant about the building frontage. He also had some comments in regards to the elevations shown.

Commissioner Conway expressed that she would like for the applicant to show the condos as individual units or unique units.

Vice-Chairman Welch wanted to clarify whether or not the rest of the Spyglass HOAs were a part of Chandlers Landing. He also wanted to confirm that this would go before the Architectural Review Board (ARB) at some point in time.

Commissioner Moeller wanted clarification on the density of the project.

Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward at this time.

Bob Wacker
309 Featherstone Drive
Rockwall, TX 75087

Mr. Wacker came forward and had a question regarding the ARB.

Scott Mason
275 Henry M. Chandler Drive
Rockwall, TX 75032

Mr. Mason came forward and expressed his concerns in regards to the fire access on some of the units.

Michael Sykora
11 Lakeway Drive
Heath, TX 75032

Mr. Sykora came forward and expressed his opposition to the request.

Chip Imrie
323 Harbor Landing Drive
Rockwall, TX 75032

Mr. Imrie came forward and expressed clarification in regards to the HOAs. He added that he and other board members have been in meetings with the applicant. He explained that he provided a letter on behalf of Chandlers Landing and their attorney stating that this was a part of PD-8.

Chairman Chodun asked if anyone else wished to speak; there being no one indicating such, Chairman Chodun closed the public hearing and returned the item back to the Commission for discussion or action.

Commissioner Thomas made a motion to approve item Z2021-026 with staff recommendations. Commissioner Conway seconded the motion which passed by a vote of 7-0.

Chairman Chodun advised that the item will be brought before the City Council on August 2, 2021.

V. ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

7. MIS2021-008 (HENRY LEE)

Discuss and consider a request by Ronny Klingbeil of RLK Engineering, Inc. on behalf of Will Salee of Rockwall ISD for the approval of a Treescape Plan on a 35.295-acre parcel of land identified as Lot 1, Block A, Rockwall High School Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 901 W. Yellow Jacket Lane, and take any action necessary.

Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting the approval of a treescape plan in alternative of a tree mitigation settlement agreement. The treescape plan submitted by the applicant indicates that 26 live oak trees should be removed creating a mitigation balance of 319 inches. They also indicated that a 26-inch live oak will be saved and that ten (10) 4-inch caliper trees be planted to reduce the 319-inch mitigation balance to 253 inches. The applicant has indicated the remaining balance will be paid in full for \$50,600 for the remaining inches (i.e. \$200.00 x 253-inches). In this case the applicant is requesting an Alternative Tree Mitigation Settlement Agreement, to purchase 79.3% of their preservation credits. Mr. Lee advised that this is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

Chairman Chodun asked the applicant to come forward.

Ronny Klingbeil
111 W. Main Street
Allen, TX 75013

Will Salee (RISD)
115 Parkwood Drive
Wylie, TX 75098

Both Mr. Klingbeil and Mr. Salee came forward and provided additional details in regards to their request.

Commissioner Moeller made a motion to approve item MIS2021-008 with staff recommendations. Commissioner Thomas seconded the motion which passed by a vote of 7-0.

8. SP2021-020 (RYAN MILLER)

Consider a request by Josh Millsap of KFM Engineering & Design on behalf of the Estate of Billy W. Peoples and Myreli, LLC for the approval of a Site Plan for a Multi-Family Apartment Building (i.e. Urban Residential) on a 3.338-acre tract of land identified as Lots 1, 2, 3, 4, 5, 6, 7, & 8, Block P and Lots 1 & 2, Block AB, Rockwall OT Addition and Lots 4 & 5, Block A and Lots 4 & 5, Block B, Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated at the southwest corner of the intersection of SH-66 and SH-205 [N. Goliad Street], and take any action necessary.

Director of Planning and Zoning Ryan Miller provided a history of the downtown district and gave a summary in regards to the case. In December 2001, the Hometown 2000 Comprehensive Plan was adopted. Under the land use section of this plan is where we see the framework of what would become urban residential. It also states that mixed use or urban housing within 5 minute walk to the downtown area should be encouraged. The plan goes on to define urban housing as 'characterized by multi-family or loft style units.' However, the plan states that these types of development should have direct access to structured parking and recreational amenities. Staff should note that some of the same consultants who worked on the Hometown 2000 Comprehensive Plan also worked on that Downtown plan. The Downtown plan calls for a variety of housing including townhomes, lofts, and big homes such as duplexes, triplexes, and quadplexes. The Unified Development Code was adopted in June 2004 and it contained urban residential land use. At the time of adoption, the urban residential land use was allowed by right in the central business district and by specific use permit in the Multi-Family 14 District. Mr. Miller explained the differences between urban residential and multi-family structures. After several meetings with staff and management, the applicant proposed the idea that in exchange for the City's land the applicant would construct a secure parking garage for the police department. It could eventually be converted into public parking in the event that the police department no longer needed the parking garage. This request then went before the City Council in December 2018. A lot of things went into consideration when looking at this request specifically that this was already an allowed by-right land use. Also, the applicant had a purchase contract for five (5) of the parcels indicating that he was going to develop those parcels. They also looked at differences between what that would look like in the event that it was developed in that manner and then developed as one contiguous project. The other thing that they looked at was the 380 agreement. The applicant was proposing additional amenity that could potentially provide a better overall product and had the potential to provide higher rental value. Based on this, the City Council agreed to enter into the 380

agreement incorporating the proposed amenity package and the police parking lot into the agreement. Prior to initiating this contract, the City began its public process by putting out a request for proposals which was posted in the Rockwall Herald Banner on June 28, 2019. This process allowed anyone to make a proposal on the land use around the land prior to the sale or conveyance of the land. Staff only received one (1) proposal during this process and it was from the applicant. In addition, the applicant completed an infrastructure study in October of 2019 indicating that the proposed development could be adequately served by the City's existing water and wastewater system. In accordance with this agreement, the applicant submitted a conveyance plat and site plan on June 18, 2021 with the conveyance plat being approved on July 6, 2021. When looking at the site plan, the applicant is looking to develop the property with a 263-unit multi-family apartment complex. Mr. Miller then gave further details in regards to the apartment complex and showed the proposed parking lot that meets the terms of the 380 agreement. Staff should note that this item was taken to the Architectural Review Board (ARB) who reviewed this and voted 5-0 to recommend approval to the Planning and Zoning Commission.

Commissioner Deckard wanted clarification in regards to the access to the south of the building as well as access to crosswalks in the area. He also wanted explanation as to the cost the land was bought for as well as who voted to approve the item in ARB and recommend approval to the Planning and Zoning Commission.

Commissioner Moeller had a question in regards to the moratorium of the height of buildings in the historic district. He asked if City Council could create a restriction for any future developments at any length of time.

Vice-Chairman Welch expressed that he read 27 standards that are required for this project and every standard was in compliance.

Chairman Chodun asked when would be the earliest time period that this project would have been allowed.

Chairman Chodun asked the applicant to come forward.

Bill Dahlstrom (Applicant's Attorney)
2323 Ross Avenue, Suite 600
Dallas, TX 75201

Mr. Dahlstrom came forward and provided additional details in regards to his request.

Chairman Chodun then asked the applicant to come forward and respond to the public's comments to the case.

Tony Austin
2300 Versailles Court
Heath, TX 75032

Mr. Austin came forward and was prepared to answer questions.

Commissioner Thomas wanted further clarification in regards to the amenities inside the apartment complex.

Commissioner Deckard made a motion to approve item SP2021-020 with Commissioner Moeller seconding the motion. After brief discussion, the motion to approve passed by a vote of 6-1 with Chairman Chodun dissenting.

VI. DISCUSSION ITEMS

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is August 10, 2021.

9. Z2021-028 (RYAN MILLER)

Hold a public hearing to discuss and consider approval of a Text Amendment to Section 10, Fee Schedule, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC) [Ordinance No. 20-02] for the purpose of creating a Non-Compliant Structure application fee for Specific Use Permit (SUP) applications.

Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. At the May 17, 2021 meeting, the City Council directed Staff to look at ways to deter residents from constructing non-compliant structures without a building permit. Staff has created an alternative application fee of \$1000.00 to be added to the Specific Use Permit application fee (SUP) when a structure is already in place without a building permit or when it is not in accordance with a permit. Mr. Miller then advised that staff was available to answer any questions.

The City Attorney wanted to confirm that this was not a penalty and it was to reimburse the City for the added cost of when a structure has been built.

Vice-Chairman Welch asked how they intend to inform the public about this update.

Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on August 10, 2021.

10. Z2021-029 (HENRY LEE)

Hold a public hearing to discuss and consider a request by Ed Cavendish of Cavendish Homes for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1465-acre parcel of land identified

as Lot 28, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 104 Reliance Court, and take any action necessary.

Planner Henry Lee provided a brief summary in regards to the request. The proposed home does meet all of the density and dimensional requirements from the UDC. The only thing they are requesting is a waiver to the garage orientation.

Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on August 10, 2021.

11. Z2021-030 (HENRY LEE)

Hold a public hearing to discuss and consider a request by Ed Cavendish of Cavendish Homes for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1637-acre parcel of land identified as Lot 12, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 118 Mischief Lane, and take any action necessary.

Planner Henry Lee provided a brief summary in regards to the request. The proposed home does meet all of the density and dimensional requirements from the UDC. The only thing they are requesting is a waiver to the garage orientation.

Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on August 10, 2021.

12. Z2021-031 (DAVID GONZALES)

Hold a public hearing to discuss and consider a request by Tino and Judy Liscano on behalf of Jeremy Lance Epton for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a 4.95-acre parcel of land identified as Lot 1, Block A, Epton Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 2065 & 2075 Airport Road, and take any action necessary.

Chairman Chodun asked the applicant to come forward.

**Jeremy Epton
2075 Airport Road
Rockwall, TX 75087**

Mr. Epton came forward and provided a brief summary in regards to the request.

Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on August 10, 2021.

13. P2021-037 (HENRY LEE)

Discuss and consider a request by Isaac Peña for the approval of a Final Plat for Lots 1 & 2, Block A, Isaac Addition being a 6.388-acre tract of land identified as Tract 1 of the J. A. Ramsey Survey, Abstract No. 186, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), addressed as 2185 S. FM-549, and take any action necessary.

Planner Henry Lee provided a brief summary in regards to the request. The plat needs to be reviewed by Rockwall County and will return as a Consent Agenda item at the next meeting.

Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on August 10, 2021.

14. P2021-040 (DAVID GONZALES)

Consider a request by Jeremy Nelson of McAdams Co. on behalf of Spencer Byington of SWBC Rockwall, LP for the approval of a Final Plat for Lot 1, Block A, SWBC Rockwall Addition, Phase 2 being currently identified as a 21.275-acre tract of a larger 42.555-acre tract of land identified as Tract 1-4 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development 83 (PD-83) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, located east of the intersection of Discovery Boulevard and John King Boulevard, and take any action necessary.

Planning and Zoning Manager David Gonzales provided a brief summary in regards to the request. This request must be reviewed by the Parks Board and will return as a Consent Agenda item at the next meeting.

Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on August 10, 2021.

15. P2021-041 (DAVID GONZALES)

Discuss and consider a request by Humberto Johnson, Jr. of the Skorburg Company on behalf of Ben Klutts, Jr. of the Klutts Farm, LLC for the approval of a Master Plat for the Homestead Subdivision being a 196.009-acre tract of land identified as Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 92 (PD-92), generally located at the northeast corner of the intersection of FM-549 and FM-1139, and take any action necessary.

Planning and Zoning Manager David Gonzales provided a brief summary in regards to the request. This request must be reviewed by the Parks Board and will return as a Consent Agenda item at the next meeting.

Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on August 10, 2021.

16. **P2021-044 (DAVID GONZALES)**

Discuss and consider a request by Kevin Harrell of the Skorburg Company on behalf of Ben Klutts, Jr. of the Klutts Farm, LLC for the approval of a Preliminary Plat for the Homestead Subdivision being a 196.009-acre tract of land identified as Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 92 (PD-92), generally located at the northeast corner of the intersection of FM-549 and FM-1139, and take any action necessary.

Planning and Zoning Manager David Gonzales provided a brief summary in regards to the request. This request must be reviewed by the Parks Board and will return as a Consent Agenda item at the next meeting.

Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on August 10, 2021.

17. **SP2021-015 (DAVID GONZALES)**

Discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of Kris Sharp for the approval of a Site Plan for a warehouse/office building on a 1.914-acre parcel of land identified as Lot 5, Block A, Sharp Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, generally located on the southside of Springer Road west of the intersection of Springer Road and Data Drive, and take any action necessary.

Chairman Chodun asked the applicant to come forward.

Planning and Zoning Manager David Gonzales advised that ARB did not meet today to review this item due to not having a quorum.

**Greg Wallis
1520 E. I-30
Rockwall, TX 75087**

Mr. Wallis came forward and was prepared to answer questions.

Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on August 10, 2021.

18. **SP2021-021 (DAVID GONZALES)**

Discuss and consider a request by Keaton Mai of the Dimension Group behalf of Russell Phillips of Rockwall 205 Investors, LLC for the approval of a Site Plan for a Retail Store with Gasoline Sales on a 1.503-acre portion of a larger tract of land being a 34.484-acre tract of land identified as Tracts 17-5 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at east of the intersection of S. Goliad Street [SH-205] and S. FM-549, and take any action necessary.

Chairman Chodun asked the applicant to come forward.

Planning and Zoning Manager David Gonzales advised that ARB did not meet today to review this item due to not having a quorum.

**Keaton Mai
10755 Sandhill Road
Dallas, TX 75238**

Mr. Mai came forward and provided a brief summary in regards to the request.

Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on August 10, 2021.

19. **SP2021-023 (HENRY LEE)**

Discuss and consider a request by Rob Baldwin of Baldwin Associates, LLC on behalf of Matt Gillen CM Goliad I GO, LLC for the approval of an Amended Site Plan for a Restaurant on a 2.2297-acre parcel of land identified as Lot 1, Block 11, Rockwall Centre Corners Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-276 Overlay (SH-276 OV); the IH-30 Overlay (IH-30 OV); and the SH-205 Overlay (SH-205 OV) Districts, addressed as 2235 S. Goliad Street [SH-205], and take any action necessary.

Chairman Chodun asked the applicant to come forward.

**Rob Baldwin
3904 Elm Street
Dallas, TX 75226**

Mr. Baldwin came forward and provided a brief summary in regards to the request.

Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on August 10, 2021.

20. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- P2021-033: Final Plat for Lots 1 & 2, Block A, Aaron Selden Addition [APPROVED]
- P2021-036: Preliminary Plat for the Landon Subdivision, Phase 2 Addition [APPROVED]

- Z2021-020: SUP for a House of Worship at 1500 Sunset Hill Drive [APPROVED; 1st READING]
- Z2021-021: SUP for a Mini-Warehouse Facility at 1280 E. Ralph Hall Parkway [APPROVED; 1st READING]
- Z2021-022: SUP for a Residential Infill at 147 Eva Place [APPROVED; 1st READING]
- Z2021-023: SUP for an Accessory Building at 3221 Diamond Way Drive [DENIED]
- Z2021-024: Zoning Amendment to Planned Development District 46 (PD-46) [APPROVED; 1st READING]
- Z2021-025: SUP for a Residential Infill at 154 Lynne Drive [APPROVED; 1st READING]

Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.

VII. ADJOURNMENT

Chairman Chodun adjourned the meeting at 9:28 P.M.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____, 2021.

Eric Chodun, Chairman

Attest:

Angelica Gamez, Planning and Zoning Coordinator



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 10, 2021
APPLICANT: Isaac Peña
CASE NUMBER: P2021-037; *Lots 1 & 2, Block A, The Isaac Addition (ETJ)*

SUMMARY

Discuss and consider a request by Isaac Peña for the approval of a Final Plat for Lots 1 & 2, Block A, Isaac Addition being a 6.388-acre tract of land identified as Tract 1 of the J. A. Ramsey Survey, Abstract No. 186, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), addressed as 2185 S. FM-549, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a Final Plat for a 6.388-acre tract of land, creating *Lots 1 & 2, Block A, The Isaac Addition*, which is identified as Tract 1 of the J. A. Ramsey Survey, Abstract No. 186 and is situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ). The purpose of the final plat is to subdivide the subject property into two (2) lots (*i.e. Lots 1 & 2, Block A, The Isaac Addition*). The subject property is generally located on the east side of S. FM-549 and north of Jams Lane in Rockwall County.
- The proposed final plat is subject to the requirements of Chapter 38, *Subdivisions*, of the City's Municipal Code of Ordinances, the City's *Standards of Design and Construction Manual*, and *Exhibit 'A', Subdivision Regulations for Review of Plats in the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall*, of the *Interim Interlocal Agreement between Rockwall County and the City of Rockwall*.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by Chapter 38, Subdivisions, of the Municipal Code of Ordinances and Exhibit 'A' of the Interim Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances and *Exhibit 'A'* of the *Interim Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall*.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Final Plat for *Lots 1 & 2, Block A, The Isaac Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) and Rockwall County shall be addressed prior to filing of the plat with Rockwall County; and,
- (2) The applicant shall have the city approved plat mylar signed by the Rockwall County Judge prior to staff accepting the plat for filing purposes; and,

- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2021-037

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2185 FM 549 Rockwall TX 75032
 SUBDIVISION The (Isaac Addition) LOT 142 BLOCK A
 GENERAL LOCATION J.A. Ramsey Survey Between Wimberley & Jams Ln.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING None CURRENT USE same
 PROPOSED ZONING None PROPOSED USE same
 ACREAGE 6.54 LOTS [CURRENT] 1 LOTS [PROPOSED] 2

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Isaac Peña APPLICANT
 CONTACT PERSON Isaac CONTACT PERSON
 ADDRESS 2185 FM 549 ADDRESS
 CITY, STATE & ZIP Rockwall Tx. 75032 CITY, STATE & ZIP
 PHONE (214) 732-8020 PHONE
 E-MAIL cajlepei1@gmail.com E-MAIL

NOTARY VERIFICATION [REQUIRED]

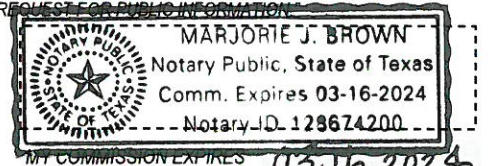
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ISAAC PENA [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 737.26 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 29 DAY OF JUNE, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 29 DAY OF JUNE, 2021.

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]



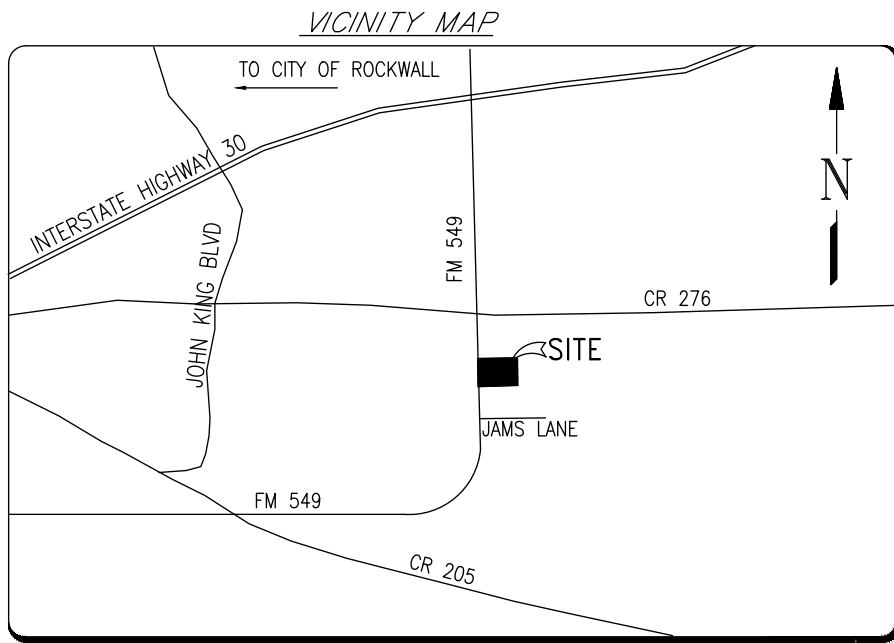


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





NOT TO SCALE
MAPSCO #304 H

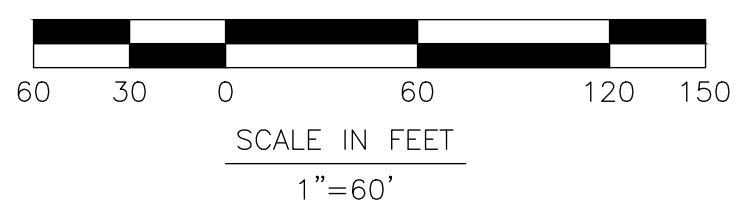
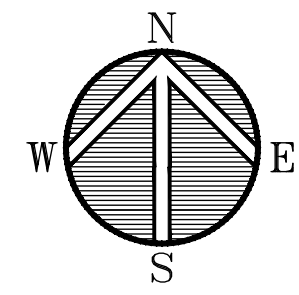
LEDGEND
D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS

ALENE YEAGER, DOROTHY POOLE,
VIRGINIA BEAVER, AND HUGH B. LOFTLAND, JR.
VOLUME 102, PAGE 560
D.R.R.C.T.
(CALLED 146.576 ACRES)

5,824 SQ. FT. FOR STATE
HIGHWAY PURPOSES
INSTR. No. 20200000003808
O.P.R.R.C.T.

10' BLACKLAND WATER
SUPPLY CORP. EASEMENT
VOLUME 75, PAGE 549
D.R.R.C.T.

NORTH TEXAS MUNICIPAL
WATER DISTRICT EASEMENT
INSTR. NO. 200700374137
O.P.R.R.C.T.



TBPE FIRM CERTIFICATE OF REGISTRATION NO. F-2956
TBPE&LS FIRM CERTIFICATE OF REGISTRATION NO. F-10042000

F.M. 549
(A VARIABLE WIDTH RIGHT-OF-WAY)

F.M. 549
(A VARIABLE WIDTH RIGHT-OF-WAY)

APPROXIMATE CITY LIMIT

TX DOT MON FND
N26°49'00"E, 0.46'
N=7,013,968.73
E=2,607,486.48

TX DOT MON FND
N00°26'49"E, 199.37'

TX DOT MON FND
N00°26'49"E, 255.51'

TX DOT MON FND

TX DOT MON FND

TX DOT MON FND

TX DOT MON FND

TX DOT MON FND

TX DOT MON FND

TX DOT MON FND

TX DOT MON FND

TX DOT MON FND

TX DOT MON FND

50' NORTH TEXAS MUNICIPAL
WATER DISTRICT EASEMENT
VOLUME 4812, PAGE 218
D.R.R.C.T.

LOT 42
4 HO LTD
INSTR. No. 2020000024805
O.P.R.R.C.T.

15' DRAINAGE EASEMENT
INSTR. No. 20180000009326
O.P.R.R.C.T.

LOT 41
JANET AND GERALD S. CRENSHAW
INSTR. No. 2020000023144
O.P.R.R.C.T.

APPROXIMATE CITY LIMIT 201.01'

N89°57'08"E 609.56'

N89°57'08"E 609.56'

N26°49'00"E, 0.46'

N00°26'49"E 199.37'

N00°26'49"E 255.51'

N89°54'33"W 610.80'

N89°56'43"W 612.39'

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N89°56'43"W 612.39'

ARMANDO AND DARLA DEANETTE
HERNANDEZ
INSTR. No. 201900000228191
O.P.R.R.C.T.

LOT 40
100.0'

ERICA AND RICHARD COWARD
INSTR. No. 20190000015092
O.P.R.R.C.T.

LOT 39
100.0'

FONTANNA RANCH PHASE III
BLOCK D, LOTS 20-38
BLOCK H, LOTS 13-49
INSTRUMENT No. 20180000009326
O.P.R.R.C.T.

CASEY RODNEY JEFFERSON
AND FANGFANG LIU
INSTR. No. 20210000012533
O.P.R.R.C.T.

LOT 38
100.0'

DANIEL AND AMBER R. TAYLOR
INSTR. No. 2020000008480
O.P.R.R.C.T.

LOT 37
100.0'

SARA BETH PARRISH-SMITH
INSTR. No. 2020000003477
O.P.R.R.C.T.

LOT 36
100.0'

DRITON TOMAJ
INSTR. No. 20200000023327
O.P.R.R.C.T.

LOT 35
100.0'

JERROD GARNIER TYNES
AND ASHLEIGH PAGE TYNES
INSTR. No. 2020000001150
O.P.R.R.C.T.

LOT 34
80.16'

LOT 33
103.24'

LOT 1, BLOCK A
(122,098 SQ. FT. OR 2.803 ACRES)

THE ISAAC ADDITION
(278,246 SQ. FT. OR 6.388 ACRES)

ISAAC PENA
VOLUME 6835, PAGE 63
D.R.R.C.T.

LOT 2, BLOCK A
(156,148 SQ. FT. OR 3.585 ACRES)

ROBERT S RANDALL, JR. AND MARY LYNN RANDALL
VOLUME 4634, PAGE 257
D.R.R.C.T.
(CALLED 8.0867 ACRES)

TERRI S. LLOYD
VOLUME 1765, PAGE 39
D.R.R.C.T.
(CALLED 0.48 ACRES)

NORMAN KIRK and wife, CHRISTI KIRK
VOLUME 389, PAGE 208
D.R.R.C.T.
(CALLED 0.48 ACRES)

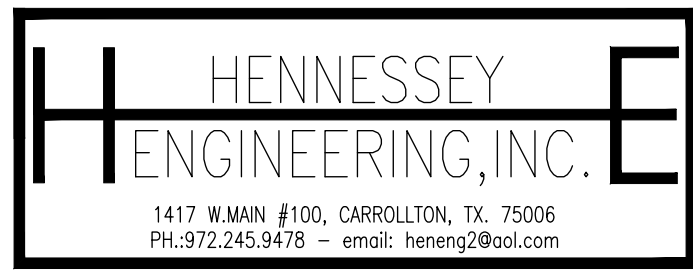
MELISSA L. WILLIAMS
VOLUME 6834, PAGE 200
D.R.R.C.T.
(CALLED 0.48 ACRES)

ROBERT S RANDALL, JR. AND MARY LYNN RANDALL
VOLUME 4634, PAGE 257
D.R.R.C.T.
(CALLED 8.0867 ACRES)

NICK TITLOW AND ALYSSA TITLOW
INSTRUMENT No. 2016000007251
O.P.R.R.C.T.
(REMAINDER 7.43 ACRES)

KRISTEN SMALL, a married person
INSTRUMENT No. 20170000003900
O.P.R.R.C.T.
(CALLED 3.86 ACRES)

FINAL PLAT
THE ISAAC ADDITION
BEING A 6.388 ACRE (NET) TRACT OF LAND IN THE
LOTS 1 AND 2, BLOCK A
(2 LOTS)
BEING A 6.388 ACRE TRACT OF LAND IN THE
J.A. RAMSEY SURVEY, ABSTRACT 186
(0.1337 PREVIOUSLY DEEDED TO THE STATE OF TEXAS)
2185 FARM TO MARKET ROAD No. 549, ROCKWALL, TEXAS



OWNER: ISAAC PENA
2185 FM 549
ROCKWALL, TX

JUNE 30, 2021

SURVEY: HENNESSEY ENGINEERING, INC.
1417 WEST MAIN ST., SUITE 100
CARROLLTON, TEXAS
972.245.9478

CASE No.: P2021-037
PAGE 1 OF 2

OWNERS DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I, THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE **ISAAC ADDITION**, SUBDIVISION TO THE COUNTY OF ROCKWALL, TEXAS AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN ON THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. I FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN THE **ISAAC ADDITION**, SUBDIVISION HAVE BEEN NOTIFIED AND SIGNED THIS PLAT. I UNDERSTAND AND HEREBY DO RESERVE THE EASEMENT STRIPS SHOWN ON THIS PLAT FOR THE PURPOSES STATED AND FOR THE MUTUAL USE AND ACCOMMODATION OF ALL UTILITIES DESIRING TO USE THE SAME. I ALSO UNDERSTAND THE FOLLOWING:

1. NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE UTILITY EASEMENTS AS DESCRIBED HEREIN.
2. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEM ON ANY OF THESE EASEMENT STRIPS; AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS OR EGRESS TO, FROM, AND UPON THE SAID EASEMENT STRIPS FOR PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTING, PATROLLING, MAINTAINING, AND EITHER ADDING TO OR REMOVING ALL OR PART OF THEIR RESPECTIVE SYSTEM WITHOUT THE NECESSITY OF, AT ANY TIME, PROCURING THE PERMISSION OF ANYONE.
3. THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE FOR ANY CLAIMS OF ANY NATURE RESULTING FROM OR OCCASIONED BY THE ESTABLISHMENT OF GRADE OF STREETS IN THE SUBDIVISION.
4. THE DEVELOPER AND SUBDIVISION ENGINEER SHALL BEAR TOTAL RESPONSIBILITY FOR STORM DRAIN IMPROVEMENTS.
5. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE NECESSARY FACILITIES TO PROVIDE DRAINAGE PATTERNS AND DRAINAGE CONTROLS SUCH THAT PROPERTIES WITHIN THE DRAINAGE AREA ARE NOT ADVERSELY AFFECTED BY STORM DRAINAGE FROM THE DEVELOPMENT.
6. NO HOUSE, DWELLING UNIT, OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION BY THE OWNER OR ANY OTHER PERSON UNTIL THE DEVELOPER AND/OR OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION RULES AND REGULATIONS OF THE CITY OF ROCKWALL REGARDING IMPROVEMENTS WITH RESPECT TO THE ENTIRE BLOCK ON THE STREET OR STREETS ON WHICH PROPERTY ABUTS, INCLUDING THE ACTUAL INSTALLATION OF STREETS WITH THE REQUIRED BASE AND PAVING, CURB AND GUTTER, WATER AND SEWER, DRAINAGE STRUCTURES, STORM STRUCTURES, STORM SEWERS, AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS REQUIRED BY THE INTERLOCAL COOPERATION AGREEMENT FOR SUBDIVISION REGULATION IN THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY ENTERED INTO BY THE CITY AND COUNTY OF ROCKWALL; OR

UNTIL AN ESCROW DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE COUNTY'S CHOSEN ENGINEER AND/OR COUNTY ADMINISTRATOR, COMPUTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE COUNTY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER AND OR OWNER, AUTHORIZING THE CITY AND COUNTY TO MAKE SUCH IMPROVEMENTS AT PREVAILING PRIVATE COMMERCIAL RATES, OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF THE ESCROW DEPOSIT, SHOULD THE DEVELOPER AND/OR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT, BUT IN NO CASE SHALL THE CITY OR COUNTY BE OBLIGATED TO MAKE SUCH IMPROVEMENTS ITSELF. SUCH DEPOSIT MAY BE USED BY THE OWNER AND/OR DEVELOPER AS PROGRESS PAYMENTS AS THE WORK PROGRESSES IN MAKING SUCH IMPROVEMENTS BY MAKING CERTIFIED REQUISITIONS TO THE CITY AND COUNTY, SUPPORTED BY EVIDENCE OF WORK DONE; OR

UNTIL THE DEVELOPER AND/OR OWNER FILES A CORPORATE SURETY BOND WITH THE COUNTY IN A SUM EQUAL TO THE COST OF SUCH IMPROVEMENTS FOR THE DESIGNATED AREA, GUARANTEEING THE INSTALLATION THEREOF WITHIN THE TIME STATED IN THE BOND, WHICH TIME SHALL BE FIXED BY THE COMMISSIONER'S COURT OF ROCKWALL COUNTY.

I FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTION'S MADE HEREON ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE COUNTY: I, MY SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT I MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTIONS MADE HEREIN.

ISAAC PENA
OWNER

STATE OF TEXAS
COUNTY OF ROCKWALL

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED, ISAAC PENA, KNOWN TO ME TO BE THE PERSON WHO'S NAME IS SUBSCRIBED TO THE FORGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE ____ DAY OF _____, 20__

NOTARY IN AND FOR THE STATE
OF TEXAS

MY COMMISSION EXPIRES

OWNERS CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, ISAAC PENA, BEING THE OWNER OF A TRACT OF LAND IN THE COUNTY OF ROCKWALL, STATE OF TEXAS, SAID TRACT BEING DESCRIBED AS FOLLOWS:

BEING A TRACT OF LAND SITUATED IN THE J.A. RAMSEY SURVEY, ABSTRACT No. 186, ROCKWALL COUNTY, TEXAS, AND BEING ALL THAT CALLED 6.54 ACRE TRACT AS CONVEYED FROM BOBBY LEE ASKUE AND ELIZABETH ELIZABETH I. ASKUE BY DEED RECORDED IN VOLUME 101, PAGE 677, DEED RECORDS, ROCKWALL COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT 5/8 INCH IRON ROD WITH A PINK CAP STAMPED "TXDOT SURVEY MARKER RIGHT OF WAY MONUMENT" MARKING THE NEW EAST LINE OF FARM TO MARKET ROAD No. 549 (A VARIABLE WIDTH RIGHT-OF-WAY) AT THE SOUTH EAST CORNER OF A CALLED 5,824 SQUARE FOOT PARCEL OF LAND FOR STATE HIGHWAY PURPOSES AS DESCRIBED IN DEED FROM THE STATE OF TEXAS TO ISAAC PENA and wife, MAYRA PENA AS RECORDED BY INSTRUMENT No. 202000000388, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS, AND ALSO BEING THE NORTH LINE OF A TRACT OF LAND CONVEYED TO TERRI S. LLOYD, BY DEED RECORDED IN VOLUME 1765, PAGE 677, DEED RECORDS, ROCKWALL COUNTY, TEXAS;

THENCE, N00°26'49"E, ALONG THE NEW EAST RIGHT OF WAY LINE OF SAID FM 549, A DISTANCE 454.88 FEET TO A POINT FOR CORNER FROM WHICH A 5/8 INCH IRON ROD STAMPED "TXDOT SURVEY MARKER RIGHT OF WAY MONUMENT" FOUND BEARS N00°26'49"E, A DISTANCE OF 0.46 FEET FOR REFERENCE, SAID POINT ALSO MARKING THE SOUTHWEST CORNER OF A TRACT OF LAND CONVEYED TO NICK TITLOW AND ALYSSA TITLOW AS RECORDED BY INSTRUMENT No.2016000007251, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF AN EASEMENT AGREEMENT FOR ACCESS BETWEEN SAID NICK AND ALYSSA TITLOW AND KRISTEN SMALL AS RECORD BY INSTRUMENT No. 2017000004105, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS;

THENCE, N89°57'08"E, DEPARTING THE NEW EAST LINE OF SAID FM No. 549, ALONG THE SOUTH LINE OF SAID TITLOW TRACT AND SAID ACCESS EASEMENT, A DISTANCE OF 609.56 FEET TO A 1/2 INCH IRON ROD FOUND FOR CORNER, BEING A WESTERLY CORNER OF SAID TITLOW TRACT;

THENCE, S00°05'27"W, ALONG THE WEST LINE OF SAID TITLOW TRACT, A DISTANCE OF 455.96 FEET TO A 1/2 INCH IRON ROD FOUND FOR CORNER, BEING THE SOUTHWEST CORNER OF SAID TITLOW TRACT, AND BEING IN THE NORTH LINE OF A TRACT OF LAND CONVEYED TO ROBERT S. RANDALL, JR. AND MARY ANN LYNN RANDALL BY DEED RECORDED IN VOLUME 4634, PAGE 257, DEED RECORDS, ROCKWALL COUNTY, TEXAS;

THENCE, N89°56'43"W, ALONG THE NORTH LINE OF SAID RANDALL TRACT, ALSO PASSING ALONG THE NORTH LINES OF THREE 0.48 ACRE TRACTS LAND CONVEYED SEPARATELY TO MELISSA L. WILLIAMS AS RECORDED IN VOLUME 6834, PAGE 200, DEED RECORDS, ROCKWALL COUNTY, TEXAS, TO NORMAN KIRK and wife, CHRISTI KIRK AS RECORDED IN VOLUME 389, PAGE 208, DEED RECORDS, ROCKWALL COUNTY, TEXAS, AND TO TERRI S. LLOYD AS RECORDED IN VOLUME 1765, PAGE 39, DEED RECORDS, ROCKWALL COUNTY, TEXAS, A TOTAL DISTANCE OF 612.39 FEET TO THE POINT OF BEGINNING AND CONTAINING 278,246 SQUARE FEET OR 6.388 ACRES OF LAND.

GENERAL NOTES:

1. SELLING A PORTION OF THE ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE, COUNTY, AND STATE LAW, AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
2. SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP No. 48397C0045L, WITH A DATE OF IDENTIFICATION OF SEPTEMBER 26, 2008, FOR COMMUNITY PANEL No. 480547, IN ROCKWALL COUNTY, STATE OF TEXAS, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. (ZONE "X" IS DESCRIBED AS AREAS OF MINIMAL FLOODING DEPICTED AS ABOVE THE 500 YEAR FLOODPLAIN.)
3. BASIS OF BEARING IS THE EAST RIGHT OF WAY LINE OF F.M. 549 AS DESCRIBED IN DEED FROM BOBBY J. WOOLDRIDGE and wife, GWEN E. WOOLDRIDGE TO BOBBY LEE ASKUE and wife, ELIZABETH ASKUE AS RECORDED IN VOLUME 101, PAGE 677, DEED RECORDS, ROCKWALL COUNTY, TEXAS.
4. COORDINATES SHOWN ON THE FACE OF THE PLAT ARE OF TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983, US SURVEY FEET.
5. THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF A TITLE SEARCH FOR THE EXISTENCE OF EASEMENTS, RESTRICTIONS, ENCUMBRANCES, OR OTHER FACTS OR MATTERS THAT MAY EFFECT THE SUBJECT PROPERTY.
6. ALL CORNERS ARE SET WITH 1/2 INCH IRON RODS WITH CAP STAMPED RPLS 3740 UNLESS OTHERWISE NOTED.
7. FUTURE LAND USE DESIGNATED AS LOW DENSITY RESIDENTIAL.
8. PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING ALL SYSTEMS WITHIN THE DRAINAGE AND DETENTION EASEMENTS.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

I, PETER F. HENNESSEY, DO HEREBY CERTIFY, THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.

PETER F. HENNESSEY, RPLS NO. 3740, J1809.032
DATE: JULY 26, 2021 PROJECT NO. 97018

RECOMMENDED FOR FINAL PLAT

PLANNING AND ZONING COMMISSION, CHAIRMAN

DATE

APPROVED:

I, HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO ROCKWALL COUNTY, TEXAS WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, 20____ IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERLOCAL COOPERATION AGREEMENT FOR SUBDIVISION REGULATION IN THE EXTRATERRITORIAL JURISDICTION (ETJ) OF THE CITY ENTERED INTO BY THE CITY OF ROCKWALL AND ROCKWALL COUNTY.

THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL COUNTY, TEXAS WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.

WITNESS OUR HANDS, THIS ____ DAY OF _____, 20____

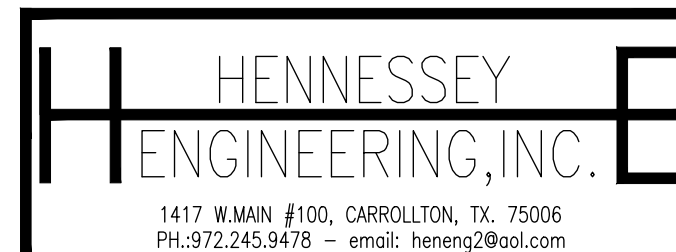
MAYOR, CITY OF ROCKWALL

CITY SECRETARY

CITY ENGINEER

ROCKWALL COUNTY JUDGE

FINAL PLAT
THE ISAAC ADDITION
BEING A 6.388 ACRE (NET) TRACT OF LAND IN THE
LOTS 1 AND 2, BLOCK A
(2 LOTS)
BEING A 6.388 ACRE TRACT OF LAND IN THE
J.A. RAMSEY SURVEY, ABSTRACT 186
(0.1337 PREVIOUSLY DEEDED TO THE STATE OF TEXAS)
2185 FARM TO MARKET ROAD No. 549, ROCKWALL, TEXAS



OWNER: ISAAC PENA
2185 FM 549
ROCKWALL, TX

JUNE 30, 2021

SURVEY: HENNESSEY ENGINEERING, INC.
1417 WEST MAIN ST., SUITE 100
CARROLLTON, TEXAS
972.245.9478



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 10, 2021
APPLICANT: Jeremy Nelson; *McAdams Co.*
CASE NUMBER: P2021-040; *Final Plat for Lot 1, Block A, SWBC Rockwall Addition, Phase 2*

SUMMARY

Consider a request by Jeremy Nelson of McAdams Co. on behalf of Spencer Byington of SWBC Rockwall, LP for the approval of a *Final Plat* for Lot 1, Block A, SWBC Rockwall Addition, Phase 2 being currently identified as a 21.275-acre tract of a larger 42.555-acre tract of land identified as Tract 1-4 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development 83 (PD-83) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, located east of the intersection of Discovery Boulevard and John King Boulevard, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a final plat for a multi-family apartment complex on a 21.75-acre portion of a larger 42.555-acre tract of land (*i.e. a portion of Tract 1-4 of the J. M. Allen Survey, Abstract No. 2*) for the purpose of constructing 295 units. This will be known as SWBC Rockwall Addition, Phase 2. This is the final phase of a two (2) phase development that consists of a total of 590 multi-family dwelling units.
- On March 20, 2017, the City Council approved a zoning change for the subject property from a Light Industrial (LI) District to Planned Development District 83 (PD-83) [*Ordinance No. 17-18; Case No. Z2017-001*] for Multi-Family 14 (MF-14) District land uses. This zoning change included a concept plan for a multi-family apartment complex consisting of 590 units. On September 12, 2017, the Planning and Zoning Commission approved a site plan [*Case No. SP2017-027*], and forwarded a recommendation of approval for the Open Space Master Plan. On September 28, 2020, staff approved an administrative site plan [*Case No. SP2020-021*] for Phase 2 of the development.
- On August 3, 2021, the Parks and Recreation Board reviewed the final plat and made the following recommendations concerning the proposed subdivision, which is located within Park District No. 25:
 - (1) The developer shall pay pro-rata equipment fees of \$140,420.00 (*i.e. \$476.00 x 295 lots*), which will be due at the time of final plat.
 - (2) The developer shall pay cash-in-lieu of land fees of \$288,805.00 (*i.e. \$979.00 x 295 lots*), which will be due at the time of final plat.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for final plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the final plat for *Lot 1, Block A, SWBC Rockwall Addition, Phase 2*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) The applicant shall adhere to the recommendations made by the Parks Board; and,
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

P2021-040

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2300 Discovery Blvd. Rockwall, TX 75032

SUBDIVISION SWBC Rockwall Addition, Phase II LOT 1 BLOCK A

GENERAL LOCATION Discovery Blvd. between John King Blvd. & Innovations Dr.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-83 CURRENT USE Apartments

PROPOSED ZONING PD-83 PROPOSED USE Apartments

ACREAGE 21.275 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER SWBC Rockwall LP APPLICANT McAdams

CONTACT PERSON Spencer Byington CONTACT PERSON Jeremy Nelson

ADDRESS 5949 Sherry Lane, Suite 750 ADDRESS 201 Country View Drive

CITY, STATE & ZIP Dallas, TX 75225 CITY, STATE & ZIP Roanoke, TX 76262

PHONE (214) 924-4156 PHONE (469) 240-9765

E-MAIL sbyington@swbc.com E-MAIL jnelson@mcadamsco.com

NOTARY VERIFICATION [REQUIRED]

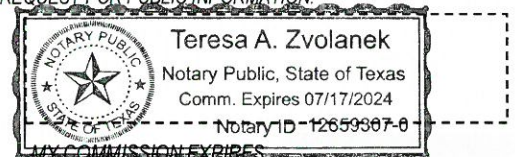
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Spencer Byington [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 725.50 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF July, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."


GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF July, 2021.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 160 320 640 960 1,280 Feet

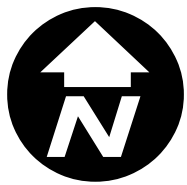
P2021-040- LOT 1, BLOCK A,
SWBC ROCKWALL ADDITION PHASE II
FINAL PLAT - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



LOT 4
BLOCK C

LOT 5, BLOCK C
Rockwall Technology Park
Cab. E, Slide 329

LOT 6, BLOCK C
(Drainage Esmt)

LOT 7, BLOCK C

(85' R.O.W.)
Cab. D, Pg. 175

Hitt Family Limited Partnership
Vol. 1875, Pg. 238

20' Sanitary Sewer
Easement
Vol. 1653, Pg. 182

50' Pipeline
Easement
2015000001949

McKeown-Belaustegui Addition
Cab. E, Slide 233

5/8" CRF
(MADDOX 5430)
N 7,021,767.2
E 2,603,747.9

Nissan of
Rockwall Addition
Inst. No.
20150000008394

Rockwall Downes, Phase 1
Inst. No. 20150000008387

The Cambridge Companies, Inc. Trustee
Vol. 99, Pg. 1022

SIGHT VISIBILITY
EASEMENT
see detail "D"

DISCOVERY BLVD.
(Variable Width R.O.W.)
City of Rockwall - Vol. 6169, Pg. 168

10' P.A.E.
2019-3680

20' W.L.E.
See Detail

1/2" CRF
(G&A)
N 7,020,000.8
E 2,604,350.8

10' P.A.E.
2019-4592

5/8" CRF
(MADDOX)

5/8" CRF
(unstamped)

5/8" CRF
(MADDOX)

5/8" CRF
(unstamped)

10' P.A.E.
2019-4592

5/8" CRF
(unstamped)

5/8" CRF
(unstamped)

5/8" CRF
(MADDOX 5430)
N 7,020,073.0
E 2,603,766.9

FINAL PLAT
SWBC Rockwall Addition, Phase 2
Lot 1, Block A
21.275 Acres
in the
J.M. ALLEN SURVEY, ABSTRACT NO. 2
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

Page 1 of 3



The John R. McAdams
Company, Inc.
111 Hillside Drive
Lewisville, Texas 75057
972.436.9712
201 Country View Drive
Roanoke, Texas 76262
940.240.1012
TBPE: 19762 TBPLS: 10194440
www.gacon.com
www.mcadamsco.com

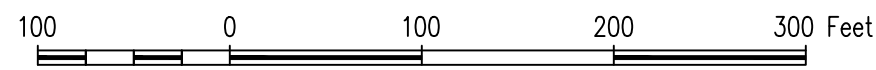
OWNER/DEVELOPER
SWBC ROCKWALL LP
6949 SHERRY LANE #750
DALLAS, Texas 75225

Contact: SPENCER BYINGTON

CASE No. P2021-040

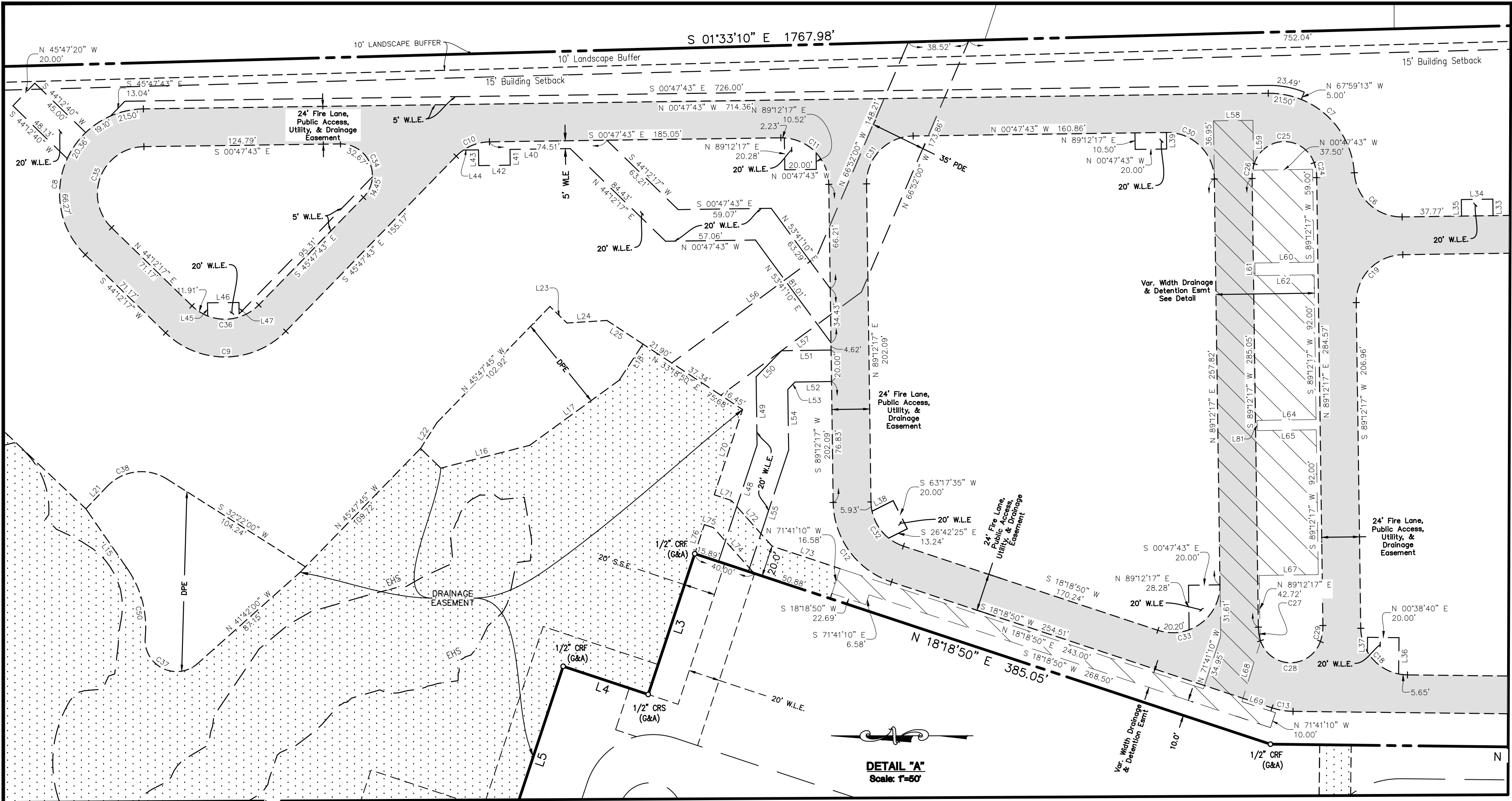
LEGEND

RF	=	REBAR FOUND
CRS	=	CAPPED REBAR SET
BL	=	BUILDING LINE
CRF	=	CAPPED REBAR FOUND
POB	=	POINT OF BEGINNING
UE	=	UTILITY EASEMENT
SSE	=	SANITARY SEWER EASEMENT
WLE	=	WATER LINE EASEMENT
DE	=	DRAINAGE EASEMENT
LS	=	LANDSCAPE
PAE	=	PEDESTRIAN ACCESS EASEMENT
EHS	=	EROSION HAZARDOUS SETBACK
DPE	=	DETENTION POND EASEMENT
PDE	=	PRIVATE DRAINAGE EASEMENT

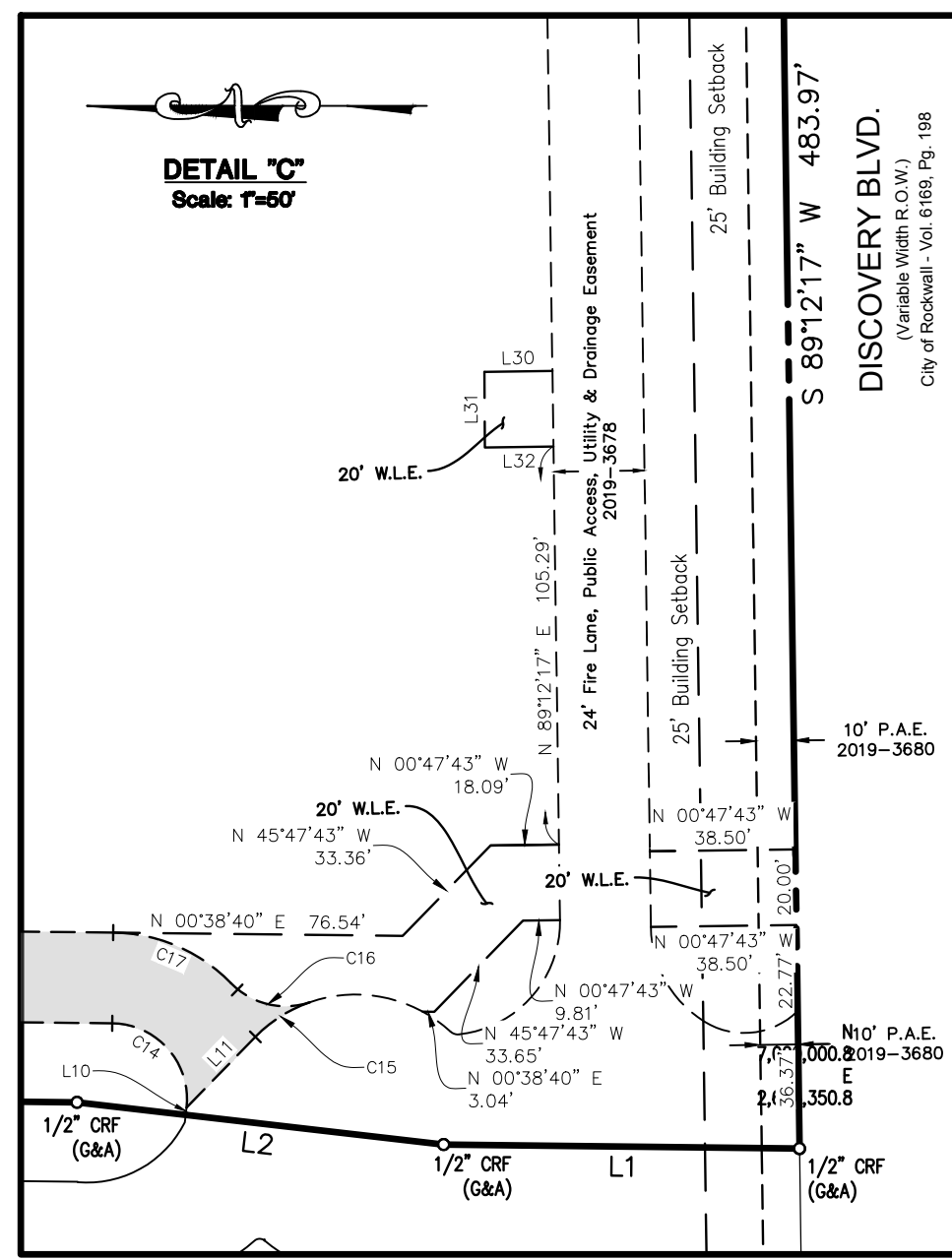


SCALE: 1"=100'

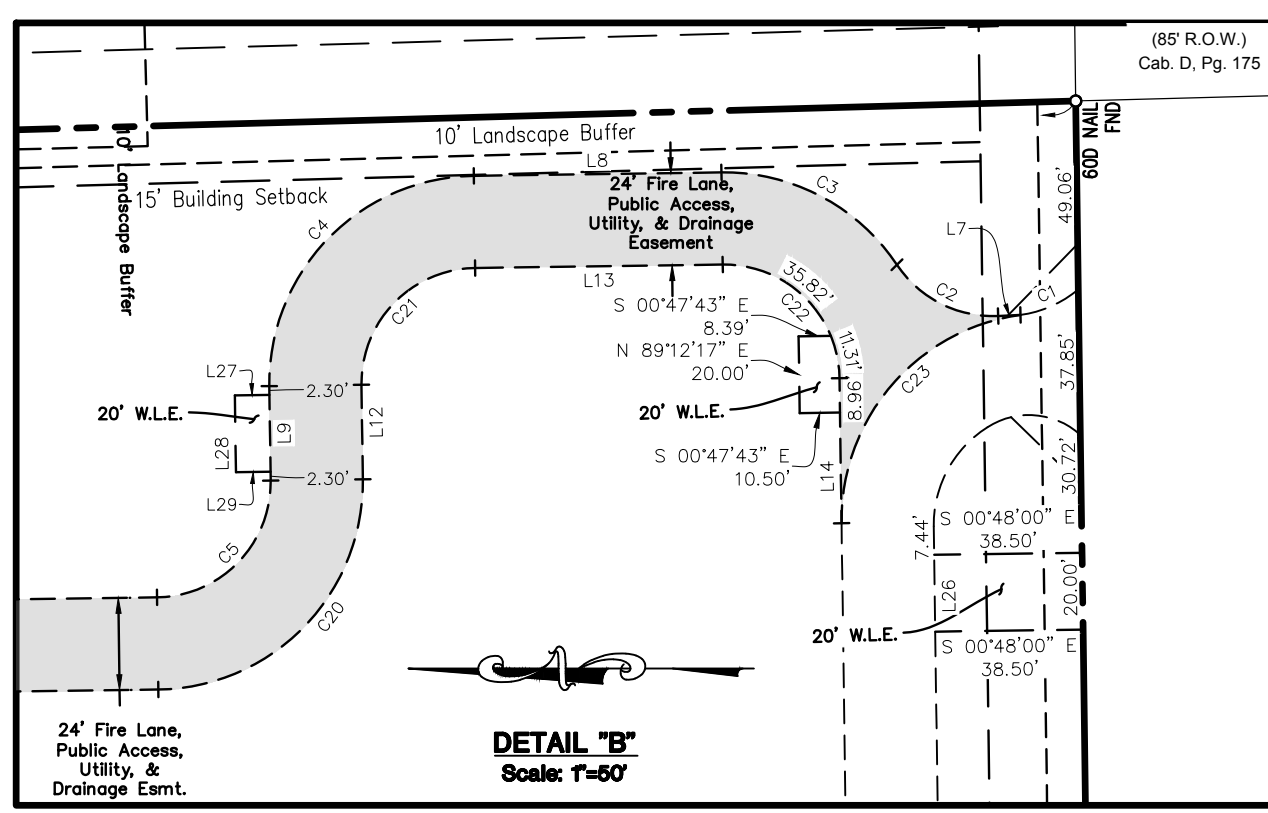
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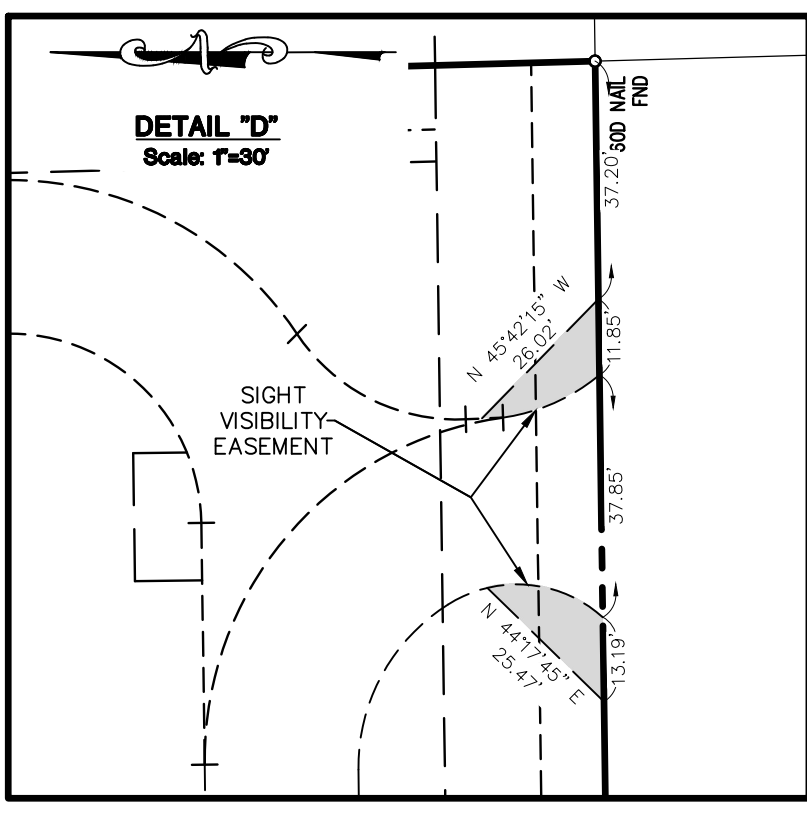
DETAIL "A"
Scale: 1"=50'



DETAIL "C"
Scale: 1"=50'



DETAIL "B"
Scale: 1"=50'



DETAIL "D"
Scale: 1"=30'

LEGEND

- RF = REBAR FOUND
- CRS = CAPPED REBAR SET
- BL = BUILDING LINE
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- DE = DRAINAGE EASEMENT
- LS = LANDSCAPE
- PAE = PEDESTRIAN ACCESS EASEMENT
- EHS = EROSION HAZARDOUS SETBACK
- DPE = DETENTION POND EASEMENT
- PDE = PRIVATE DRAINAGE EASEMENT

OWNER/DEVELOPER
SWBC ROCKWALL LP
5949 SHERRY LANE #750
DALLAS, Texas 75225

Contact: SPENCER BYINGTON

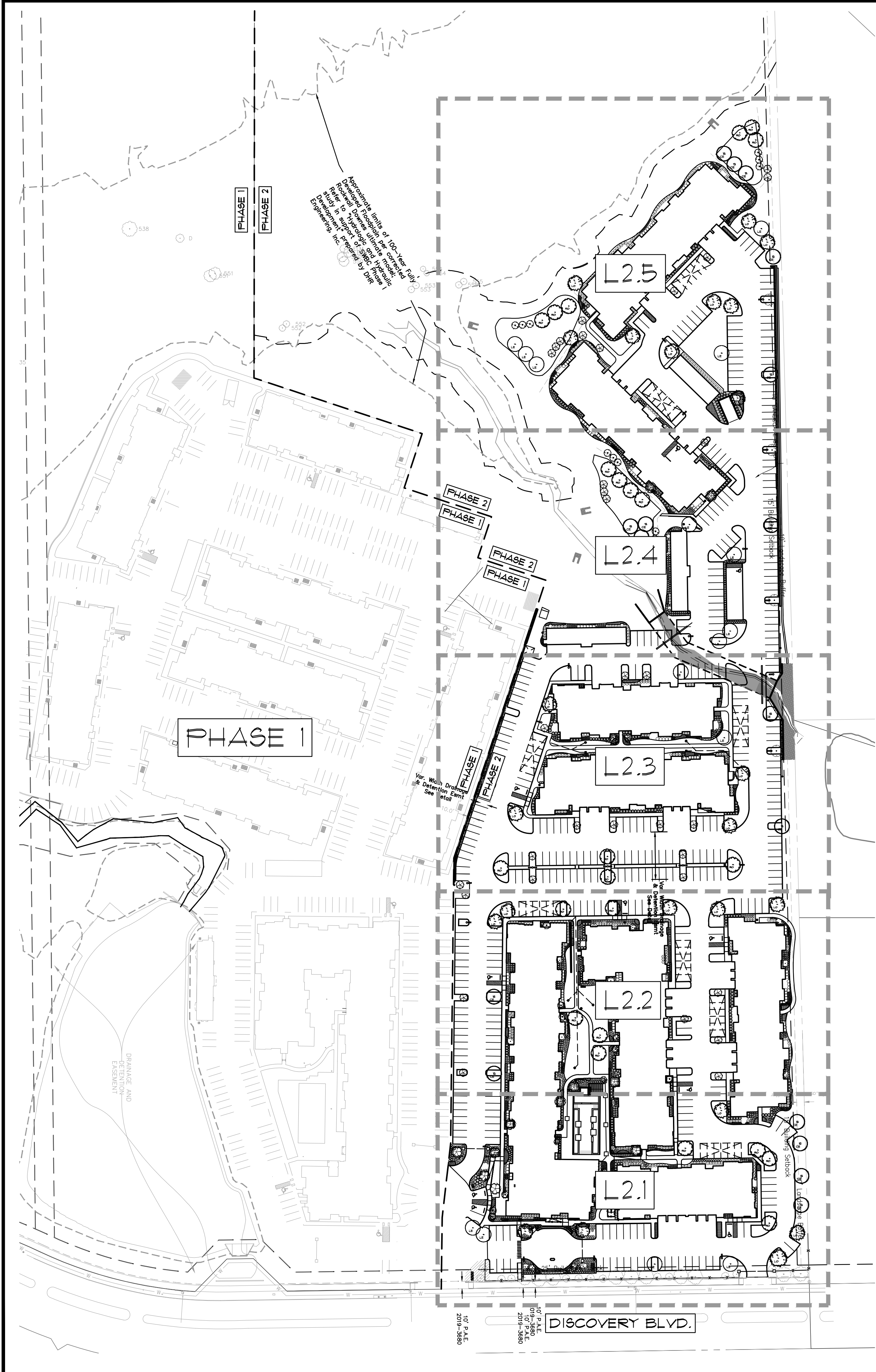
CASE No. P2021-040

FINAL PLAT
SWBC Rockwall Addition, Phase 2
Lot 1, Block A
21.275 Acres
in the
J.M. ALLEN SURVEY, ABSTRACT NO. 2
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS



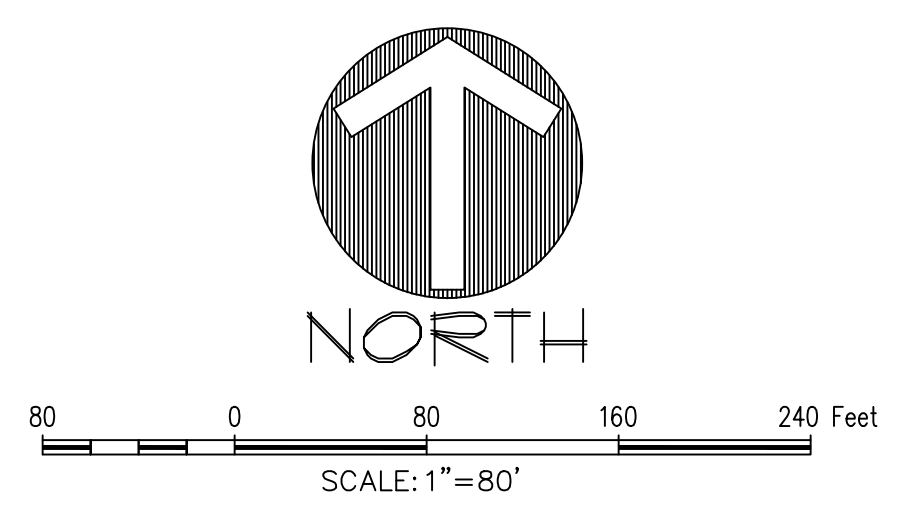
The John R. McAdams
Company, Inc.
111 Hillside Drive
Lewisville, Texas 75057
972.436.9712
201 Country View Drive
Roanoke, Texas 76262
940.240.1012
TBPE: 19762 TBPLS: 10194440
www.gacon.com
www.mcadamsco.com

File: M:\Projects\SWBC\Rockwall\WBC-20000\02-Geomatica\Survey\Plat\WBC20000-F1
Plotted: 8/2/2021 1:01 PM by: Cooper, Cole. Sheet: 8/2/2021 12:57 PM by: cooper



PLANT SCHEDULE

TREES	COMMON NAME	BOTANICAL NAME	CAL	HGT	REMARKS	
4	Chinese Pistache	<i>Pistacia chinensis</i>	4"			
23	Shumard Red Oak	<i>Quercus shumardii</i>	4"	10'-12"	PER PLAN	
22	Southern Live Oak	<i>Quercus virginiana</i>	4"	10'-12"	PER PLAN	
17	Cedar Elm	<i>Ulmus crassifolia</i>	4"	10'-12"	PER PLAN	
15	Lacebark Elm	<i>Ulmus parvifolia</i>	4"	10'-12"	PER PLAN	
ORNAMENTAL TREES	COMMON NAME	BOTANICAL NAME	CAL	HGT	REMARKS	
11	Desert Willow	<i>Chilopsis linearis</i>	30 gal	10'-12"	PER PLAN	
37	Crape Myrtle	<i>Lagerstroemia indica</i>	20 GAL	7'-8"	PER PLAN	
5	Dwarf Palmetto	<i>Sabal minor</i>	15 GAL	3'-4"	PER PLAN	
13	Texas Mountain Laurel	<i>Sophora secundiflora</i>	20 GAL	7'-8"	PER PLAN	
21	Chaste Tree	<i>Vitex agnus-castus</i>	20 GAL	7'-8"	8"	
SHRUBS	COMMON NAME	BOTANICAL NAME	CONTAINER	HEIGHT	SPREAD	REMARKS
231	Kaleidoscope Abelia	<i>Abelia x grandiflora</i> 'Kaleidoscope'	5 gal	24"	3'-0"	FULL
167	Dwarf Burford Holly	<i>Ilex cornuta</i> 'Burfordii Nana'	5 gal	30"	3'-0"	FULL
85	Dwarf Texas Sage	<i>Leucophyllum frutescens</i> 'Bertstar Dwarf'	5 gal	24"		PER PLAN XERI
299	Daruma Dwarf Loropetalum	<i>Loropetalum chinense</i> 'Daruma'	5 gal	18"	3'-0"	FULL
341	Dwarf Southern Wax Myrtle	<i>Myrica pusilla</i>	5 gal	36"	4'-0"	FULL
184	Rosemary	<i>Rosmarinus officinalis</i>	5 gal	24"	3'-0"	XERI
GRASSES	COMMON NAME	BOTANICAL NAME	CONTAINER	HEIGHT	SPREAD	REMARKS
960	Blonde Ambition Blue Grama	<i>Bouteloua gracilis</i> 'Blonde Ambition'	1 gal	24"	24"o.c.	XERI
37	Inland Sea Oats	<i>Chasmanthum latifolium</i>	3 gal	12"	24"o.c.	
550	Lindheimer's Muhly	<i>Muhlenbergia lindheimeri</i>	3 gal	18"	3'-0"	XERI
431	Fontain Grass	<i>Pennisetum alopecuroides</i> 'Karlaj Rose'	3 gal			HEALTHY EVEN GROWTH
PERENNIALS	COMMON NAME	BOTANICAL NAME	CONTAINER	HEIGHT	SPREAD	REMARKS
132	Holly Fern	<i>Cytomum falcatum</i>	3 gal	12"	2'-0"	SHADE
311	Little Spire Russian Sage	<i>Perovskia atriplicifolia</i> 'Little Spire'	3 gal	12"	3'-0"o.c.	XERI
235	Autumn Sage	<i>Salvia greggii</i>	1 gal	12"	24"o.c.	XERI
SHRUB AREAS	COMMON NAME	BOTANICAL NAME	CONT	HEIGHT	SPREAD	REMARKS
I_057	Stella de Oro Daylily	<i>Hemerocallis x 'Stella de Oro'</i>	4"-6"			18" o.c.
I_063	Blackfoot Daisy	<i>Metastemum leucanthum</i>	4"-6"			12" o.c.
GROUND COVERS	COMMON NAME	BOTANICAL NAME	CONT	HEIGHT	SPREAD	REMARKS
I_269 sf		Crushed Granite	--			
I15,614 sf		Bermuda Grass	Cynodon dactylon	--		



SITE SUMMARY TABLE

Site Address	2300 Discovery Blvd. Rockwall, Texas 75032
County	Rockwall
Project Name	SWBC Rockwall Addition, PH II
Zoning District	PD-83
Proposed Use	Apartments
Site Area	21.275 AC
	926,739 SF
Lot Coverage %	42%
Impervious Area	386,683 SF
Impervious %	42%

UNIT PARKING SUMMARY

UNIT	# OF UNITS	PARKING SPOTS REQUIRED
1 BEDROOM UNITS	173	173 (1.5)
2 BEDROOM UNITS	86	86(2)
3 BEDROOM UNITS	36	36(2.5)
TOTAL UNIT PARKING REQUIRED		522
CLUB PARKING REQUIRED		1/300 SF
TOTAL PARKING REQUIRED		534

UNIT PARKING PROVIDED

UNCOVERED	404
ATTACHED GARAGE	58
DETACHED GARAGE	12
CARPORT	48
TOTAL UNIT PARKING PROVIDED	522
CLUB PARKING PROVIDED	11
TOTAL PARKING PROVIDED	533

LANDSCAPE ORDINANCE - City of Rockwall, TX

Final landscape plan will meet all City of Rockwall development ordinances. All landscape will be maintained according to city standards. All required landscape will be 100% watered by an underground irrigation system.

SITE LANDSCAPE
 REQUIRED: All canopy/shade trees planted within this development shall be a minimum of 4 caliper inches in size and all Accent/Ornamental trees shall be a minimum of 4 feet in total height.
 PROVIDED: All canopy trees are 4 caliper inches
 REQUIRED: A minimum of 20% (426 acres) open space. Floodplain acreage my count for up to 50% of the 20% open space requirement.
 PROVIDED: 10% Floodplain + 10% Landscaped area = 28% Open Space

BUFFER LANDSCAPE
 REQUIRED: A minimum 20' landscape street buffer shall be required along Discovery Blvd. street frontages.
 PROVIDED: 20' landscape buffer
 REQUIRED: Three large shade 3 and 2 small ornamental trees shall be required per 100 linear feet of street buffer frontage.
 PROVIDED: Discovery Boulevard : 369 lf. of street frontage / 100 lf. = 29 canopy trees and 19 ornamental trees.
 PROVIDED (Provided with Phase I): 29 canopy trees + 21 ornamental trees

PARKING LANDSCAPE
 REQUIRED: Any parking lot with more than two rows of spaces shall have a minimum of five percent or 200 feet, whichever is greater, in the interior of the parking lot in landscaping. Such landscaping shall be counted toward the total landscape requirement.
 REQUIRED: If the parking and maneuvering space exceeds 20,000 SF, one large canopy tree for every ten spaces. Each parking stall shall be located no greater than 80' from a canopy tree.
 Phase II parking = 528 parking spaces or 53 canopy trees required.
 PROVIDED: (54) 4" canopy trees and (30) ornamental trees.
 No trees to be planted within 5' of any public utility that is less than 10" in diameter or equivalent in size if not circular (i.e. storm lines). No trees to be planted within 10' of any public utility that is 10" or more in diameter or equivalent in size if not circular (i.e. storm lines).

DETENTION LANDSCAPE
 REQUIRED: (1) 4" cal. trees shall be planted for every 150 sq. ft. of detention area. Phase II total detention area = 19,635 sq. ft. / 150 sq. ft. = (19) 4" cal. trees.
 PROVIDED: (19) 4" canopy trees and (22) ornamental trees.

MCADAMS
 The John R. McAdams Company, Inc.
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 111 Hillside Drive
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 201 County View Drive
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 972.940.2400
 TBP#: 19762, TBP#: 10194440
 www.gacom.com

SWBC ROCKWALL PHASE II
 SWBC ROCKWALL ADDITION, PHASE II
 Lot 1, Block A
 21275 Acres
 in the
 J.M. ALLEN SURVEY, ABSTRACT NO. NO. 2
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW, AGENCY APPROVAL, AND COMMENT UNDER THE AUTHORITY OF JEREMY W. NELSON LANDSCAPE ARCHITECT No. 3102, ON 03/08/2021
 THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES

Drawn By: VC
 Date: 12/30/2020
 Scale: 1"=80'
 Revisions:
 02/11/2021
 03/11/2021
 05/07/2021
 07/12/2021

Case #: P2021-040

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

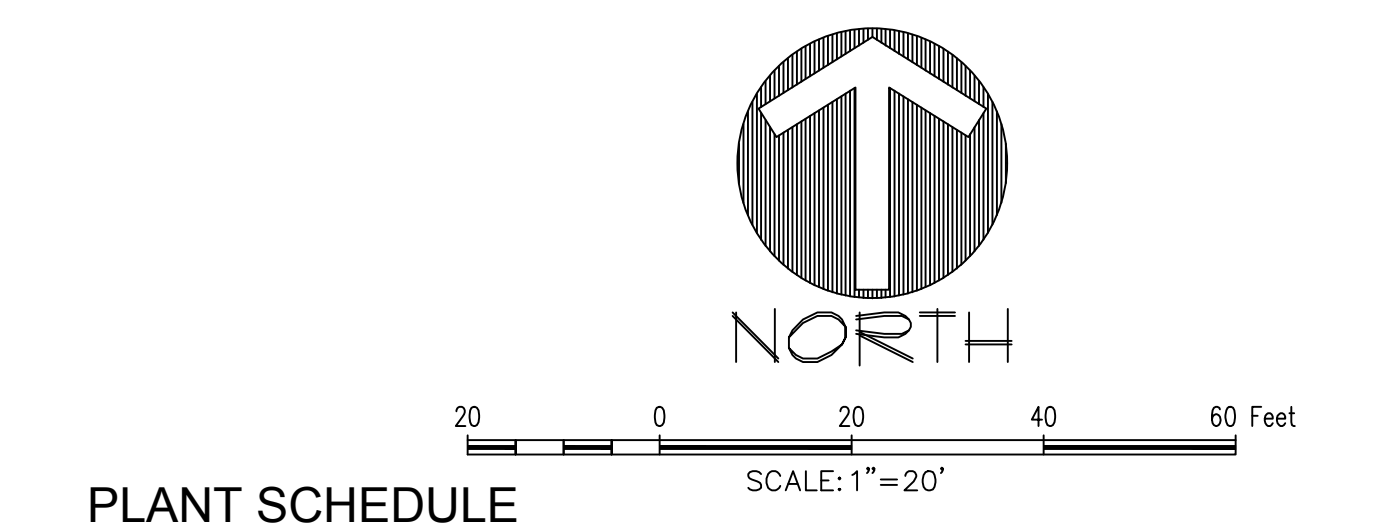
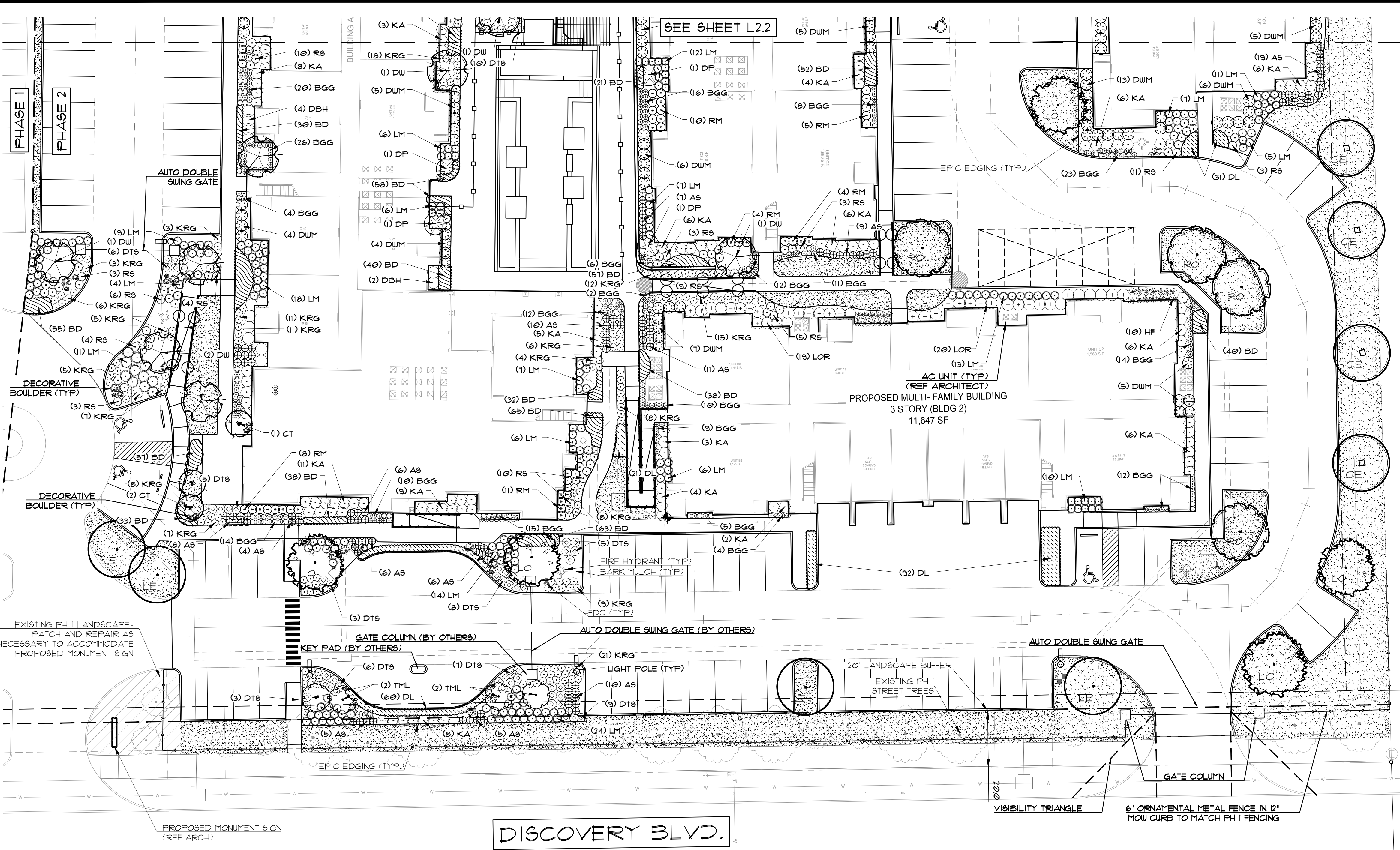
WBC20000

OWNER/DEVELOPER
 SWBC ROCKWALL LP
 5649 SHERRY LANE, SUITE 750
 DALLAS, TEXAS 75225
 Ph. (214) 987-0700
 Contact: Spencer Byington

811
 Know what's below.
 Call before you dig.

L2.0

File: I:\Projects\2021\1217_Rockwall_PhaseII\Drawings\SitePlan\1217_Rockwall_PhaseII_Landscaping.dwg
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 Plot Scale: 1/8"=1'-0"
 Plot Size: 11.5 x 17.5 in.



PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME
	CP	<i>Pistacia chinensis</i> / Chinese Pistache
	RO	<i>Quercus shumardii</i> / Shumard Red Oak
	LO	<i>Quercus virginiana</i> / Southern Live Oak
	CE	<i>Ulmus crassifolia</i> / Cedar Elm
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	DW	<i>Chilopsis linearis</i> / Desert Willow
	CM	<i>Lagerstroemia indica</i> / Crape Myrtle
	DP	<i>Sabal minor</i> / Dwarf Palmetto
	TML	<i>Sophora secundiflora</i> / Texas Mountain Laurel
	CT	<i>Vitex agnus-castus</i> / Chaste Tree
SHRUBS	CODE	BOTANICAL / COMMON NAME
	KA	<i>Abelia x grandiflora</i> "Kaleidoscope" / Kaleidoscope Abelia
	DBH	<i>Ilex cornuta</i> "Burfordii Nana" / Dwarf Burford Holly
	DTS	<i>Leucophyllum frutescens</i> "Bertstar Dwarf" / Dwarf Texas Sage
	LOR	<i>Loropetalum chinense</i> "Daruna" / Daruna Dwarf Loropetalum
	DWM	<i>Myrica pusilla</i> / Dwarf Southern Wax Myrtle
	RM	<i>Rosmannus officinalis</i> / Rosemary
GRASSES	CODE	BOTANICAL / COMMON NAME
	BGG	<i>Bouteloua gracilis</i> "Blonde Ambition" / Blonde Ambition Blue Grama
	ISO	<i>Chasmanthum latifolium</i> / Inland Sea Oats
	LM	<i>Muhlenbergia lindheimeri</i> / Lindheimer's Muhly
	KRG	<i>Pennisetum alopecuroides</i> "Karlay Rose" / Fountain Grass
PERENNIALS	CODE	BOTANICAL / COMMON NAME
	HF	<i>Cyrtomium falcatum</i> / Holly Fern
	RS	<i>Perovskia atriplicifolia</i> "Little Spire" / Little Spire Russian Sage
	AS	<i>Salvia greggii</i> / Autumn Sage
SHRUB AREAS	CODE	BOTANICAL / COMMON NAME
	DL	<i>Hemerocallis x "Stella de Oro"</i> / Stella de Oro Daylily
	BD	<i>Melampodium leucanthum</i> / Blackfoot Daisy
GROUND COVERS	CODE	BOTANICAL / COMMON NAME
	CG	Crushed Granite
	SOD	<i>Cynodon dactylon</i> / Bermuda Grass

EXISTING PH I LANDSCAPE - PATCH AND REPAIR AS NECESSARY TO ACCOMMODATE PROPOSED MONUMENT SIGN

PROPOSED MONUMENT SIGN (REF ARCH)

DISCOVERY BLVD.

VISIBILITY TRIANGLE 6' ORNAMENTAL METAL FENCE IN 12" MOW CURB TO MATCH PH I FENCING

LANDSCAPE PROJECT NOTES

Notify Landscape Architect or designated representative of any layout discrepancies or any condition which may prohibit the installation as shown.

Verify and locate all utilities and site lighting conduits before landscape construction begins. Protection of all utilities is the responsibility of the Contractor.

All landscape planting areas illustrated shall be graded smooth with three inches (3") of topsoil and three inches (3") of compost applied and consistently blended (tilled) to a depth of nine inches (9"). If adequate or sufficient topsoil is not available on site, the Contractor shall provide topsoil per the specifications and approved by the Owner. To obtain final grade, excavation may be necessary to accept the required depth of topsoil/compost mix with surface dressing or mulch. All beds shall be crowned to anticipate settlement and ensure drainage without disrupting surrounding planned drainage paths. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the Contractor at no additional expense to the Owner.

All landscaped areas will be irrigated with an underground automatic system.

Quantities shown on these plans are for reference only. Plant spacing is as indicated in the Plant Material List unless otherwise noted. The Contractor has full responsibility to provide coverage in all planting areas as specified.

All trees and shrubs shall be installed per planting details.

No trees to be planted within 5' of any public utility that is less than 10" in diameter or equivalent in size if not circular (i.e. storm lines). No trees to be planted within 10' of any public utility that is 10" or more in diameter or equivalent in size if not circular (i.e. storm lines). Furthermore, planting within areas of turf shall give priority of location to irrigation. Trees shall not be planted within five feet (5') of a spray head or ten feet (10') of a rotor. Remaining irrigation components shall respect the location of the illustrated landscape design. Shrubs, regardless of type, shall not be planted within thirty inches (30") of bed perimeters.

All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed. Container grown plant material is preferred, however ball and burlap material may be substituted as indicated in the plant material list.

All planting beds as designated shall be bordered by Owner approved EPIC landscape edging unless bed is bordered by concrete. Terminate edging flush with paved surface with no sharp corners exposed.

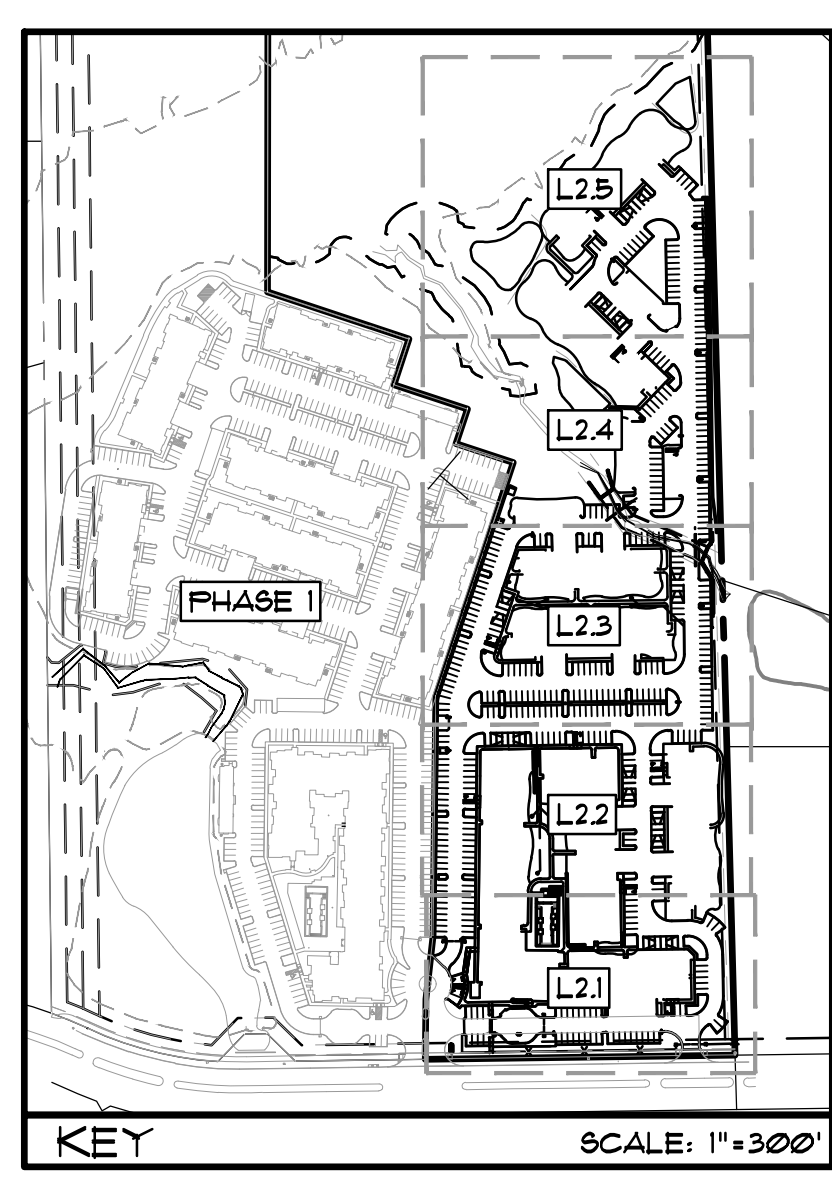
A four inch (4") dressing of hardwood mulch over a 41 oz. woven polypropylene, needle-punched fabric or equal weed barrier shall be used in all plant beds and around all trees. Single trees or shrubs shall be mulched to the outside edge of the saucer or landscape island (See planting details).

Fertilize all plants at the time of planting with 10-10-10 time release fertilizer.

Boulders labeled on plan shall vary in size according to symbol size. Smaller boulders shall have a minimum exposed height of eighteen inches (18"), minimum width of thirty-six inches (36") and a minimum depth of twenty-four inches (24"). Larger boulders shall have a minimum exposed height of twenty-four inches (24"), minimum width of forty-eight (48") and a minimum depth of thirty-six (36"). Boulders shall be recessed into the grade and shall be oriented so that its longest side is parallel to the ground plane to achieve a natural look.

IRRIGATION NOTES

CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGED IRRIGATION EQUIPMENT CAUSED BY CONSTRUCTION ALONG DISCOVERY BLVD. IF IRRIGATION IS CUT OFF FOR AN EXTENDED PERIOD OF TIME, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE AN ADDITIONAL WATER SOURCE FOR EXISTING STREET TREES.



LANDSCAPE NOTES

SEE SHEET L2.0 FOR THE CITY OF ROCKWALL LANDSCAPE ORDINANCE, FULL LANDSCAPE SCHEDULE, ETC

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

OWNER/DEVELOPER
SWBC ROCKWALL LP
 5949 SHERRY LANE, SUITE 760
 DALLAS, TEXAS 75226
 Ph. (214) 987-0700
 Contact: Spencer Byington

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 (DBA: G&A McAdams)
 111 Hillside Drive
 Lewisville, Texas 75057
 972.336.9712
 201 Country View Drive
 Round Rock, Texas 76682
 TBP#: 18762 TBP#: 1019440
 www.mcadams.com

MCADAMS

SWBC ROCKWALL PHASE II

SWBC ROCKWALL PHASE II
SWBC ROCKWALL ADDITION, PHASE II
 Lot 1, Block A
 in the
21275 Acres
 J.M. ALLEN SURVEY, ABSTRACT NO. NO. 2
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW AGENCY APPROVAL, AND COMMENT UNDER THE AUTHORITY OF JEREMY W. NELSON LANDSCAPE ARCHITECT No. 3102, ON 15/07/2021
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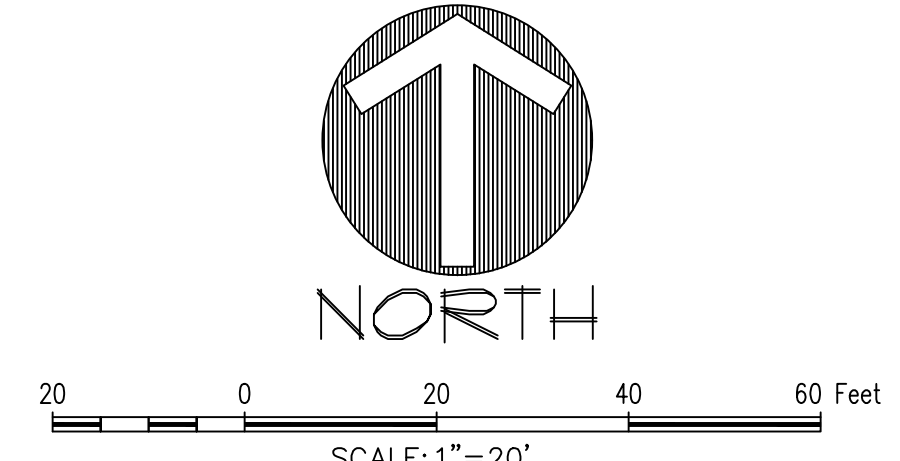
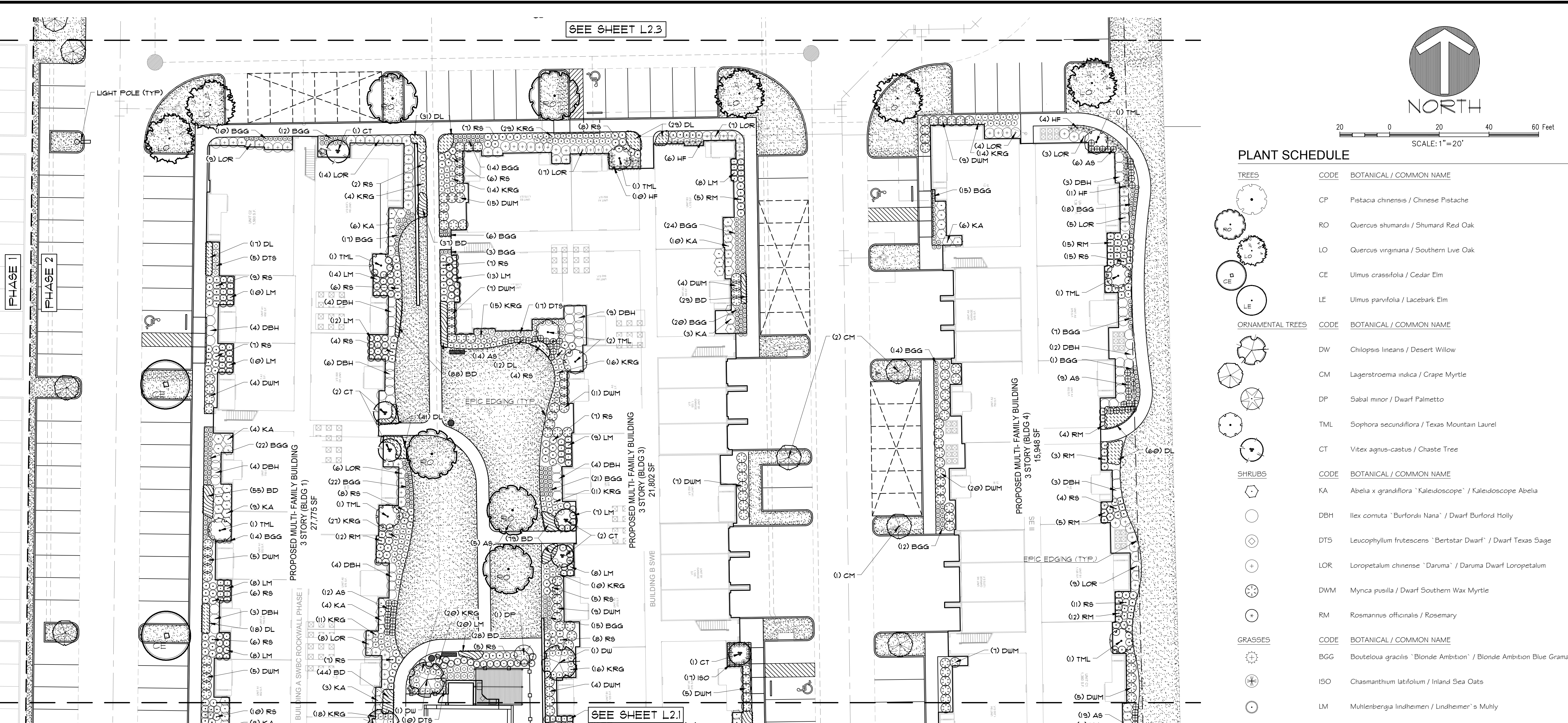
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Date: 12/30/2020
Scale: 1"=20'
Revisions:
02/11/2021
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05/01/2021
07/12/2021

Case #: P2021-040

WBC20000

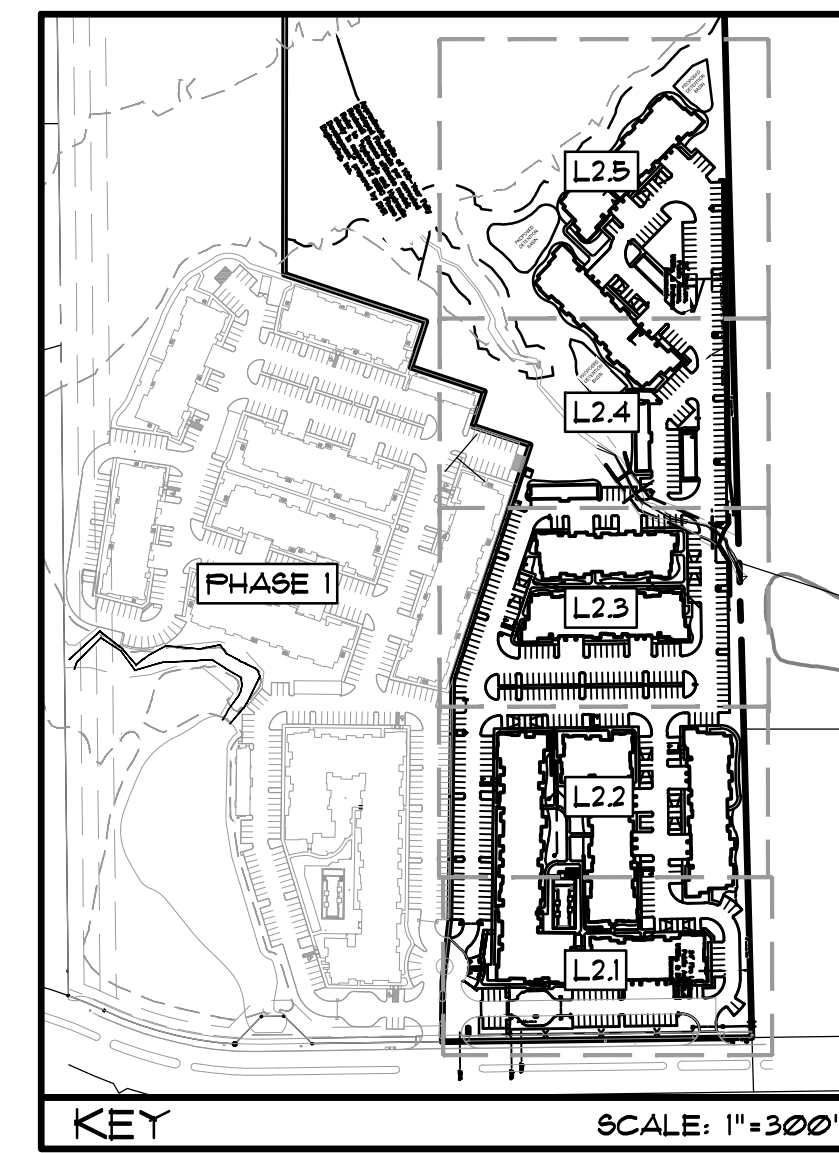
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PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME
	CP	Pistacia chinensis / Chinese Pistache
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LANDSCAPE NOTES

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 6949 SHERRY LANE, SUITE 750
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 Contact: Spencer Byington

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MCADAMS

SWBC ROCKWALL PHASE II

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 in the
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 CITY OF ROCKWALL
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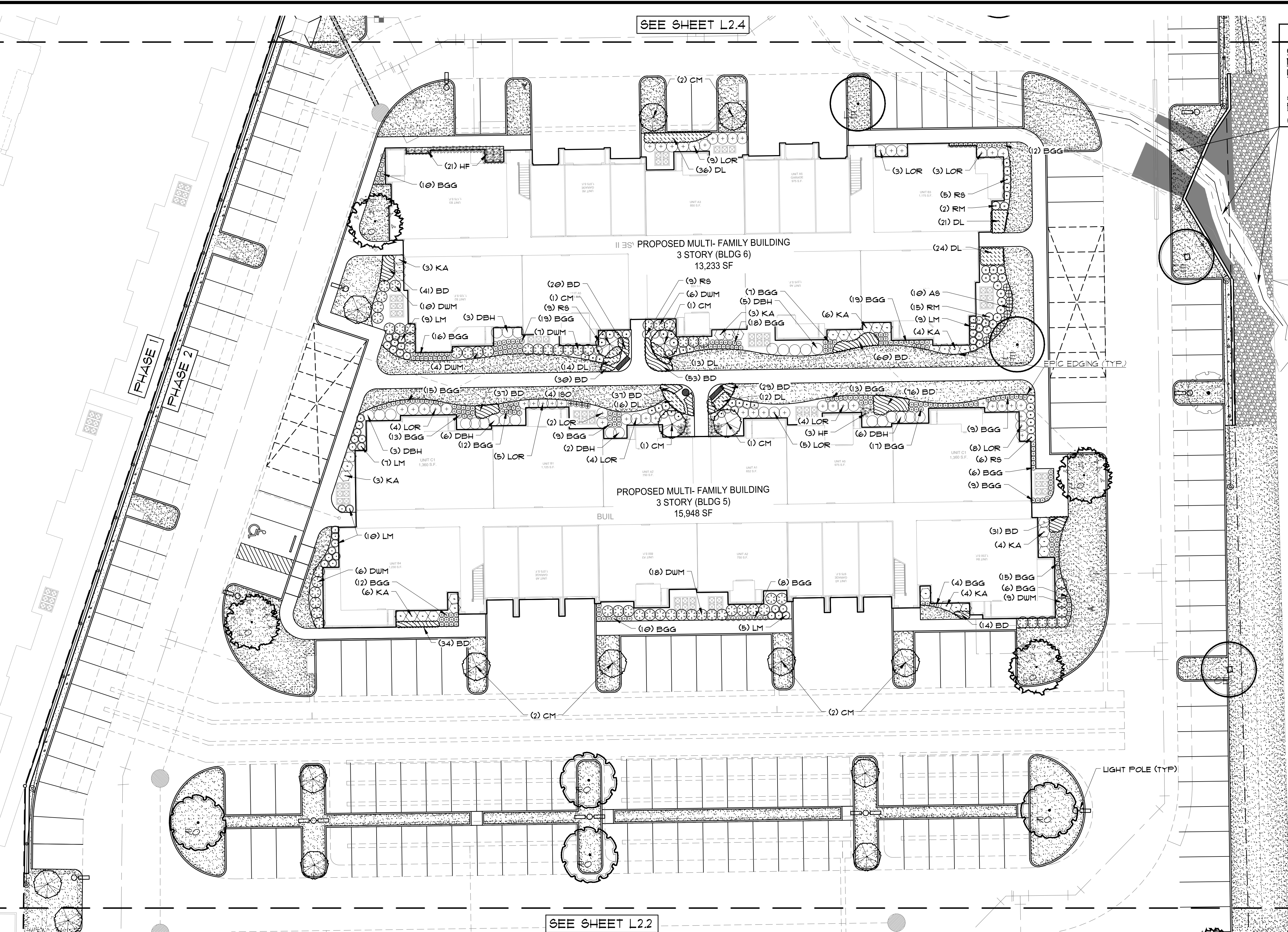
LANDSCAPE PLAN

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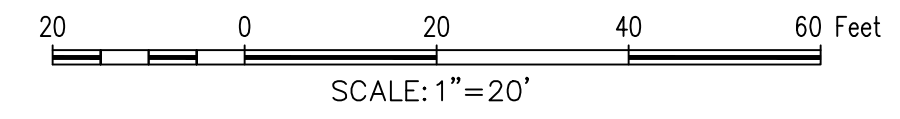
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07/12/2021

WBC20000

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 Plot Date: 7/15/2021 9:58 AM, by: helen, vemp. Scaled: 1/15/2021 9:58 AM, by: helen



****STREAM DISTURBANCE NOTE****
 CONTRACTOR IS SPECIFICALLY CAUTIONED THAT NO DISTURBANCE OF ANY KIND IS ALLOWED WITHIN ANY PART OF THE STREAM CHANNEL.
 ANY DISTURBANCE WILL RESULT IN CONTRACTOR RESPONSIBILITY FOR SUBSTANTIAL FINANCIAL AND/OR OTHER REPAIRATIONS.



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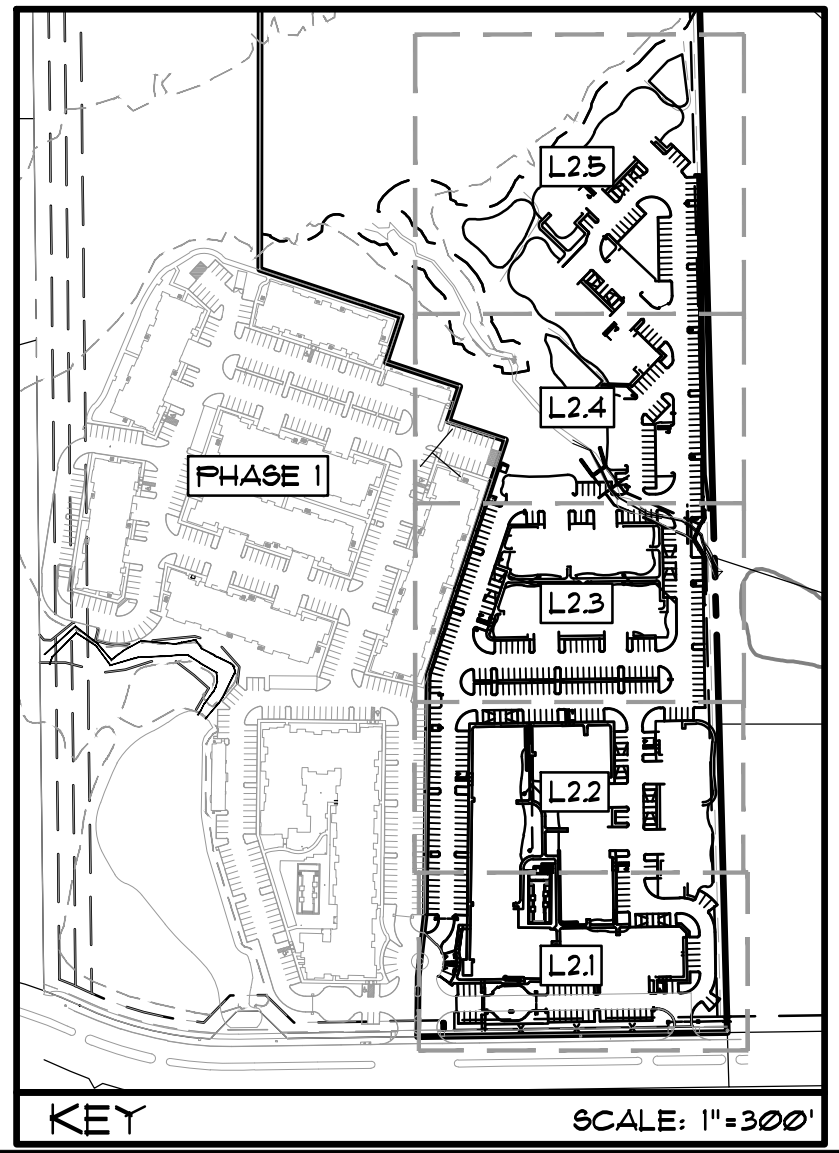
LANDSCAPE NOTES

SEE SHEET L2.0 FOR THE CITY OF ROCKWALL LANDSCAPE ORDINANCE, FULL LANDSCAPE SCHEDULE, ETC

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Case #: P2021-040

OWNER/DEVELOPER
 SWBC ROCKWALL, LP
 5949 SHERRY LANE, SUITE 750
 DALLAS, TEXAS 75225
 Ph. (214) 987-0700
 Contact: Spencer Byington



SOD PROJECT NOTES

EROSION CONTROL:
 Throughout the project and the maintenance period for turfgrass, it is the Contractor's responsibility to maintain the topsoil in place at specified grades. Topsoil and turfgrass losses due to erosion will be replaced by the Contractor until ESTABLISHMENT and ACCEPTANCE is achieved.

SOIL PREPARATION:
 All slopes and areas disturbed by construction, except those occupied by buildings, structures, or paving shall be graded smooth and four (4") inches of topsoil applied. If adequate topsoil is not available onsite, the Contractor shall provide topsoil as approved by the Owner. The area shall be dressed to typical sections and plowed to a depth of five (5") inches. Soil shall be further prepared by the removal of debris, weeds and stones larger than 3/4 inch in diameter. After tillage and cleaning, all areas to receive turf shall be leveled, fine graded, and drag with a weighted spike harrow or float drag.

GRASS SOD:
 Turfgrass sod shall be 100% "Cynodon dactylon" (Common Bermuda grass). Sod shall consist of stolons, leaf blades, rhizomes and roots with a healthy, viable system of dense, thickly matted roots throughout the soil of the sod for a thickness not less than three-quarters (3/4") inch. Sod shall be alive, healthy, vigorous, free of insects, diseases, stones, and undesirable foreign materials and grasses. The grass shall have been mowed prior to sod cutting so that the height of grass shall not exceed two (2") inches. Sod shall have been produced on growing beds of clay-loam topsoil. Sod shall not be harvested or planted when its moisture condition is so excessively wet or dry that its survival will be affected. All sod is to be harvested, delivered, and planted within a thirty-six (36) hour period of time. Sod shall be protected from exposure to wind, sun, and freezing. Should installation occur between November and March, sod shall include an over-seed of Annual Rye for a green-in appearance.

IRRIGATION:
 In the absence of an irrigation system or areas beyond the coverage limits of a permanent irrigation system, Contractor shall water sod temporarily to develop adequate growth and establishment before regular maintenance begins. Turf shall be watered until firmly established.

Water shall be furnished by the Contractor with means and methods available to achieve acceptable turf. The water source shall be clean and free of industrial wastes or other substances harmful to the growth of the turf.

MAINTENANCE REQUIREMENTS:
 Vegetation should be inspected regularly to ensure that plant material is established properly and remains healthy. Mowing, trimming and supervision of water applications shall be the responsibility of the Contractor until the Owner or Owner's Representative accepts and assumes regular maintenance.

The John R. McAdams Company, Inc. (DBA: G&A McAdams) 111 Hillside Drive Lewisville, Texas 75057 972.436.9712 201 Country View Drive Round Rock, Texas 76682 TBP#: 18762 TBS: 1019440 www.mcadams.com

MCADAMS

SWBC ROCKWALL PHASE II
 SWBC ROCKWALL ADDITION, PHASE II
 Lot 1, Block A
 21.275 Acres
 in the
 J.M. ALLEN SURVEY, ABSTRACT NO. NO. 2
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

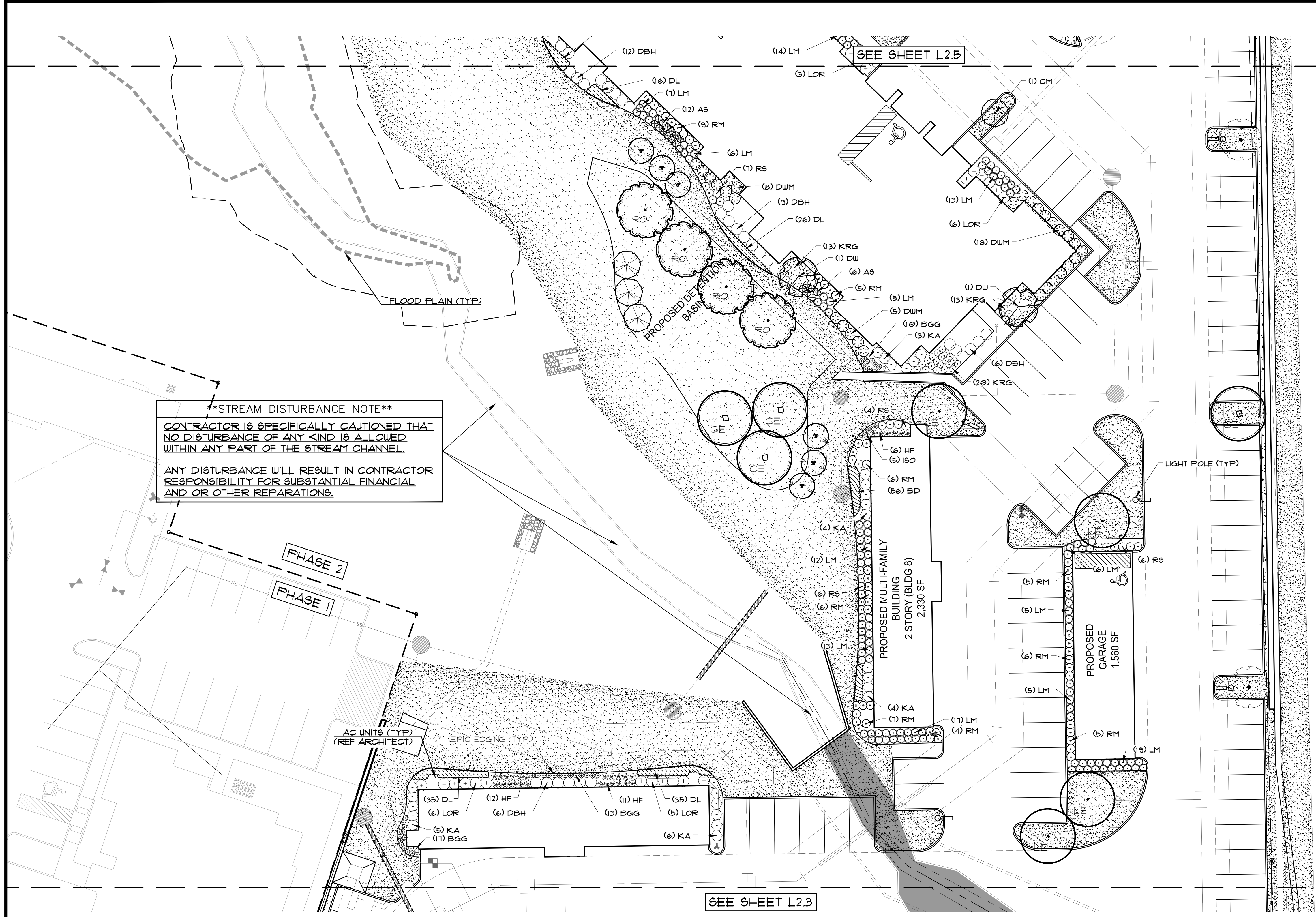
THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW AGENCY APPROVAL, AND COMMENT UNDER THE AUTHORITY OF JEREMY W. NELSON LANDSCAPE ARCHITECT No. 3102, ON 16/07/2021. THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

Drawn By: VC
 Date: 12/30/2020
 Scale: 1"=20'
 Revisions:
 02/11/2021
 03/11/2021
 05/07/2021
 07/12/2021

WBC20000

L2.3

File: M:\Projects\SWBC\SWBC-20000\04-Introduction\Planing and L.A.\SWBC-20000-L5.dwg
 Date: 7/17/2021 5:13 AM, by: harriss, warriss, Sarriss
 7/17/2021 10:29 AM, by: jpharriss



****STREAM DISTURBANCE NOTE****
 CONTRACTOR IS SPECIFICALLY CAUTIONED THAT NO DISTURBANCE OF ANY KIND IS ALLOWED WITHIN ANY PART OF THE STREAM CHANNEL.
 ANY DISTURBANCE WILL RESULT IN CONTRACTOR RESPONSIBILITY FOR SUBSTANTIAL FINANCIAL AND/OR OTHER REPAIRATIONS.

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME
	CP	Pistacia chinensis / Chinese Pistache
	RO	Quercus shumardii / Shumard Red Oak
	LO	Quercus virginiana / Southern Live Oak
	CE	Ulmus crassifolia / Cedar Elm
	LE	Ulmus parvifolia / Lacebark Elm
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	DW	Chilopsis linearis / Desert Willow
	CM	Lagerstroemia indica / Crape Myrtle
	DP	Sabal minor / Dwarf Palmetto
	TML	Sophora secundiflora / Texas Mountain Laurel
	CT	Vitex agnus-castus / Chaste Tree
SHRUBS	CODE	BOTANICAL / COMMON NAME
	KA	Abelia x grandiflora "Kaleidoscope" / Kaleidoscope Abelia
	DBH	Ilex cornuta "Burfordii Nana" / Dwarf Burford Holly
	DTS	Leucophyllum frutescens "Bertstar Dwarf" / Dwarf Texas Sage
	LOR	Loropetalum chinense "Danuma" / Danuma Dwarf Loropetalum
	DWM	Mynca pusilla / Dwarf Southern Wax Myrtle
	RM	Rosmannus officinalis / Rosemary
GRASSES	CODE	BOTANICAL / COMMON NAME
	BGG	Bouteloua gracilis "Blonde Ambition" / Blonde Ambition Blue Grama
	ISO	Chasmanthum latifolium / Inland Sea Oats
	LM	Muhlenbergia lindheimeri / Lindheimer's Muhly
	KRG	Pennisetum alopecuroides "Karlay Rose" / Fountain Grass
PERENNIALS	CODE	BOTANICAL / COMMON NAME
	HF	Cyrtomium falcatum / Holly Fern
	RS	Perovskia atriplicifolia "Little Spire" / Little Spire Russian Sage
	AS	Salvia greggii / Autumn Sage
SHRUB AREAS	CODE	BOTANICAL / COMMON NAME
	DL	Hemerocallis x "Stella de Oro" / Stella de Oro Daylily
	BD	Melampodium leucanthum / Blackfoot Daisy
GROUND COVERS	CODE	BOTANICAL / COMMON NAME
	CG	Crushed Granite
	SOD	Cynodon dactylon / Bermuda Grass

LANDSCAPE NOTES

SEE SHEET L2.0 FOR THE CITY OF ROCKWALL LANDSCAPE ORDINANCE, FULL LANDSCAPE SCHEDULE, ETC

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

OWNER/DEVELOPER
 SWBC ROCKWALL LP
 5949 SHERRY LANE, SUITE 750
 DALLAS, TEXAS 75225
 Ph. (214) 987-0700
 Contact: Spencer Byington



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 (DBA: G&A McAdams)
 111 Hillside Drive
 Lewisville, Texas 75057
 972.336.9712
 201 Country View Drive
 Round Rock, Texas 78682
 TBE: 8782 TBE: S. 1019440
 www.mcadams.com

MCADAMS

SWBC ROCKWALL PHASE II

SWBC ROCKWALL PHASE II
 SWBC ROCKWALL ADDITION, PHASE II
 Lot 1, Block A
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 CITY OF ROCKWALL,
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LANDSCAPE PLAN

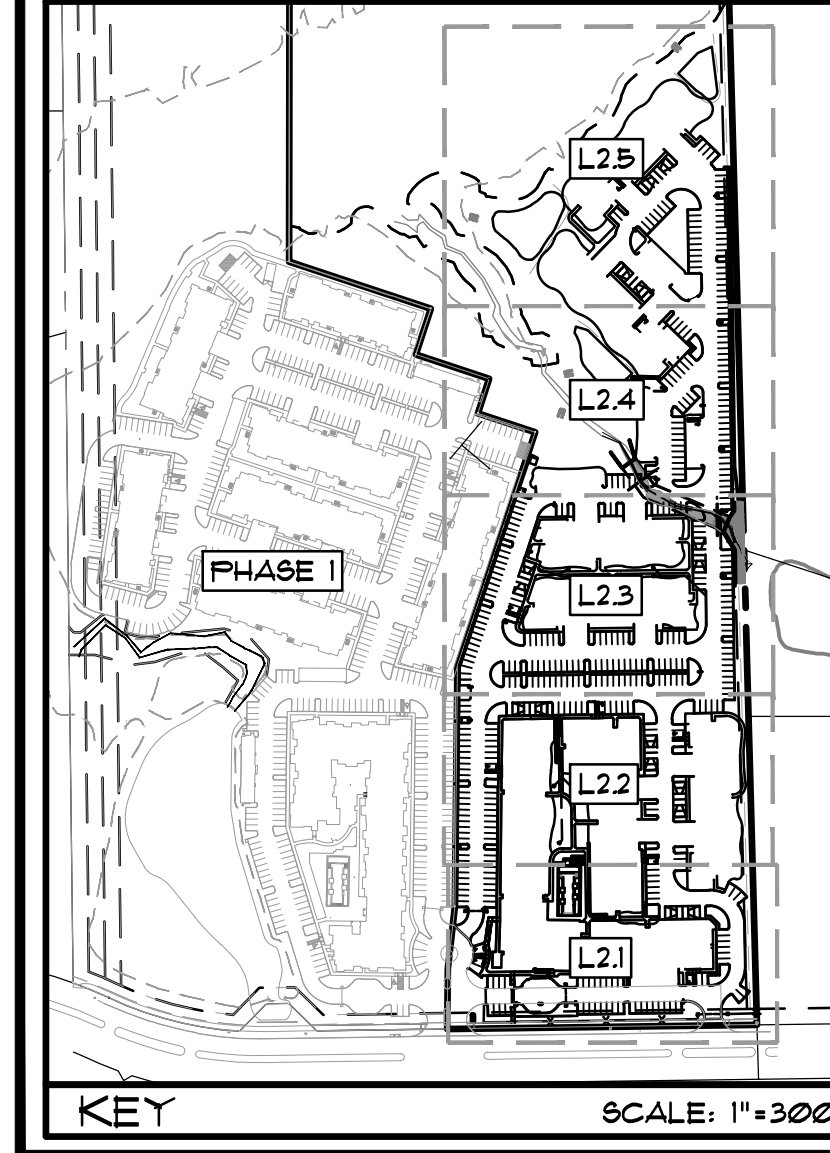
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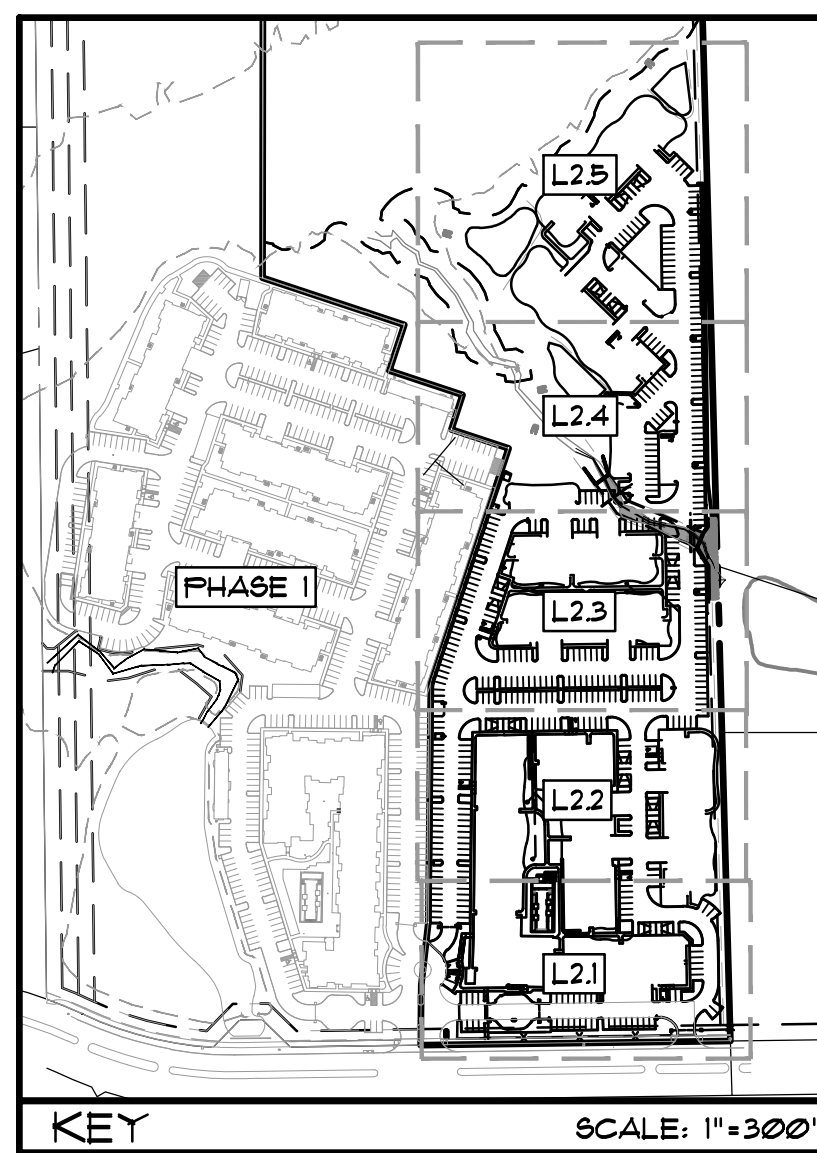
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02/11/2021
03/11/2021
05/07/2021
07/12/2021

Case #: P2021-040

WBC20000

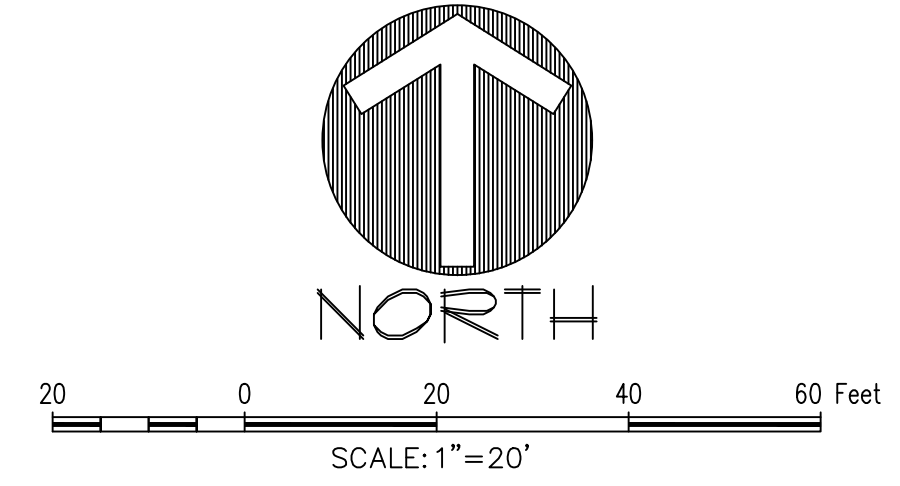
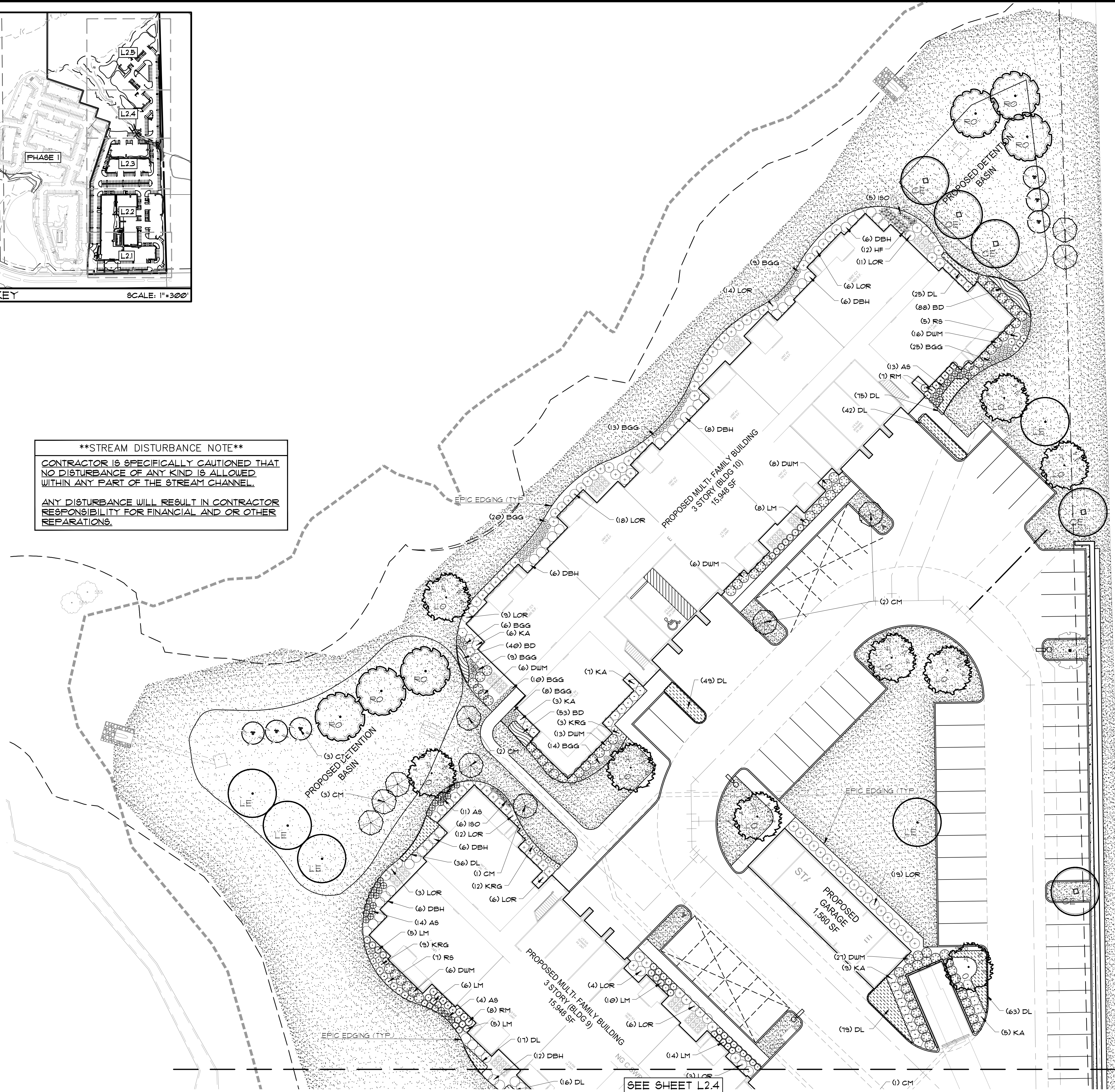
L2.4





SCALE: 1"=300'

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 Ph. (214) 987-0700
 Contact Spencer Byington

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 111 Hillside Drive
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 201 Country View Drive
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 TBE: 8782 TBE: 1.1019440
 www.mcadamsco.com

MCADAMS

SWBC ROCKWALL PHASE II
 SWBC ROCKWALL ADDITION, PHASE II
 Lot 1, Block A
 in the
 21275 Acres
 JIM ALLEN SURVEY, ABSTRACT NO. NO. 2
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

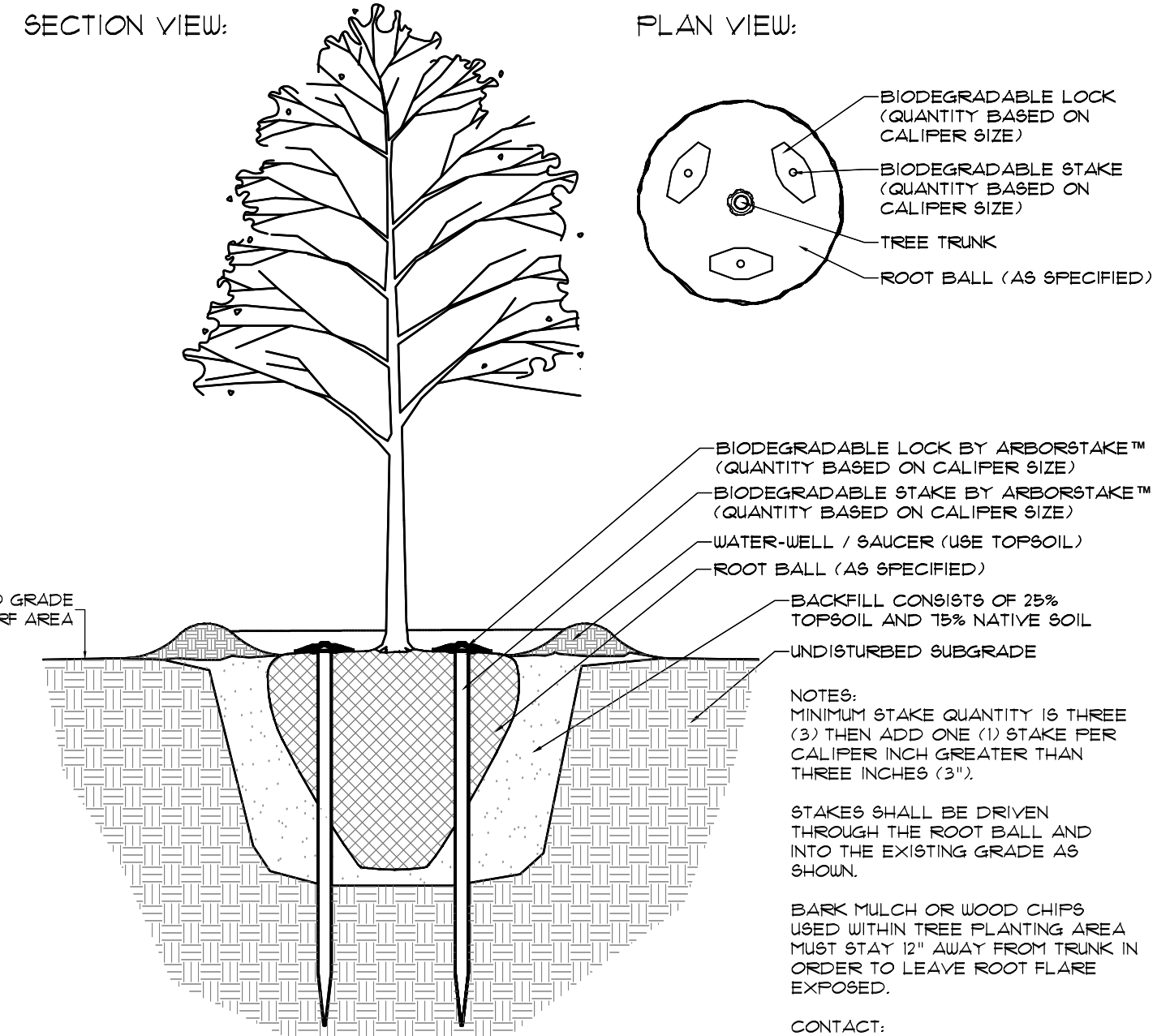
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Drawn By: VC
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Scale: 1"=20'
Revisions:
02/11/2021
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05/07/2021
07/12/2021

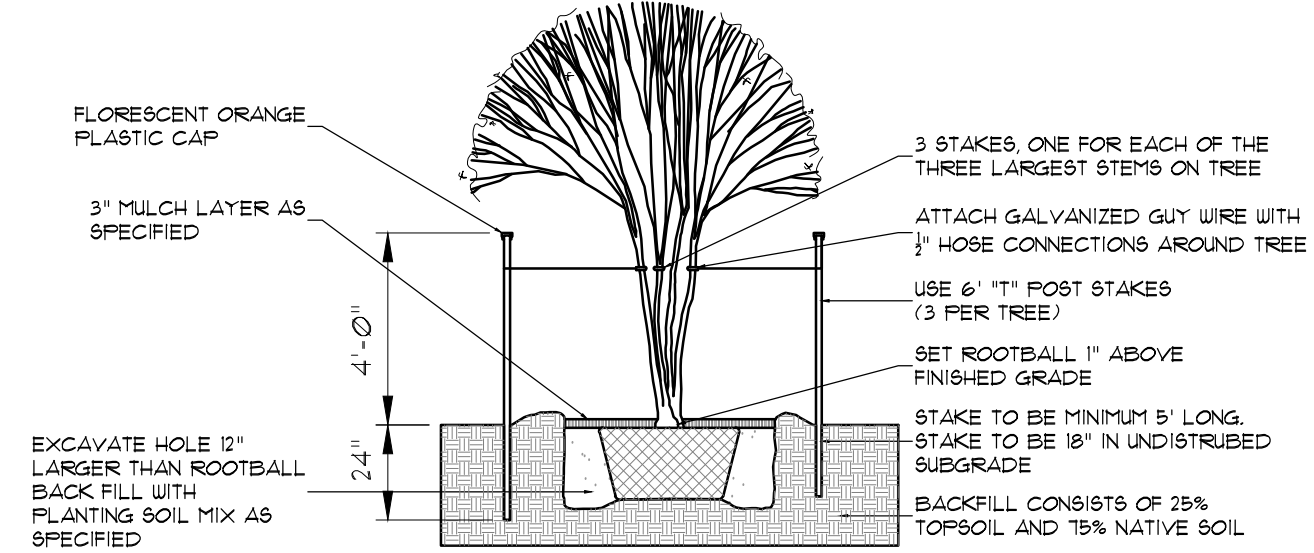
Case #: P2021-040

WBC20000

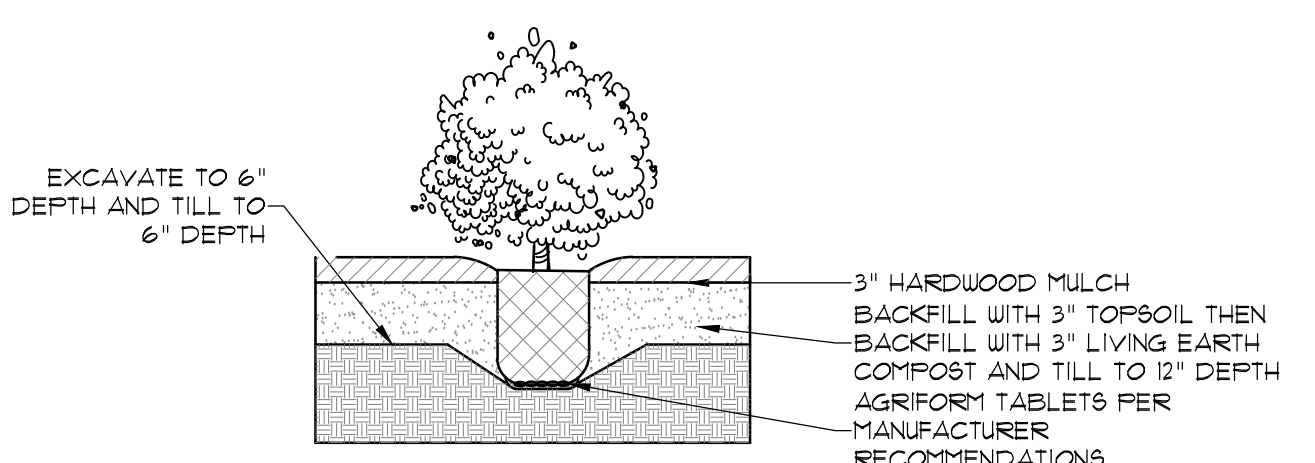
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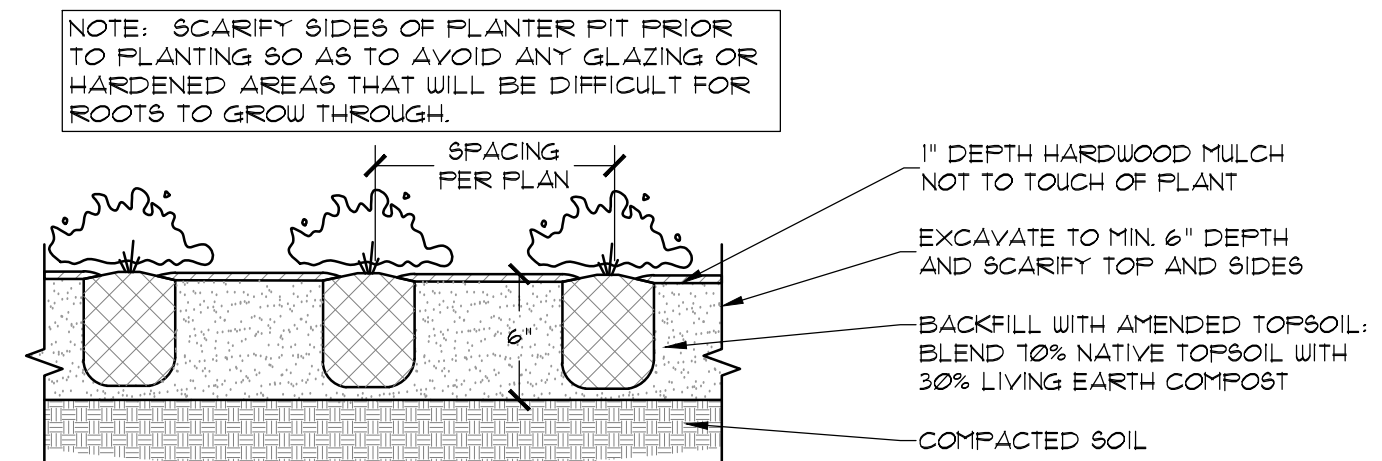
1. BELOWGROUND TREE STAKING DETAIL
1/4"=1'



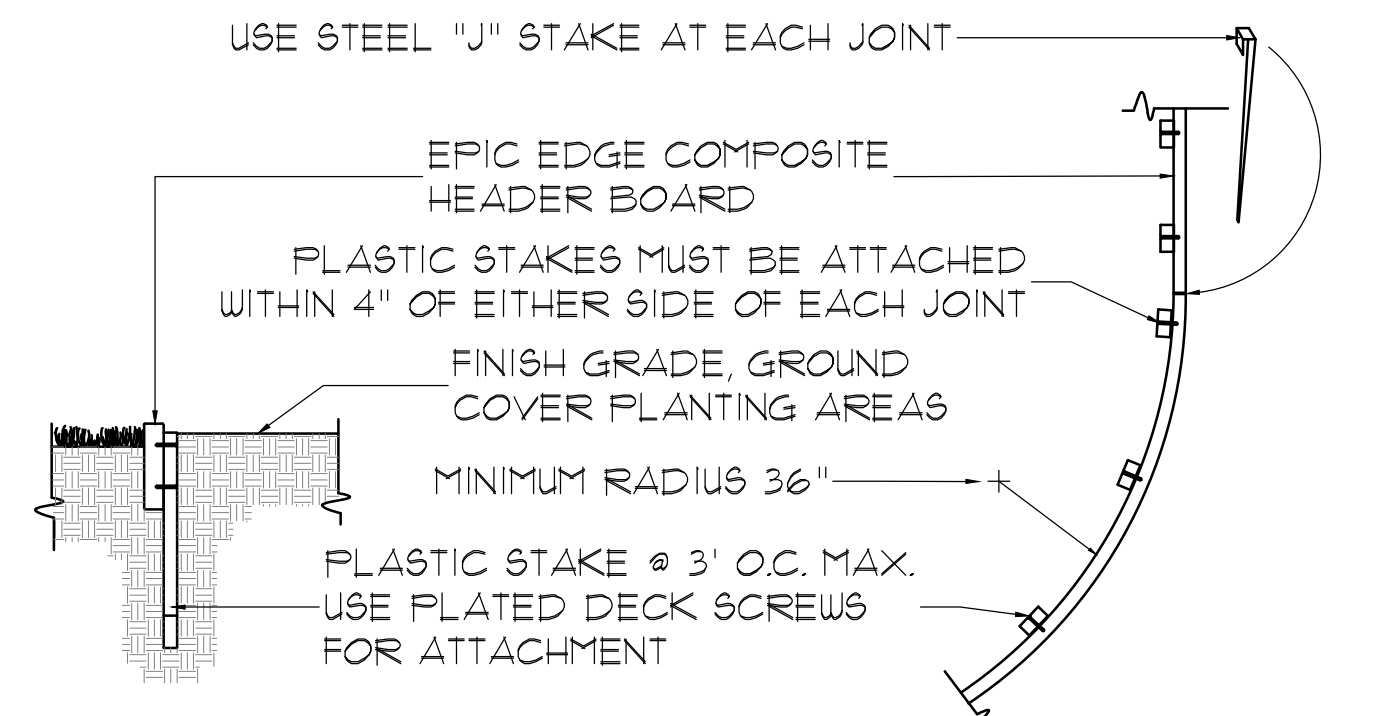
2. MULTI TRUNK TREE STAKING
1/4"=1'



3. SHRUB PLANTING DETAIL
SCALE: NOT TO SCALE



4. GROUNDCOVER PLANTING DETAIL
SCALE: NOT TO SCALE



SECTION	HDR. SIZE	ACTUAL DIMENSIONS	MIN. RADIUS POSSIBLE
	1X6	5 1/8" X 3 1/2" X 20'	36"

NOTE:
1. USE COARSE WOOD WORKING TOOLS FOR CUTTING & DRILLING

EPIC EDGE CHART
COLOR OPTIONS: MENDOCINO REDWOOD, PACIFICA GREY, SEDONA SAND, AND CARMEL BROWN
MANUFACTURED BY: EPIC PLASTICS, 104 E. TURER RD., LODI, CA 95240
URL ADDRESS: WWW.EPICPLASTICS.COM

5. EPIC EDGE COMPOSITE HEADER BOARD DETAIL #210
SCALE: NOT TO SCALE
BELLA BOARD IS INTENDED FOR NON-STRUCTURAL USE ONLY

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LANDSCAPE ARCHITECT No. 3102, ON 15/07/2021
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Date: 12/30/2020
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07/12/2021

Case #: P2021-040

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OWNER/DEVELOPER
SWBC ROCKWALL LP
5649 SHERRY LANE, SUITE 750
DALLAS, TEXAS 75225
Ph. (214) 987-0700
Contact: Spencer Byington

WBC20000



File: I:\Projects\2021\1218 SWBC Rockwall Phase II\Drawings\1218 SWBC Rockwall Phase II\1218 SWBC Rockwall Phase II - Landscape\1218 SWBC Rockwall Phase II - Landscape - L2.6.dwg
Printed: 7/15/2021 10:18 AM by: jason.greene
Scale: 1/16"=1'-0" (Auto)
Plot Date: 7/15/2021 10:18 AM by: jason.greene

September 9, 2020

City of Rockwall
Planning Dept.
385 S. Goliad
Rockwall, Texas 75087

**RE: SWBC Rockwall, Phase II
City of Rockwall Project No.: SP2020-021
Treescape Plan
WBC-20000**



David Gonzalez,

Per your email request on September 3, 2020 we are providing this letter to state that the property located at Lot 1, Block A, SWBC Rockwall Addition, in Rockwall, TX does not as of the date of this letter contain trees of the species and/or size identified as protected per the Rockwall, TX Unified Development Code.

As stated in your email, in 2017 a mitigation plan was approved with the understanding that no mitigation would be due since the trees were primarily unprotected cedar trees for this site.

If you should have any questions or require additional information, please do not hesitate to contact me at 972.436.9765.

Sincerely,

MCADAMS



Jeremy Nelson, PLA
Project Manager

Case #:P2021-040

- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for master plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Master Plat for the *Homestead Subdivision*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) The development shall adhere to the recommendations of the Parks and Recreation Board; and,
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **S FM 549, Rockwall, TX**

SUBDIVISION **Ramsey Survey ABS-186** LOT **N/A** BLOCK **I/A**

GENERAL LOCATION **NEC of SFM 549 & FM 1139**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD - Single Family	CURRENT USE	AG
PROPOSED ZONING	PD - Single Family	PROPOSED USE	single Family Res. Subdivision
ACREAGE	196.008	LOTS [CURRENT]	N/A
		LOTS [PROPOSED]	490

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Klotts Farm, LLC	<input type="checkbox"/> APPLICANT	Skorburg Company
CONTACT PERSON	Ben Klotts, Jr	CONTACT PERSON	Humberto Johnson Jr. PE
ADDRESS	1604 N Hills Dr	ADDRESS	8214 Westchester STE 900
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Dallas, TX 75225
PHONE	972-771-5755	PHONE	214-888-8899
E-MAIL	Bklottsjr@att.net	E-MAIL	Jr Johnson@skorburgcompany.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ben Klotts, Jr [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 3,040.12 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 8th DAY OF July, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

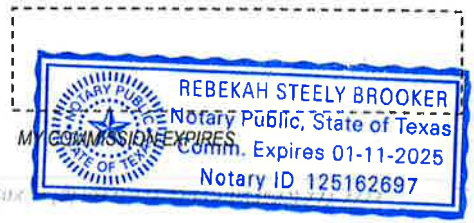
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8 DAY OF July, 2021

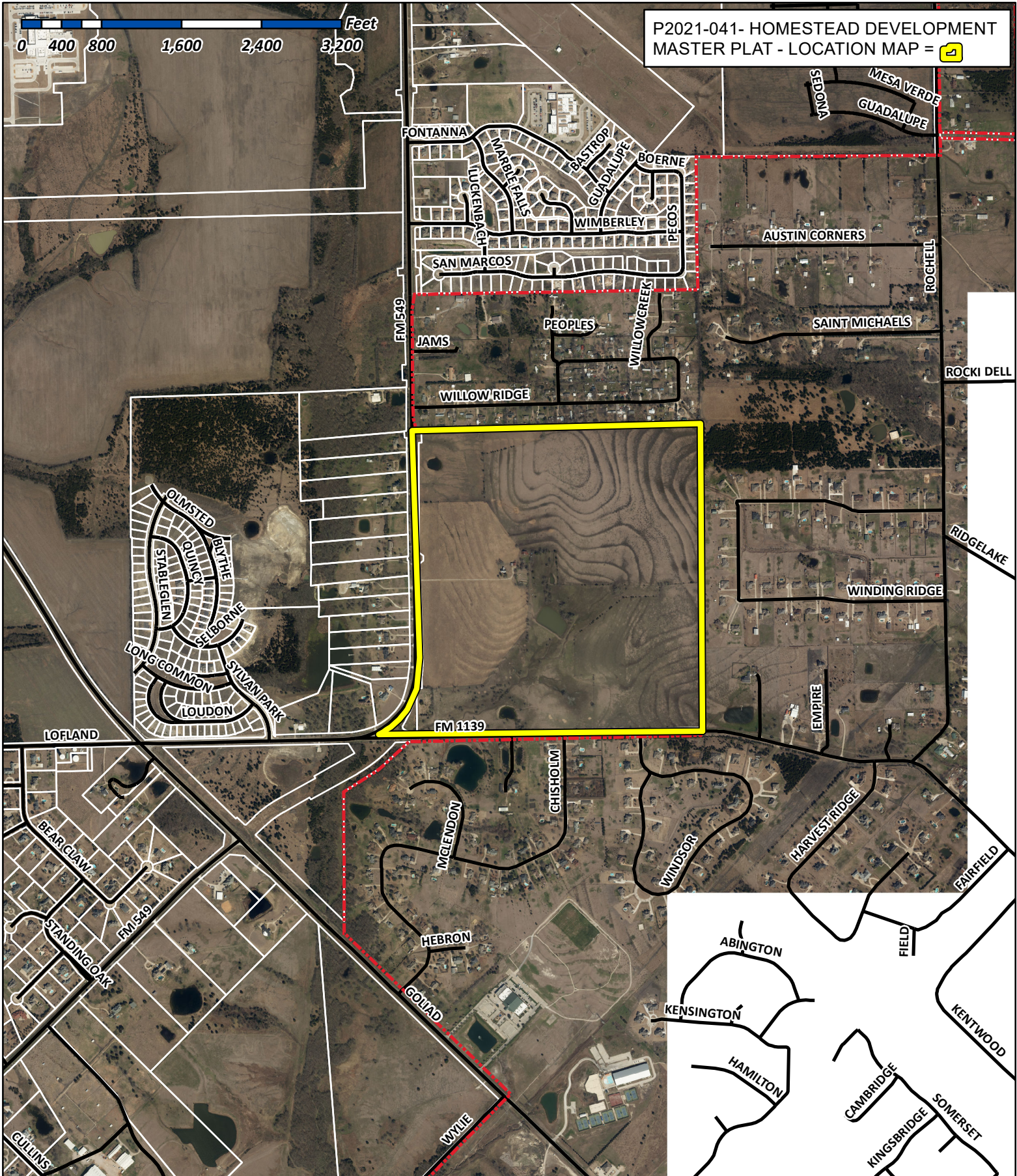
OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

DEVELOPMENT APPLICATION

[Signature]





P2021-041- HOMESTEAD DEVELOPMENT
 MASTER PLAT - LOCATION MAP = [location pin icon]

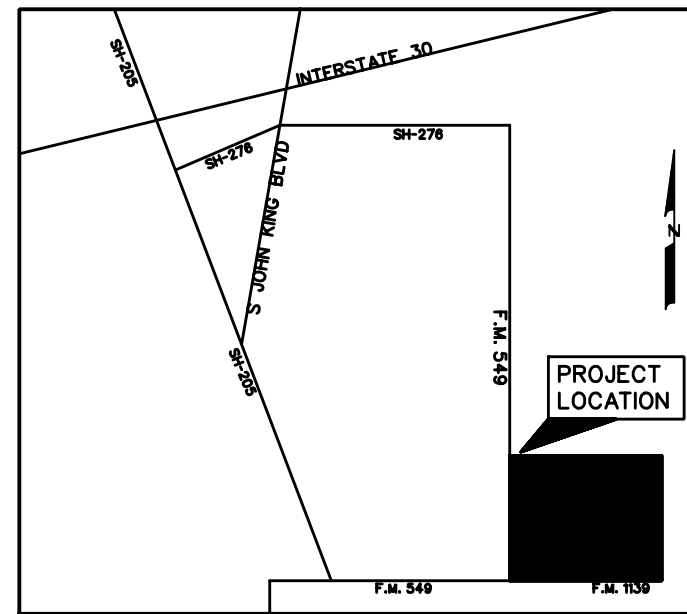


City of Rockwall

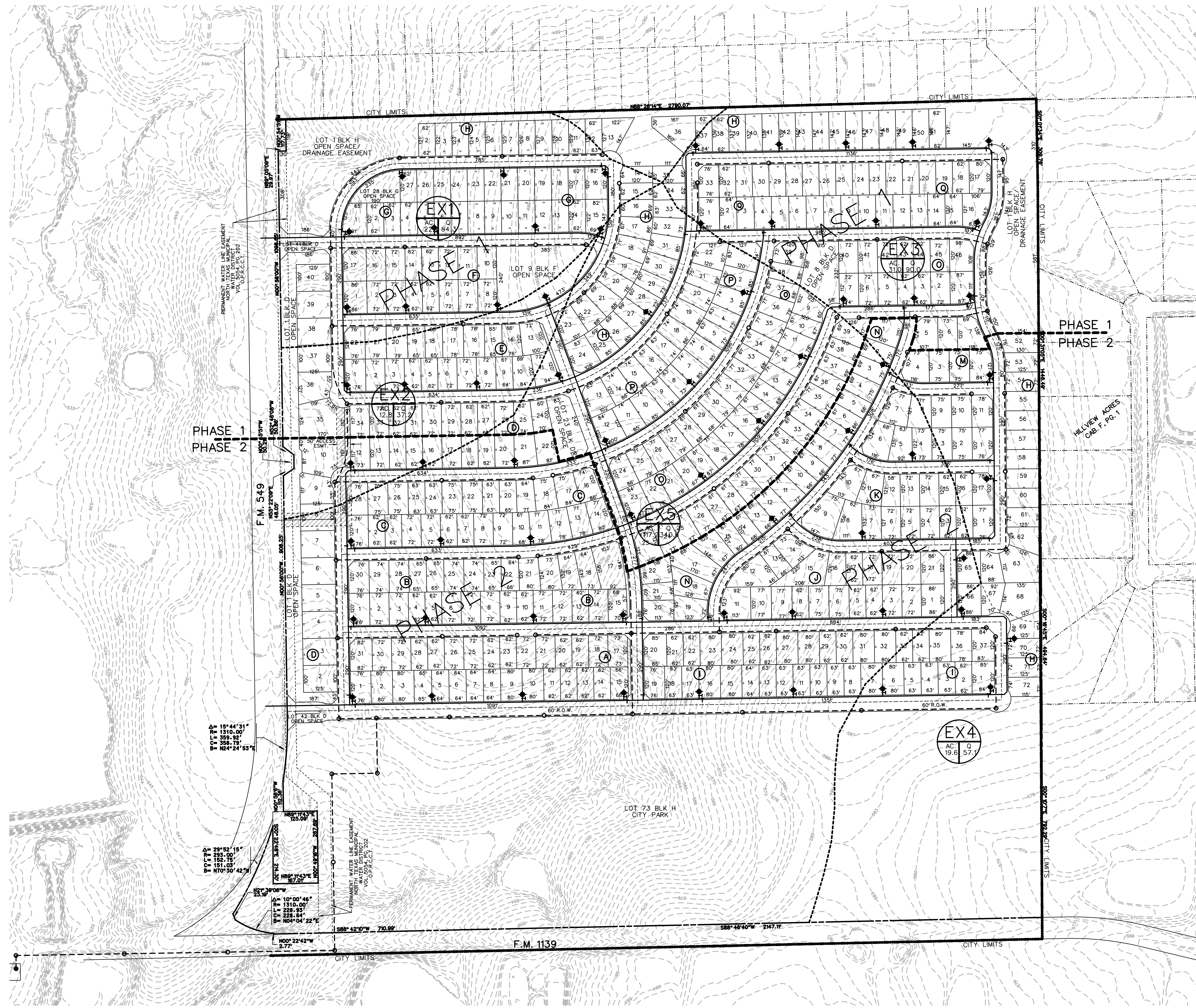
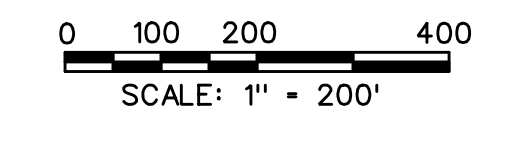
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LOCATION MAP
N.T.S.



MASTER PLAT
OF
HOMESTEAD
LOTS 1-31, BLOCK A
LOTS 1-30, BLOCK B
LOTS 1-28, BLOCK C
LOTS 1-40, BLOCK D
LOTS 1-22, BLOCK E
LOTS 1-17, BLOCK F
LOTS 1-28, BLOCK G
LOTS 1-72, BLOCK H
LOTS 1-37, BLOCK I
LOTS 1-21, BLOCK J
LOTS 1-17, BLOCK K
LOTS 1-11, BLOCK L
LOTS 1-7, BLOCK M
LOTS 1-39, BLOCK N
LOTS 1-46, BLOCK O
LOTS 1-22, BLOCK P
LOTS 1-33, BLOCK Q

TOTAL ACRES 196.008
TOTAL SQUARE FOOTAGE 8,537,150.823
TOTAL RESIDENTIAL LOTS 490
TOTAL DENSITY 2.50
TOTAL OPEN SPACE LOTS 11

OUT OF THE
J.A. RAMSEY SURVEY,
ABSTRACT NO. 186
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER
UNISON INVESTMENT
23545 CRENSHAW BLVD., STE. 201
TORRANCE, CA 90505

DEVELOPER
SKORBURG COMPANY, LLC.
8214 WESTCHESTER DRIVE, STE. 900
DALLAS, TEXAS 75225

PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

TOTAL ACRES	196.008
TOTAL RESIDENTIAL LOTS	490
DENSITY	2.4998
EX. ZONING	PD-92
LAND USE	SINGLE FAMILY DEVELOPMENT

JULY 2021 SCALE 1" = 200'

CASE #P2021-041



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 10, 2021
APPLICANT: Humberto Johnson, Jr.; *Skorburg Co.*
CASE NUMBER: P2021-044; *Preliminary Plat for the Homestead Subdivision*

SUMMARY

Discuss and consider a request by Humberto Johnson, Jr. of the Skorburg Company on behalf of Ben Klutts, Jr. of the Klutts Farm, LLC for the approval of a Preliminary Plat for the Homestead Subdivision being a 196.009-acre tract of land identified as Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 92 (PD-92), generally located at the northeast corner of the intersection of FM-549 and FM-1139, and take any action necessary.

PLAT INFORMATION

- The purpose of the applicant's request is to Preliminary Plat the Homestead Subdivision. This subdivision is comprised of 490 single-family residential lots on a 196.009-acre tract of land. The proposed development will incorporate 13.6-acres of open space (*which includes a dog park*), a 1.606-acre amenity center, and a 50.8-acre public park. This represents a total of 66.006-acres (*or 33.67%*) of the site being dedicated to open space/amenity. In addition to the Preliminary Plat, the applicant has also submitted preliminary drainage and utility plans showing how the development can be adequately served. With this submittal, the applicant also submitted a preliminary treescape plan; however, these plans will not be finalized until the submittal of the PD Site Plan. It should be known that the applicant has also submitted a Master Plat (*i.e. Case No. P2021-041*) concurrently with the Preliminary Plat for the development of the subdivision.
- A portion of the subject property (*i.e. 103.142-acres*) was annexed by the City Council on June 15, 1998 by Ordinance No. 98-20. The City Council annexed the remainder of the subject property on October 4, 2010, by Ordinance No. 10-27. At the time of annexation both of these portions of the subject property were zoned Agricultural (AG) District. On July 6, 2021, the City Council approved Planned Development District 92 (PD-92) [Ordinance No. 21-24] for Single-Family 8.4 (SF-8.4) District land uses on the subject property.
- On August 3, 2021, the Parks and Recreation Board approved pro-rata fees of \$233,240.00 (*i.e. 490 lots @ \$476.00 per lot*) that shall be used to provide amenities to the 50.8-acre public park as dedicated for the development for the Homestead Addition. In addition, the Parks and Recreation Board approved the acceptance of the 50.8-acre public park in lieu of the cash-in-lieu of land fees. The motion passed by a vote of 5-0, with Board Members Dodd and Hasenyager absent.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the Conditions of Approval section below.
- With the exception of the items listed in the Conditions of Approval section of this case memo, this plat is in substantial compliance with the requirements of the Subdivision Ordinance in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a Preliminary Plat for the *Homestead Subdivision*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans; and,
- (2) The development shall adhere to the recommendations of the Parks and Recreation Board; and
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: *[Signature]*

CITY ENGINEER: *[Signature]*

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS S FM 549, Rockwall, TX

SUBDIVISION Ramsey Survey ABS-186 LOT N/A BLOCK N/A

GENERAL LOCATION NEL of SFM 549 & FM 1139

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD - Single Family CURRENT USE AG

PROPOSED ZONING PD - Single Family PROPOSED USE single Family Res. Subdivision

ACREAGE 67.81 LOTS [CURRENT] N/A LOTS [PROPOSED] 239

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>Klotts Farm, LLC</u>	<input type="checkbox"/> APPLICANT	<u>Skorburg Company</u>
CONTACT PERSON	<u>Ben Klotts, Jr</u>	CONTACT PERSON	<u>Humberto Johnson Jr. PE</u>
ADDRESS	<u>1604 N Hills Dr</u>	ADDRESS	<u>8214 Westchester STE 900</u>
CITY, STATE & ZIP	<u>Rockwall, TX 75087</u>	CITY, STATE & ZIP	<u>Dallas, TX 75225</u>
PHONE	<u>972-771-5755</u>	PHONE	<u>214-888-8899</u>
E-MAIL	<u>Bklottsjr@att.net</u>	E-MAIL	<u>Jr Johnson@skorburgcompany.com</u>

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ben Klotts, Jr [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION, ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 1,217.15 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 21 DAY OF July 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

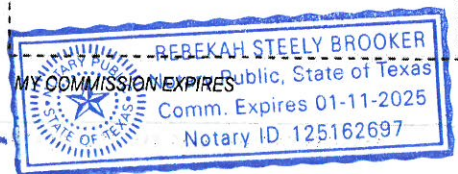
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 21 DAY OF July 2021

OWNER'S SIGNATURE *[Signature]*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

DEVELOPMENT APPLICATION

[Signature]





DEVELOPMENT APPLICATION

City of Rockwall
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PROPOSED ZONING PD - Single Family PROPOSED USE single Family Res. Subdivision

ACREAGE 128.195 LOTS [CURRENT] N/A LOTS [PROPOSED] 25!

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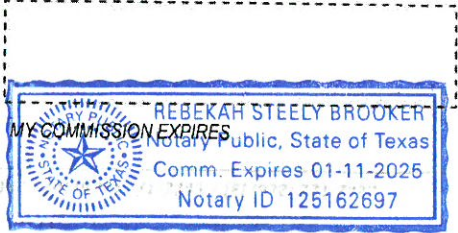
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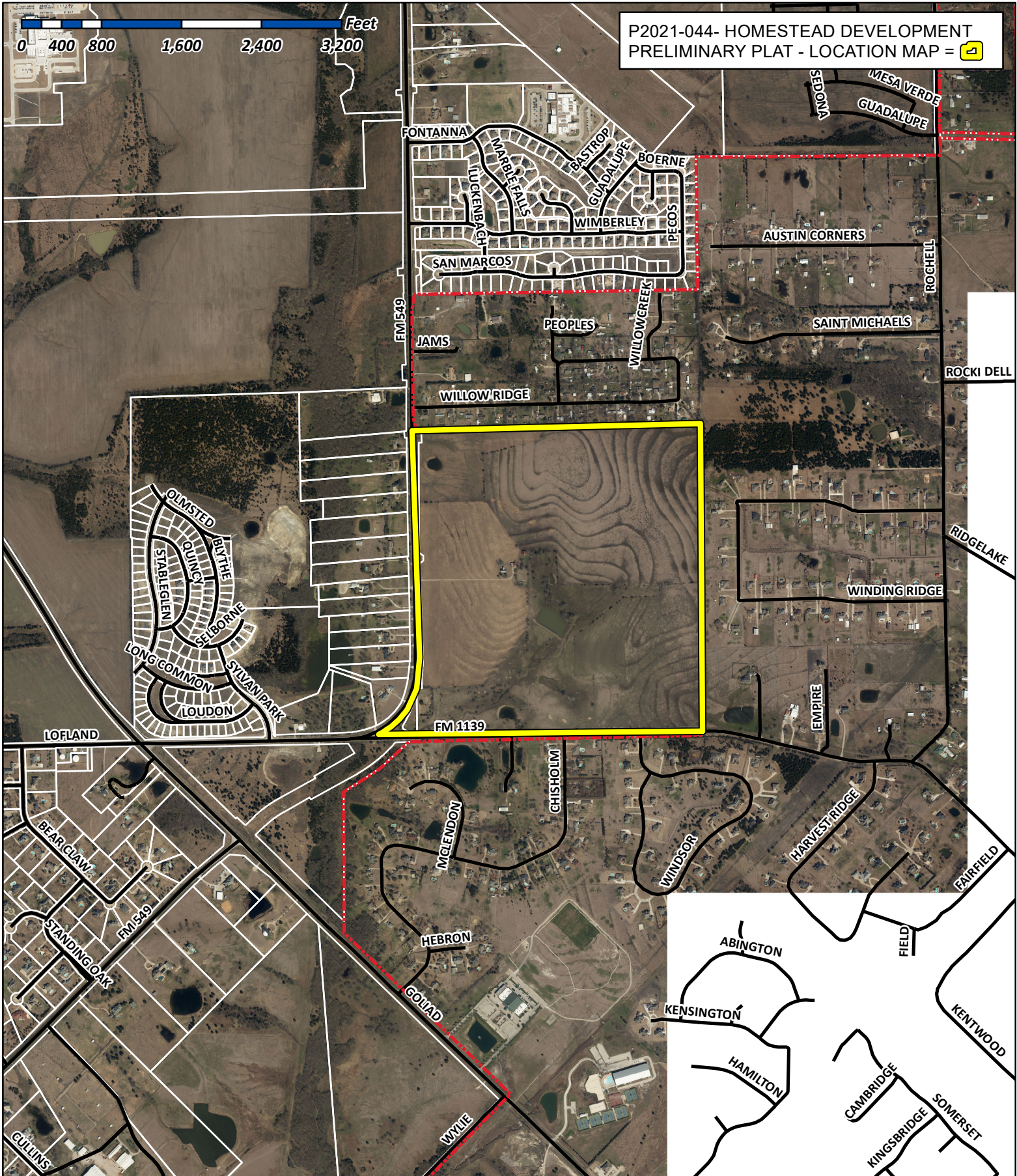
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OWNER'S SIGNATURE *[Signature]*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS *[Signature]*





P2021-044- HOMESTEAD DEVELOPMENT
 PRELIMINARY PLAT - LOCATION MAP =

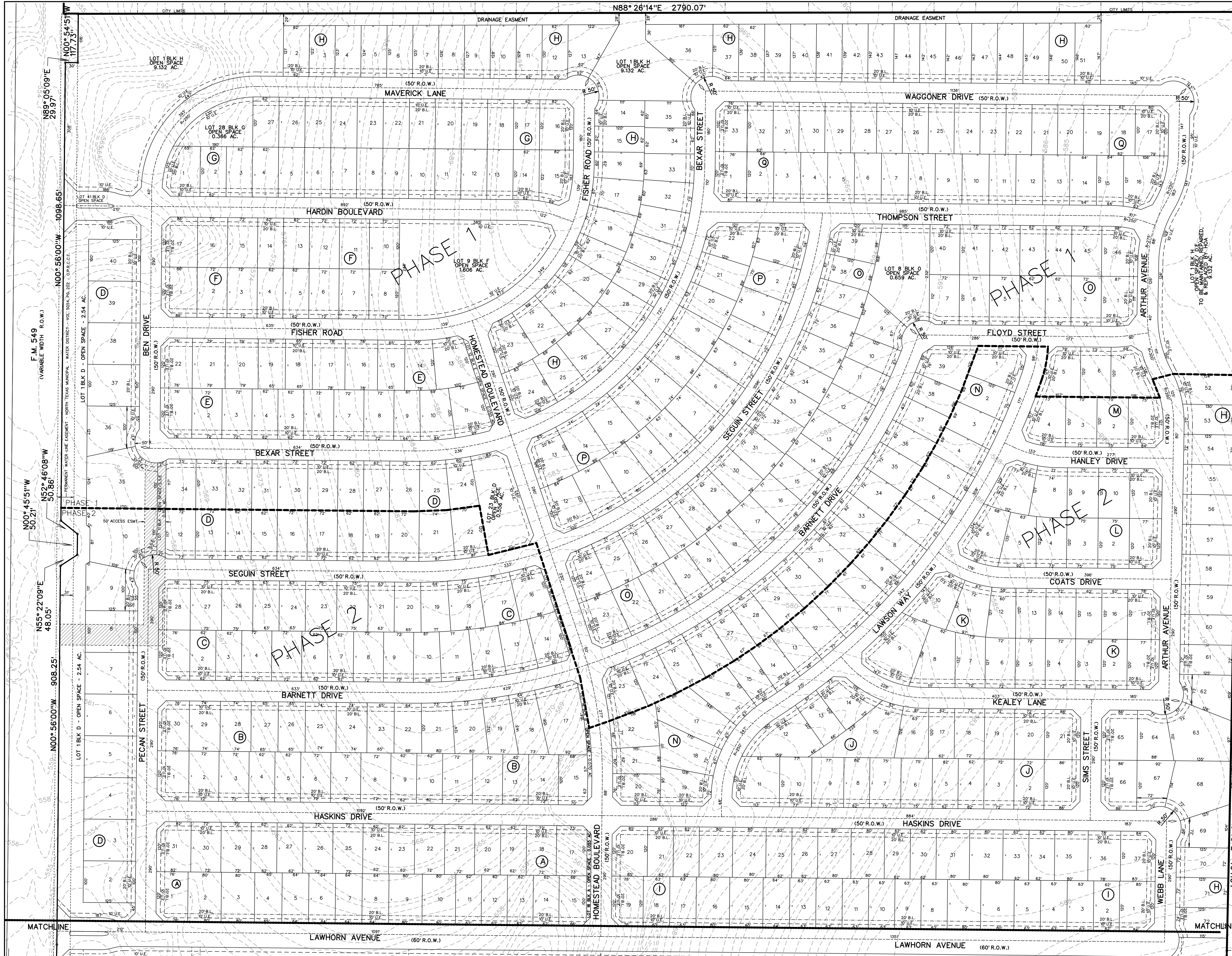


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

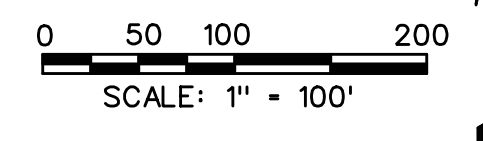
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





CITY OF ROCKWALL, TEXAS
 SYSTEM COORDINATES
 X 262343.2627040467.443
 Y 11773.31
 ELEV = 532.0

NOTES:
 ALL OPEN SPACE AREAS WILL BE MAINTAINED BY THE HOA.
 HOA/PROPERTY OWNER TO MAINTAIN, REPLACE, AND REPAIR ALL DRAINAGE DETENTION, AND OPEN SPACE EASEMENTS AND LOTS.



LEGEND
 B.L. - BUILDING LINE
 D.E. - DRAINAGE EASEMENT
 S.S.E. - SANITARY SEWER EASEMENT
 U.E. - UTILITY EASEMENT
 R.O.W. - RIGHT OF WAY
 H.O.A. - HOMEOWNERS ASSOCIATION
 --- CITY LIMITS
 - - - PHASE LINE

PHASE 1
 PHASE 2

Phase 1 = 251 Lots
 Phase 2 = 239 Lots

PRELIMINARY PLAT
 OF
HOMESTEAD

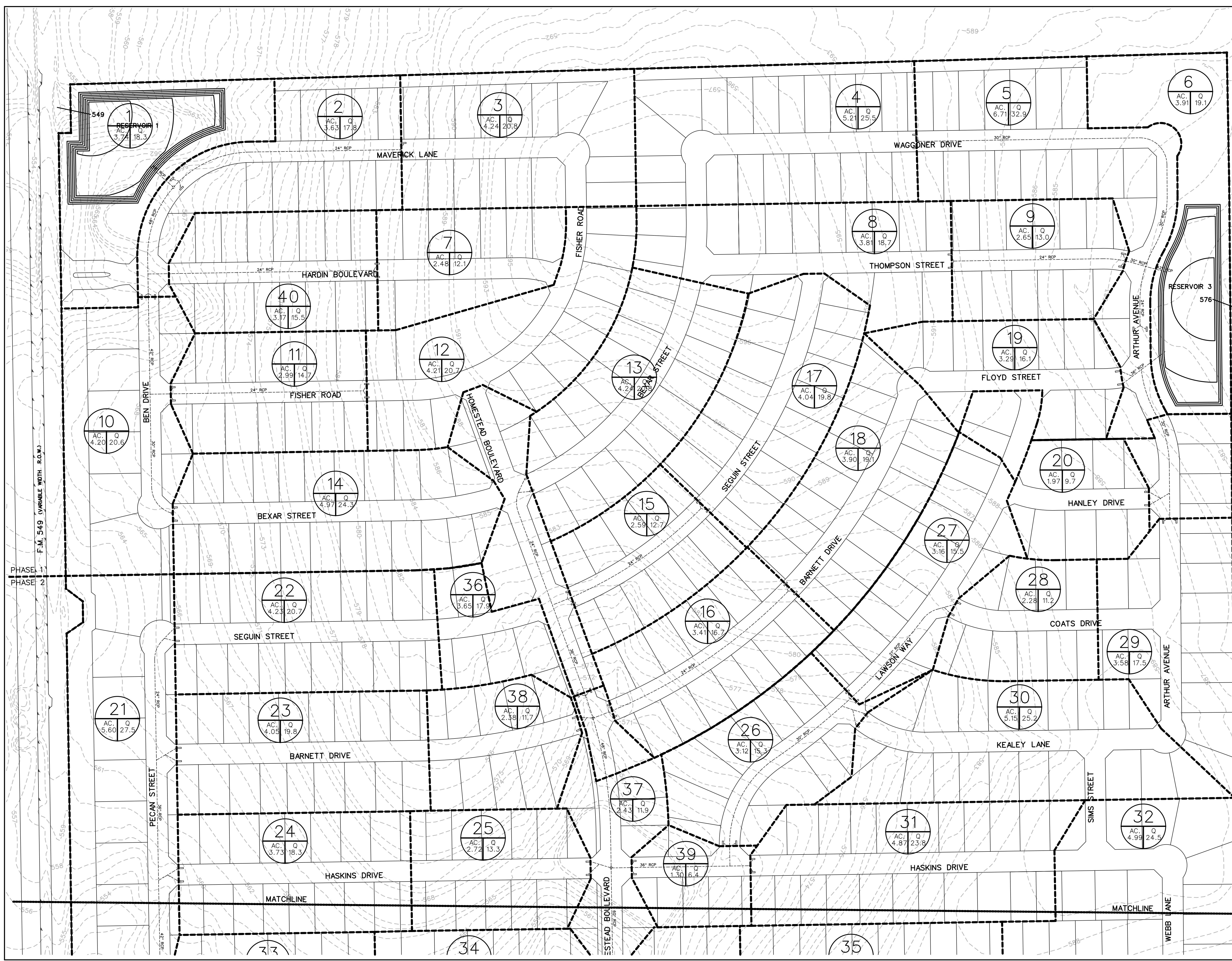
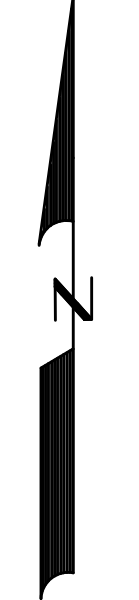
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- LOTS 1-39, BLOCK N
- LOTS 1-46, BLOCK O
- LOTS 1-22, BLOCK P
- LOTS 1-33, BLOCK Q

TOTAL ACRES 196.008
 TOTAL RESIDENTIAL LOTS 490
 TOTAL DENSITY 2.4998
 TOTAL OPEN SPACE LOTS 11

OUT OF THE
J.A. RAMSEY SURVEY,
 ABSTRACT NO. 186
 IN THE
CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

OWNER
UNISON INVESTMENT
 23545 CRENSHAW BLVD., STE. 201
 TORRANCE, CA 90505
 DEVELOPER
SKORBURG COMPANY, LLC.
 8214 WESTCHESTER DRIVE, STE. 900
 DALLAS, TEXAS 75225

PREPARED BY
CORWIN ENGINEERING, INC.
 200 W. BELMONT, SUITE E
 ALLEN, TEXAS 75013
 972-396-1200



PHASE 1
PHASE 2

PRELIMINARY DRAINAGE PLAN
PRELIMINARY PLAT
OF

HOMESTEAD

- LOTS 1-31, BLOCK A
- LOTS 1-30, BLOCK B
- LOTS 1-28, BLOCK C
- LOTS 1-40, BLOCK D
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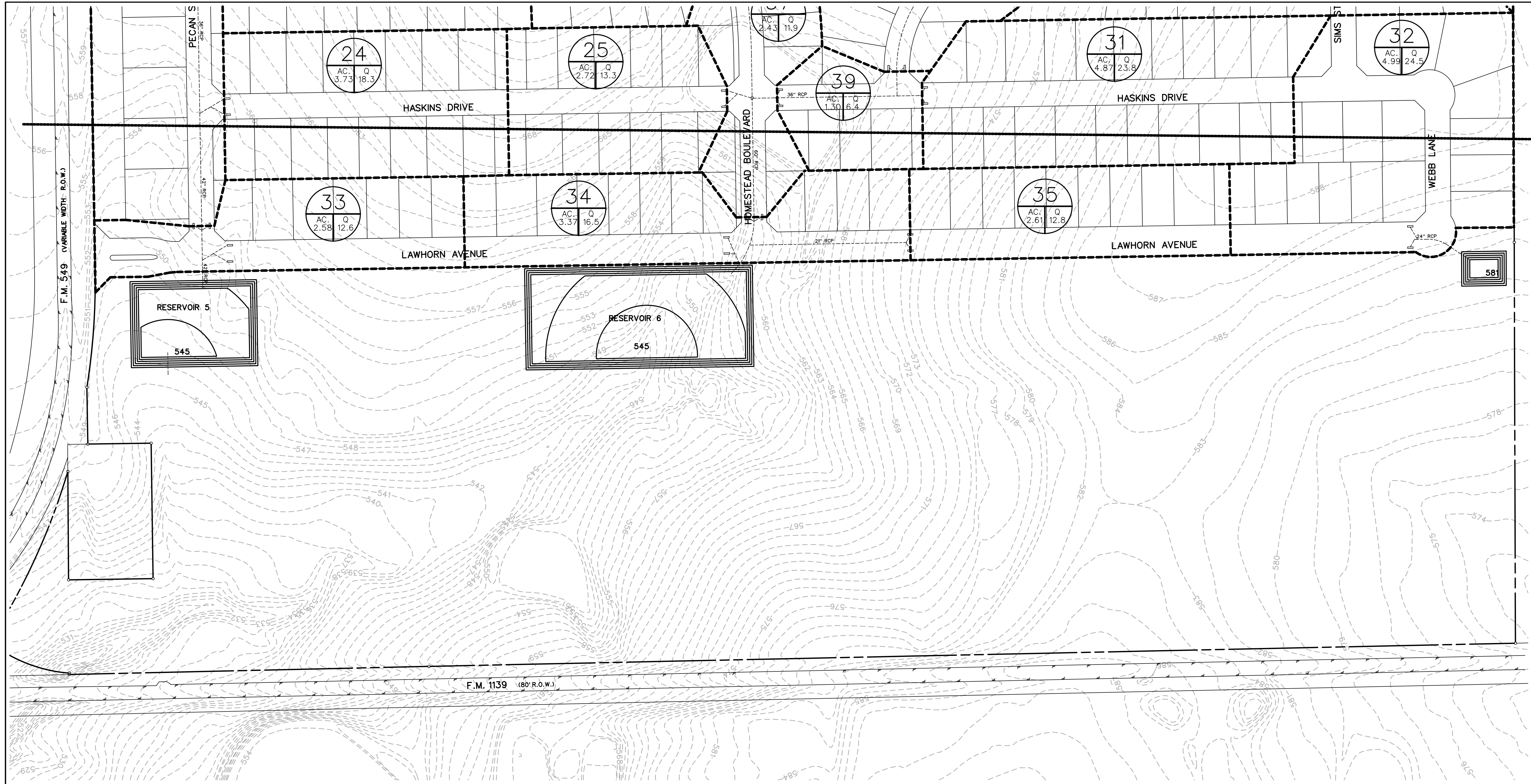
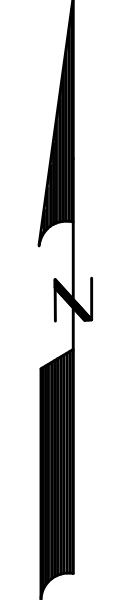
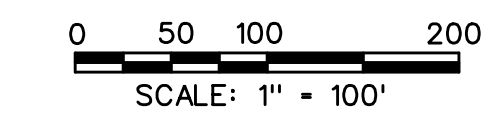
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TORRANCE, CA 90505

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PRELIMINARY DRAINAGE PLAN
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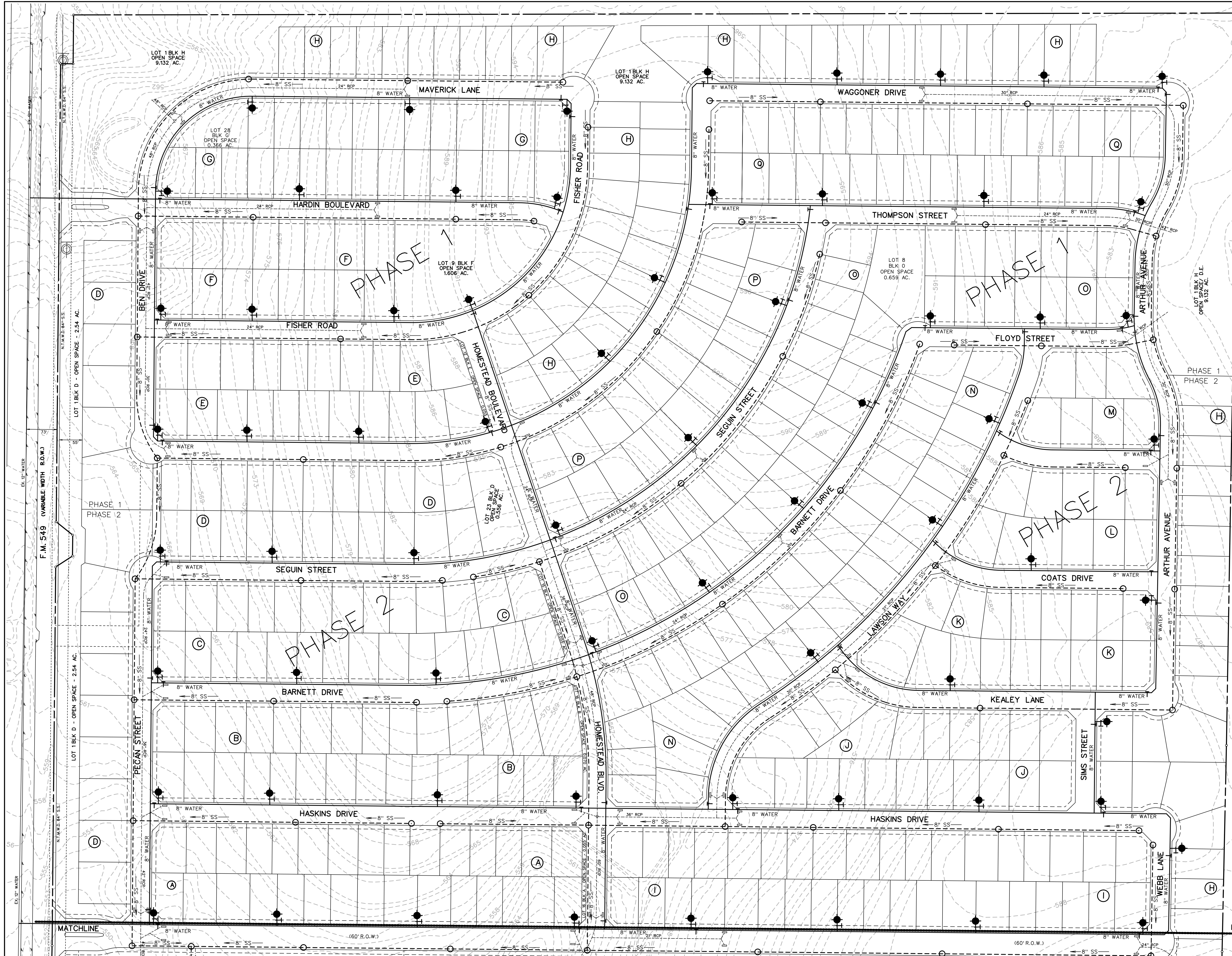
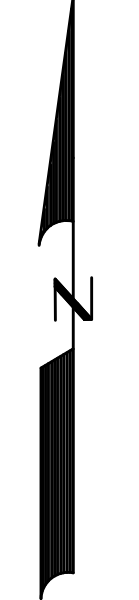
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JULY 2021 SCALE 1" = 100'

SHEET 2 OF 2 CASE #P2021-044

RUNOFF COMPUTATIONS							
#	Area (sf)	Area (acres)	Coefficient	Runoff CA (mm)	Tc (min)	Q(100) (cfs)	Q(100) (mgd)
1	163034	3.74	0.50	1.87	10	9.80	18.3
2	158312	3.63	0.50	1.82	10	9.80	17.8
3	184816	4.24	0.50	2.12	10	9.80	20.8
4	228846	5.21	0.50	2.60	10	9.80	25.5
5	224461	6.71	0.50	3.36	10	9.80	32.9
6	170123	3.91	0.50	1.95	10	9.80	19.1
7	107873	2.48	0.50	1.24	10	9.80	12.1
8	166033	3.81	0.50	1.91	10	9.80	18.7
9	115590	2.65	0.50	1.32	10	9.80	13.0
10	163038	4.20	0.50	2.10	10	9.80	20.6
11	130382	2.99	0.50	1.50	10	9.80	14.7
12	163585	4.21	0.50	2.11	10	9.80	20.7
13	184712	4.24	0.50	2.12	10	9.80	20.8
14	215446	4.97	0.50	2.48	10	9.80	24.3
15	112937	2.59	0.50	1.30	10	9.80	12.7
16	148714	3.41	0.50	1.71	10	9.80	16.7
17	175903	4.04	0.50	2.02	10	9.80	19.8
18	170025	3.90	0.50	1.95	10	9.80	19.1
19	143167	3.29	0.50	1.64	10	9.80	16.1
20	85803	1.97	0.50	0.98	10	9.80	9.7
21	244075	5.60	0.50	2.80	10	9.80	27.5
22	184296	4.23	0.50	2.12	10	9.80	20.7
23	175438	4.05	0.50	2.03	10	9.80	19.8
24	162430	3.73	0.50	1.86	10	9.80	18.3
25	118596	2.72	0.50	1.36	10	9.80	13.3
26	136048	3.12	0.50	1.56	10	9.80	15.3
27	137544	3.16	0.50	1.58	10	9.80	15.5
28	96239	2.28	0.50	1.14	10	9.80	11.2
29	155950	3.58	0.50	1.79	10	9.80	17.5
30	224287	5.15	0.50	2.57	10	9.80	25.2
31	211931	4.87	0.50	2.43	10	9.80	23.8
32	217377	4.99	0.50	2.50	10	9.80	24.5
33	112419	2.58	0.50	1.29	10	9.80	12.6
34	146904	3.37	0.50	1.69	10	9.80	16.5
35	113850	2.61	0.50	1.31	10	9.80	12.8
36	159177	3.65	0.50	1.83	10	9.80	17.9
37	165713	2.43	0.50	1.21	10	9.80	11.9
38	103615	2.38	0.50	1.19	10	9.80	11.7
39	56462	1.30	0.50	0.65	10	9.80	6.4
40	138171	3.17	0.50	1.59	10	9.80	15.5

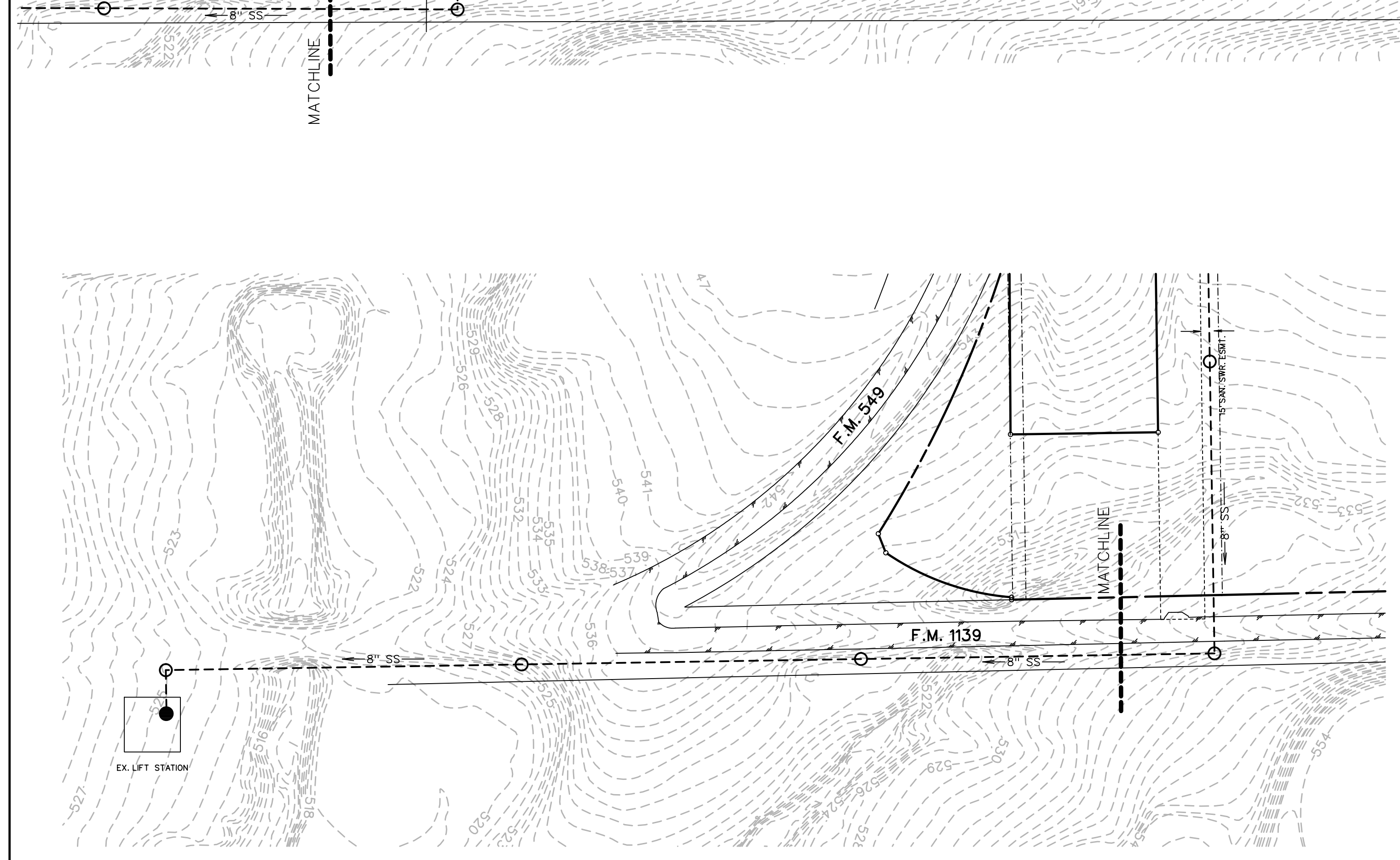
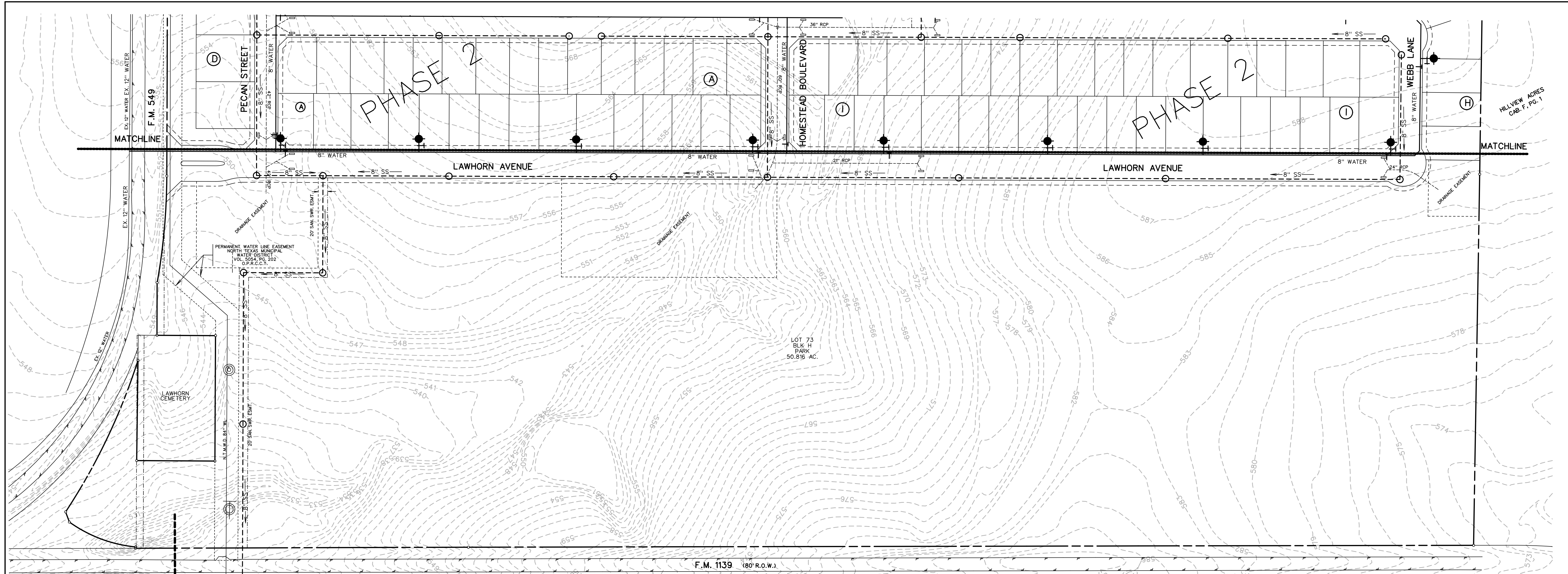


LEGEND

- PROP. WATER LINE
- PROP. FIRE HYDRANT AND VALVE
- PROP. GATE VALVE
- PROP. FLUSH VALVE
- EXIST. WATER LINE
- PROP. FIRE HYDRANT AND VALVE
- PROP. SANITARY SEWER
- PROP. MANHOLE
- PROP. CLEANOUT
- EXIST. SANITARY SEWER
- PROP. MANHOLE
- PROP. STORM SEWER
- PROP. CURB INLETS
- PROP. CONC. HEADWALL

Phase 1 = 251 Lots
Phase 2 = 239 Lots

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LOTS 1-30, BLOCK B
LOTS 1-28, BLOCK C
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PRELIMINARY PLAT
OF

HOMESTEAD

LOTS 1-31, BLOCK A
 LOTS 1-30, BLOCK B
 LOTS 1-28, BLOCK C
 LOTS 1-40, BLOCK D
 LOTS 1-22, BLOCK E
 LOTS 1-17, BLOCK F
 LOTS 1-28, BLOCK G
 LOTS 1-72, BLOCK H
 LOTS 1-37, BLOCK I
 LOTS 1-21, BLOCK J
 LOTS 1-17, BLOCK K
 LOTS 1-11, BLOCK L
 LOTS 1-7, BLOCK M
 LOTS 1-39, BLOCK N
 LOTS 1-46, BLOCK O
 LOTS 1-22, BLOCK P
 LOTS 1-33, BLOCK Q

TOTAL ACRES 196.008
 TOTAL RESIDENTIAL LOTS 490
 TOTAL OPEN SPACE LOTS 11

OUT OF THE
J.A. RAMSEY SURVEY,
 ABSTRACT NO. 186
 IN THE
CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

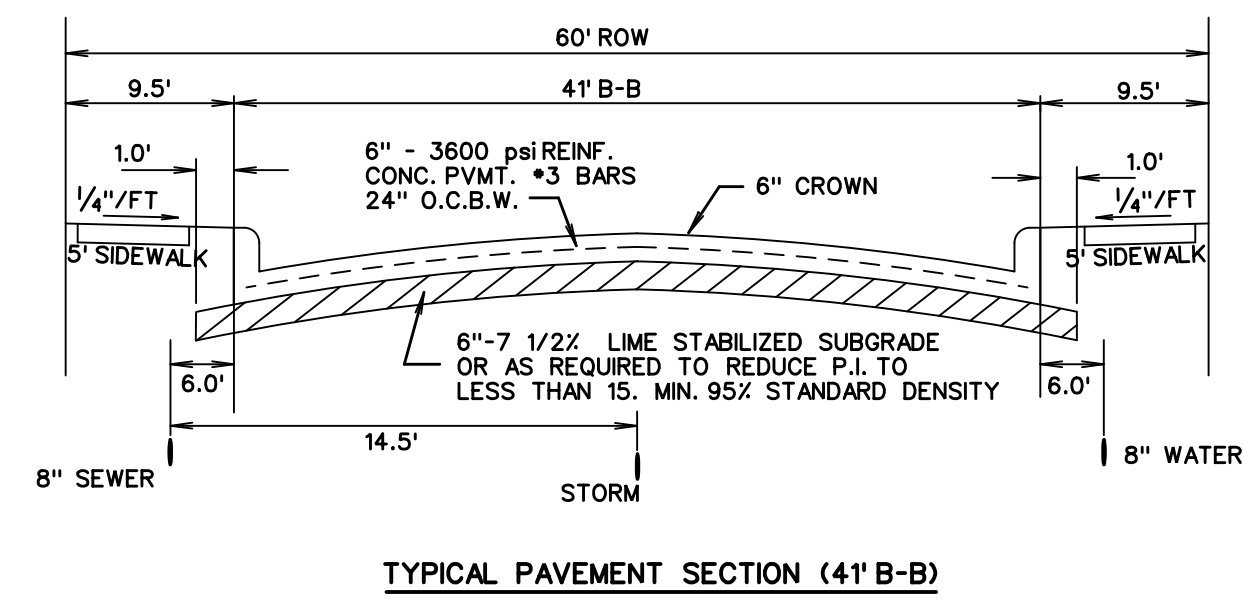
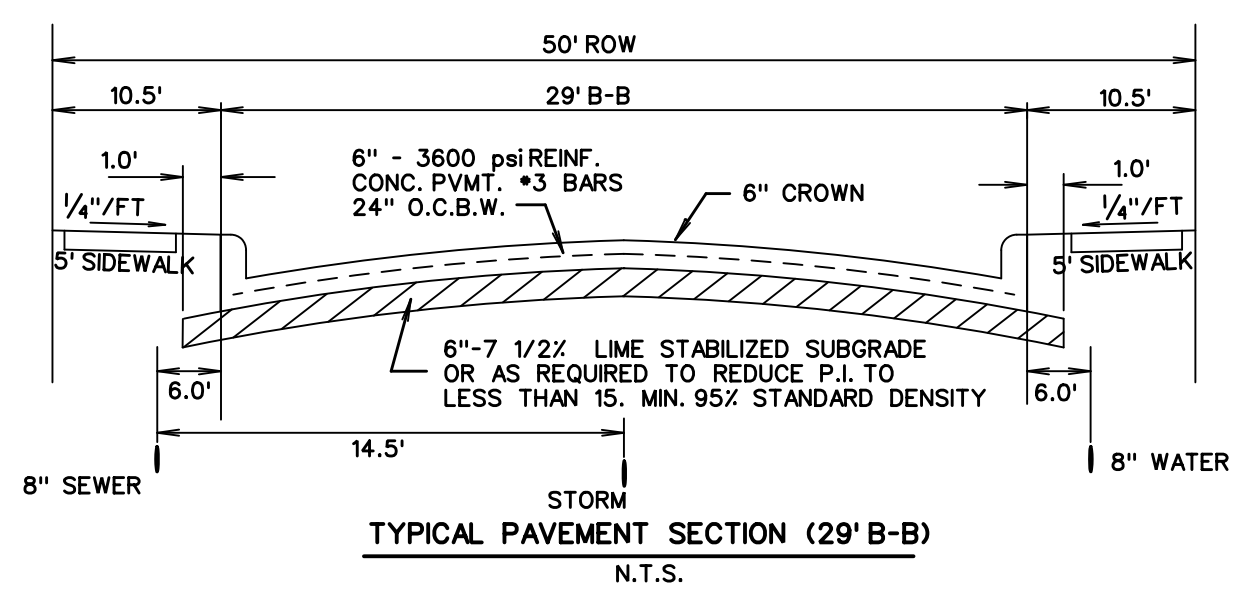
OWNER
UNISON INVESTMENT
 23545 CRENSHAW BLVD., STE. 201
 TORRANCE, CA 90505

PREPARED BY
CORWIN ENGINEERING, INC.
 200 W. BELMONT, SUITE E
 ALLEN, TEXAS 75013
 972-396-1200

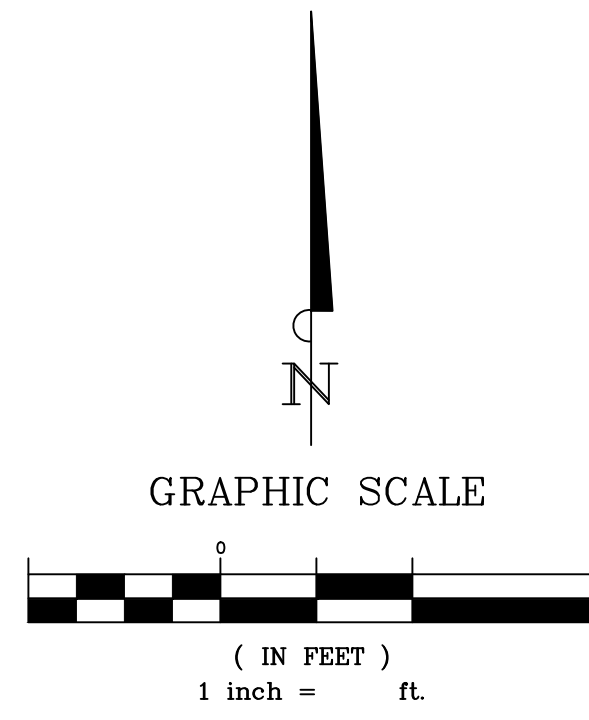
JULY 2021 SCALE 1" = 100'
 SHEET 2 OF 2 CASE #P2021-044



- LEGEND**
- PROP. WATER LINE
 - PROP. FIRE HYDRANT AND VALVE
 - PROP. GATE VALVE
 - PROP. FLUSH VALVE
 - EXIST. WATER LINE
 - EXIST. FIRE HYDRANT AND VALVE
 - PROP. SANITARY SEWER
 - PROP. MANHOLE
 - PROP. CLEANOUT
 - EXIST. SANITARY SEWER
 - EXIST. MANHOLE
 - PROP. STORM SEWER
 - PROP. CURB INLETS
 - PROP. CONC. HEADWALL

Phase 1 = 251 Lots
 Phase 2 = 239 Lots



File: B:\Clients\090 (Storburg Development)\090-21-007 (Homestead LS - Rockwall)\Civil\Sheet Set\L-1.0 Tree Preservation Plan.dwg | Date Plotted: 7/28/2021 12:07 PM | Plotted By: mwilson



- TREE LEGEND**
-  PRESERVED EXISTING TREE
 -  REMOVED EXISTING TREE

TOTAL MITIGATION REQUIRED IN PHASE 1	430.2
TOTAL CREDITS PROVIDED	
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG FM-549 (84 X 4" CAL)	336.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG NORTHERN BOUNDARY (240 X 4" CAL)	960.0
INCHES OF EXISTING TREES IN BUFFERS ALONG NORTHERN BOUNDARY (40 X 4" CAL)	160.0
INCHES OF TREES CREDITED TOWARDS PHASE 2 DEVELOPMENT	(1,025.9)
REMAINING MITIGATION REQUIRED IN PHASE 1	0.0

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BANNISTER
ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

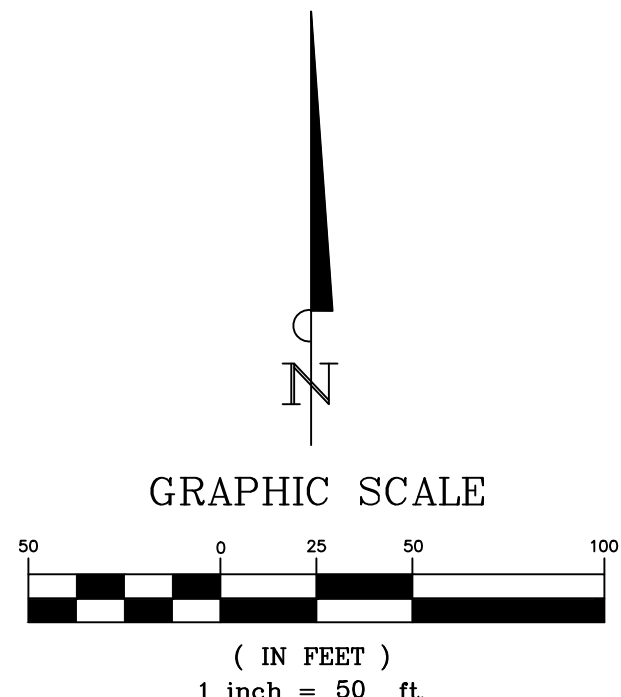
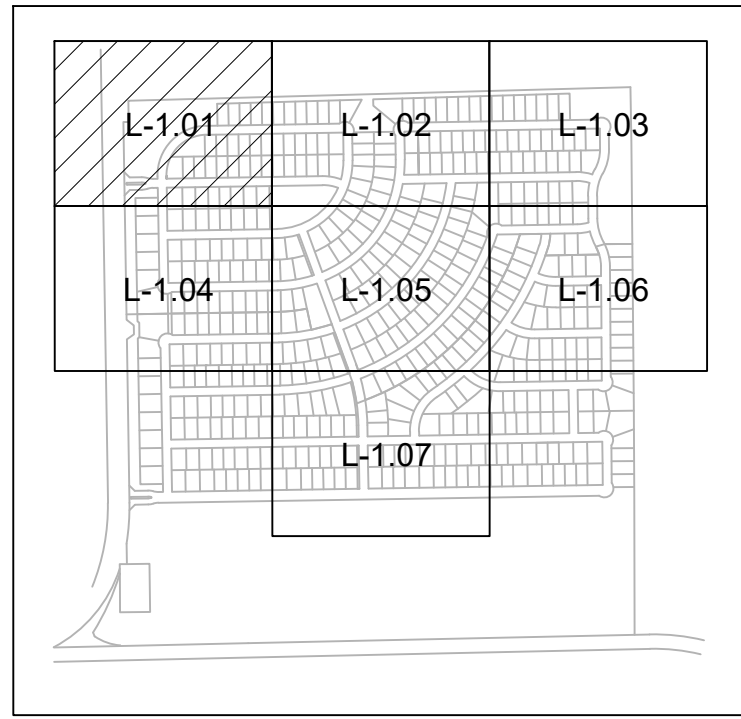
HOMESTEAD DEVELOPMENT
FM 549/FM 1139
ROCKWALL, TEXAS
TREESCAPE PLAN - PH 1

No.	Date	Revision Description
1	7-28-21	Address city comments 7.23.21



SHEET NUMBER
L-1.00

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- TREE LEGEND**
- PRESERVED EXISTING TREE
 - REMOVED EXISTING TREE

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REGISTRATION # F-10599 (TEXAS)

HOMESTEAD DEVELOPMENT
FM 549/FM 1139
ROCKWALL, TEXAS
TREESCPE PLAN - PH 1

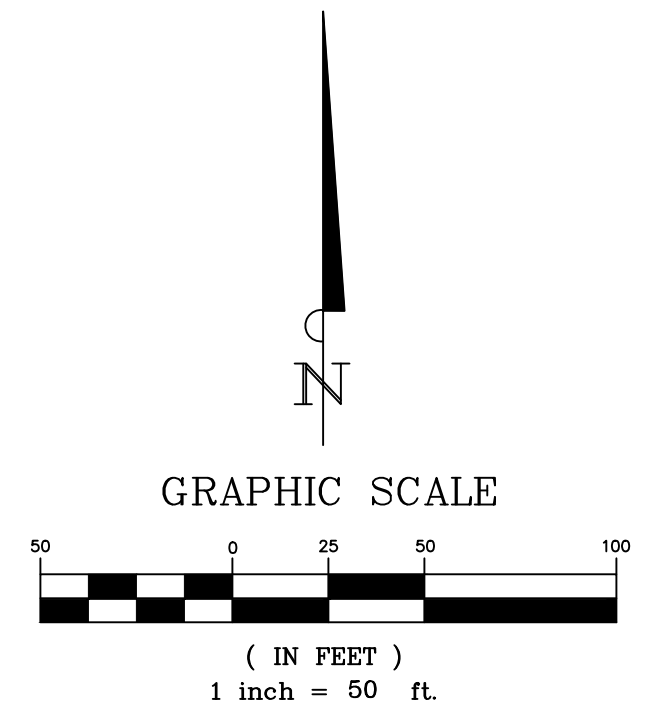
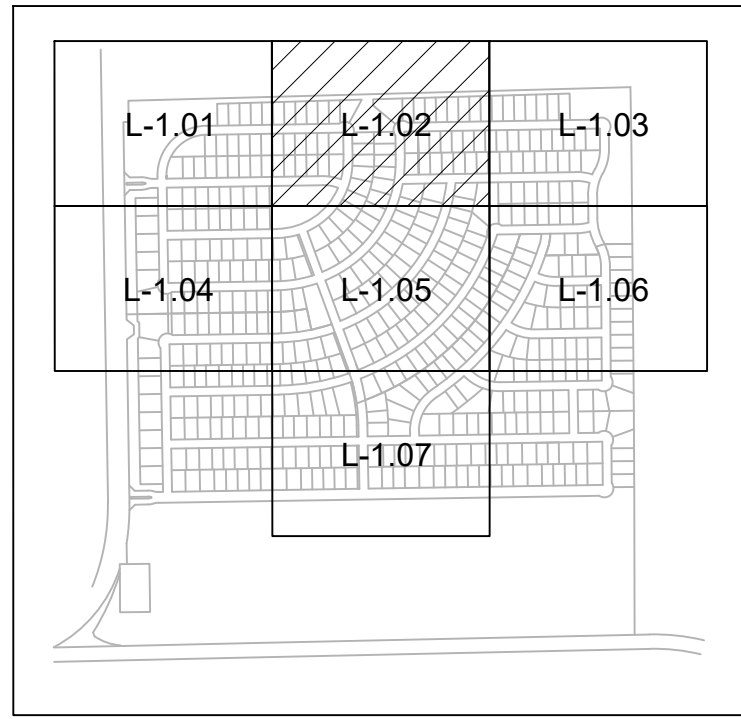
No.	Date	Revision Description
1	7.28.21	Address city comments 7.23.21



SHEET NUMBER
L-1.01

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- TREE LEGEND**
- PRESERVED EXISTING TREE
 - REMOVED EXISTING TREE

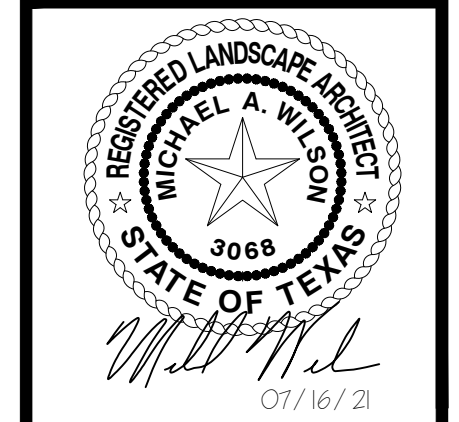
BANNISTER
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REGISTRATION # F-10599 (TEXAS)

HOMESTEAD DEVELOPMENT
FM 549/FM 1139
ROCKWALL, TEXAS

TREESCAPE PLAN - PH 1

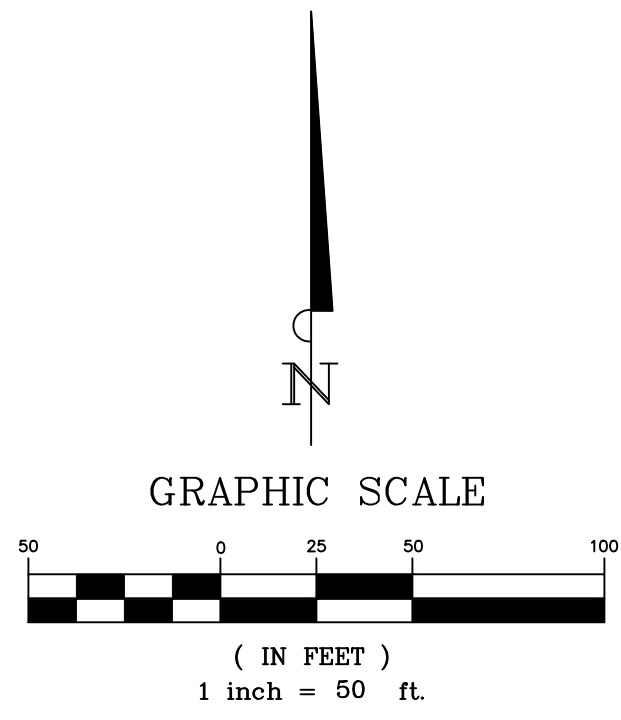
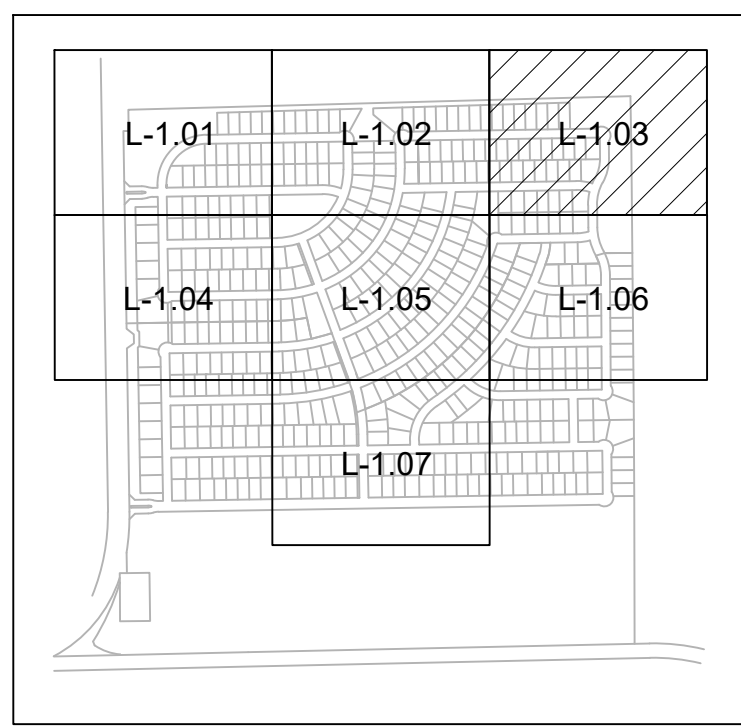
No.	Date	Revision Description
1	7-28-21	Address city comments 7.23.21



SHEET NUMBER
L-1.02

INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.

File: B:\Clients\090 (Storburg Development)\090-21-007 (Homestead LS - Rockwall)\Civil\Sheet Set\1.0 Tree Preservation Plan.dwg | Date Plotted: 7/28/2021 12:08 PM | Plotted By: mwilson



- TREE LEGEND**
- PRESERVED EXISTING TREE
 - REMOVED EXISTING TREE

BANNISTER
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REGISTRATION # F-10599 (TEXAS)

HOMESTEAD DEVELOPMENT
FM 549/FM 1139
ROCKWALL, TEXAS

TREESCAPE PLAN - PH 1

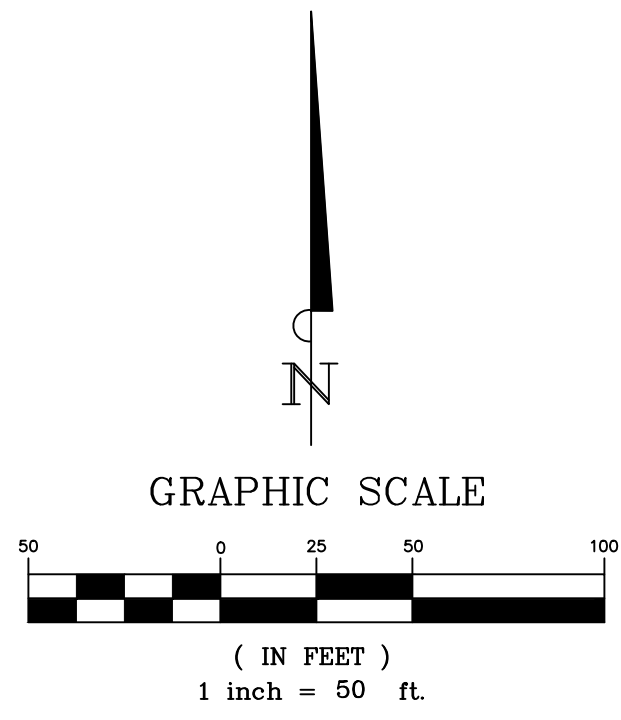
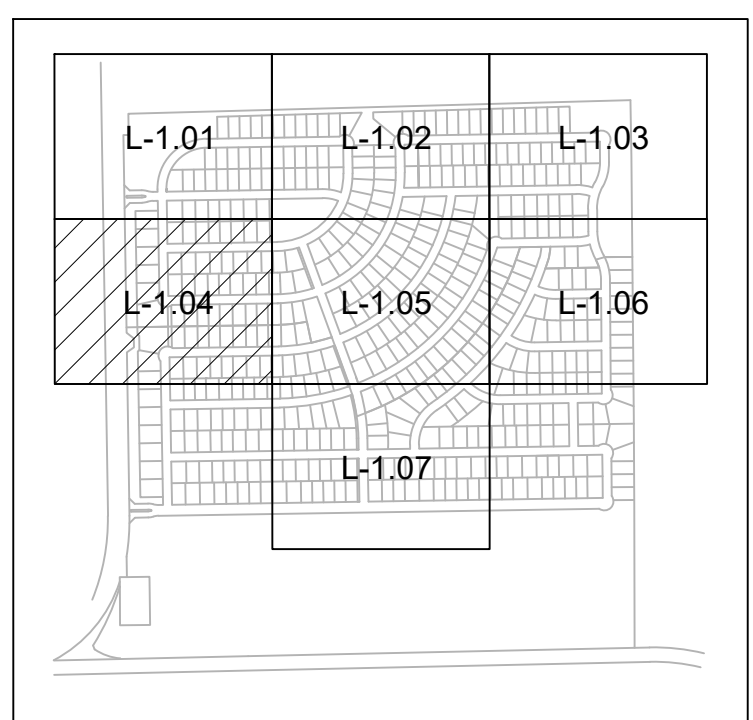
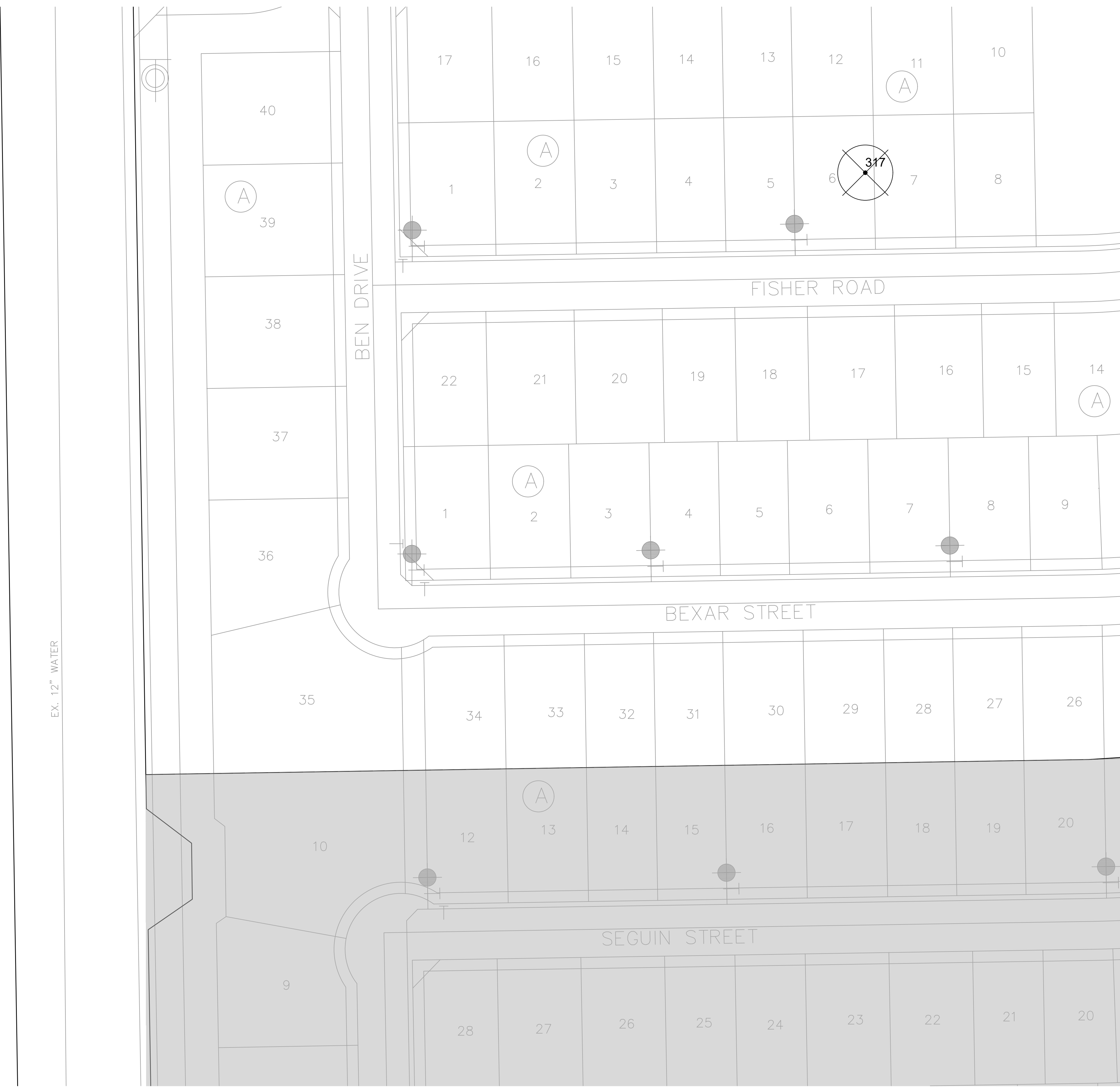
No.	Date	Revision Description
1	7-28-21	Address city comments 7.23.21



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SHEET NUMBER
L-1.03

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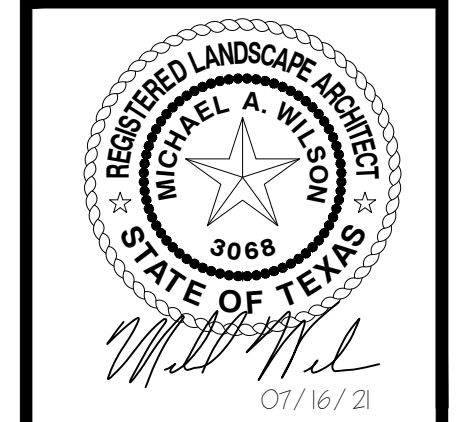


- TREE LEGEND**
- PRESERVED EXISTING TREE
 - REMOVED EXISTING TREE

BANNISTER
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HOMESTEAD DEVELOPMENT
FM 549/FM 1139
ROCKWALL, TEXAS
TREESCPE PLAN - PH 1

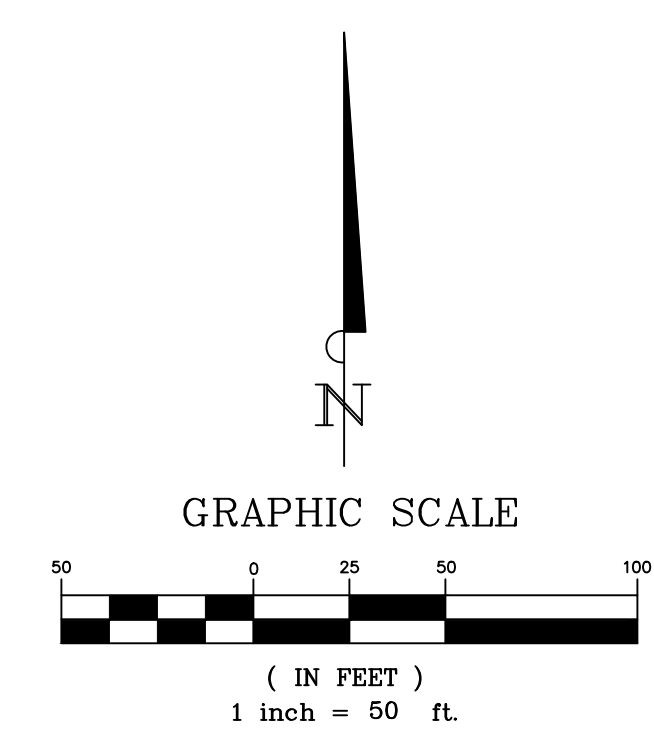
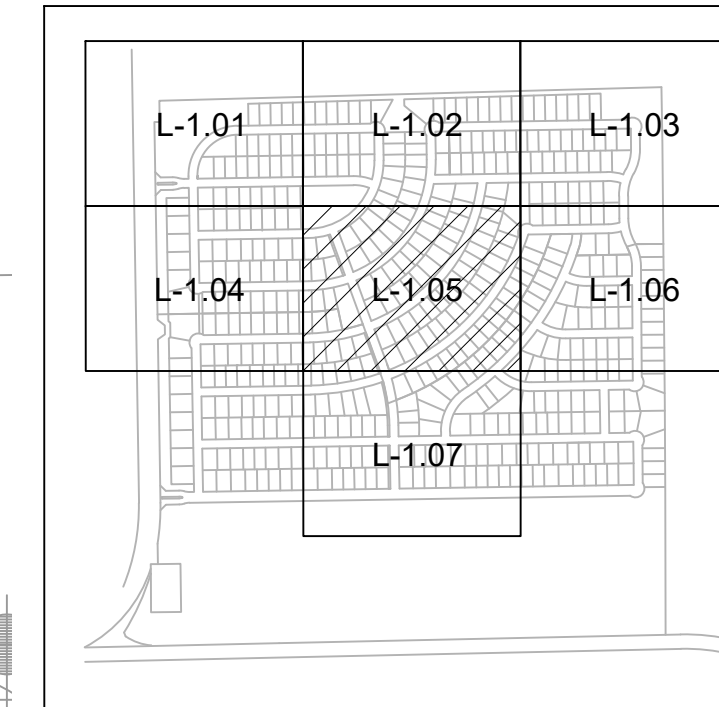
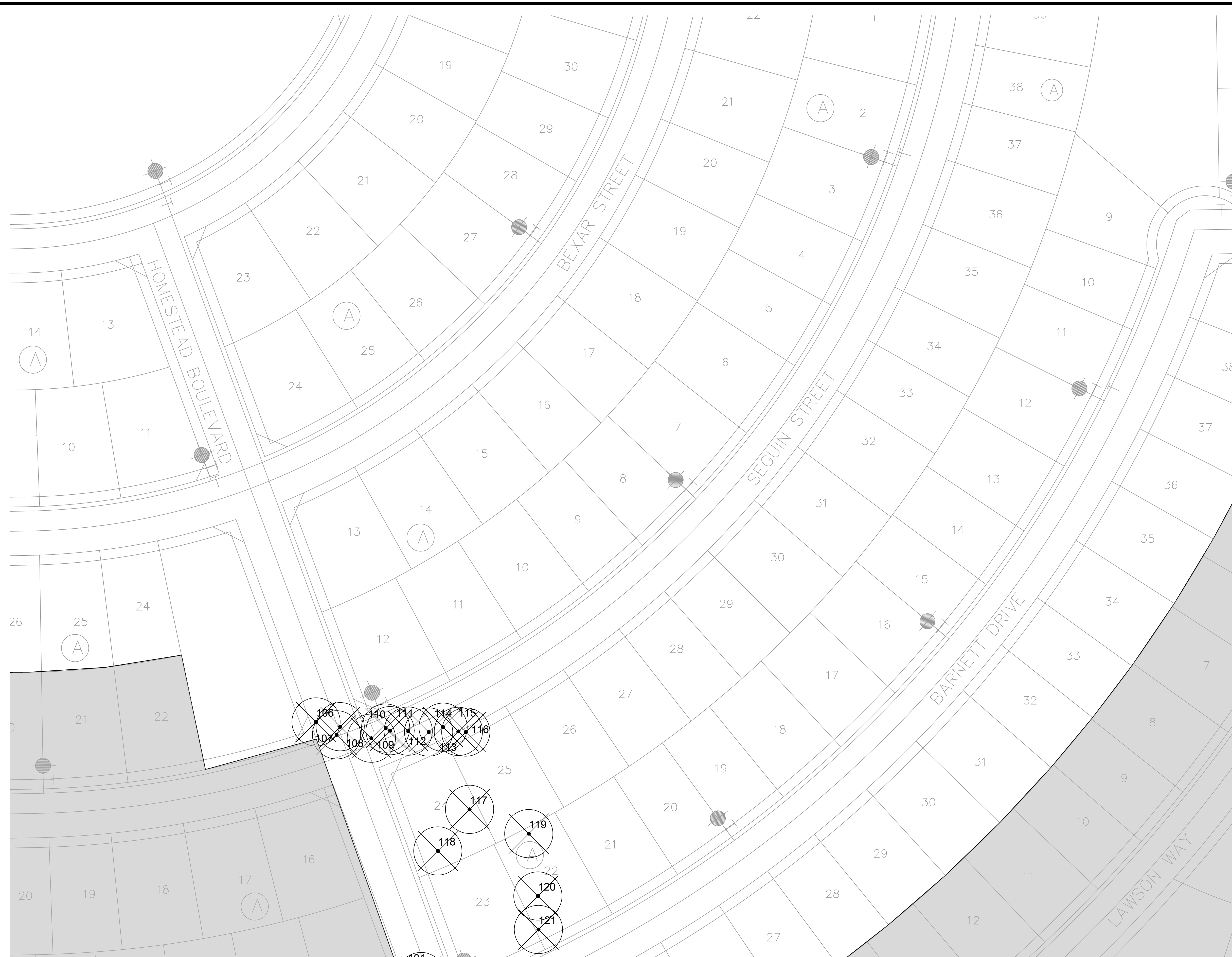
No.	Date	Revision Description
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SHEET NUMBER
L-1.04

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- TREE LEGEND**
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ROCKWALL, TEXAS
TREESCPE PLAN - PH 1

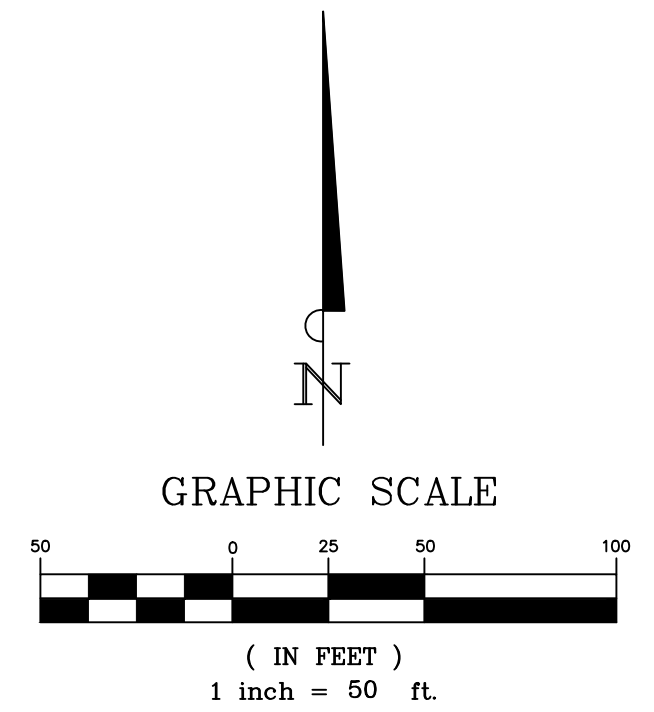
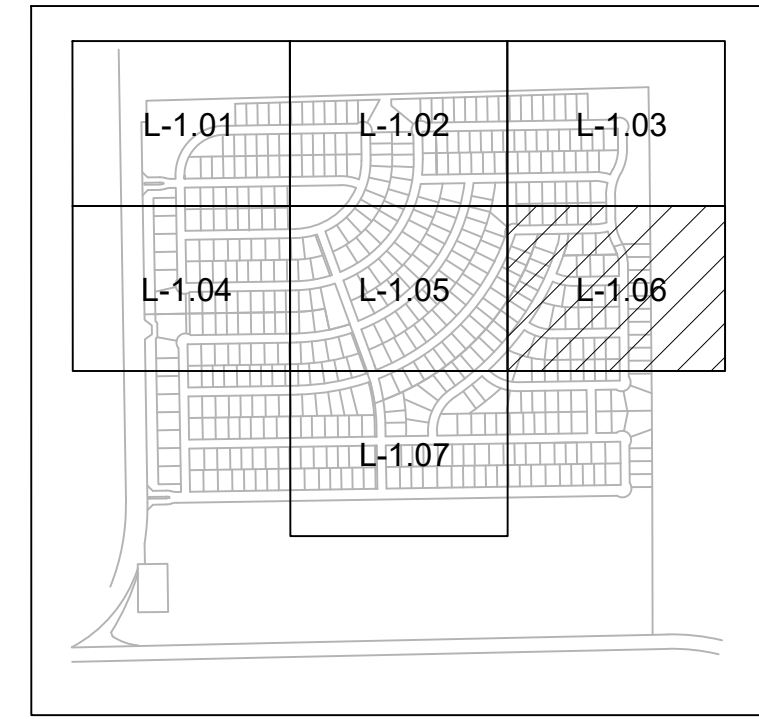
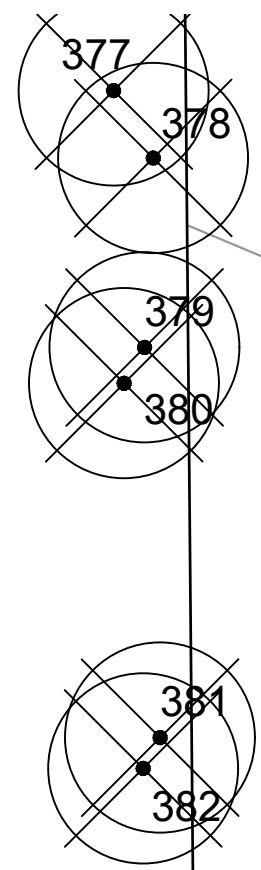
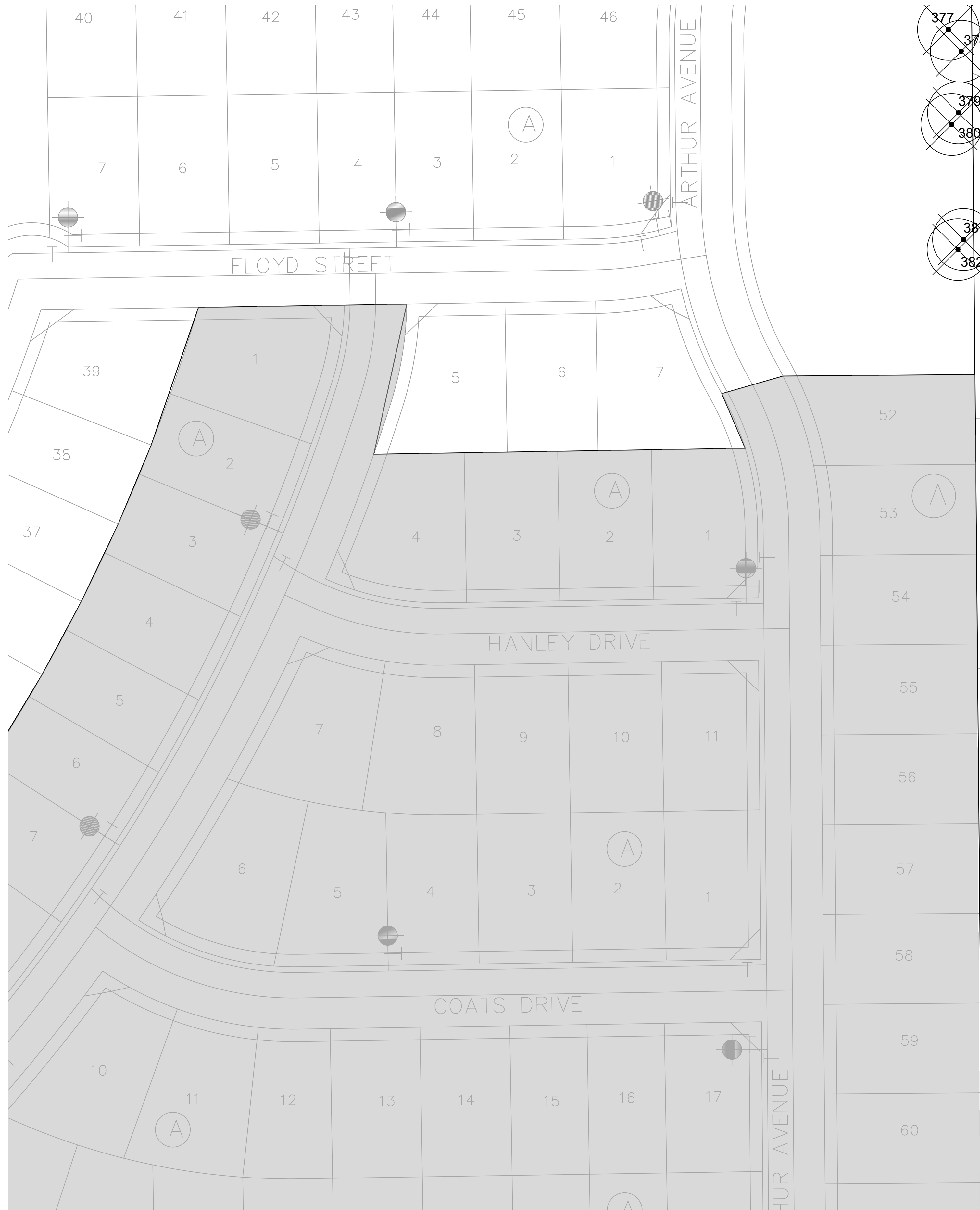
No.	Date	Revision Description
1	7-28-21	Address city comments 7.23.21



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SHEET NUMBER
L-1.05

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- TREE LEGEND**
- PRESERVED EXISTING TREE
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HOMESTEAD DEVELOPMENT
FM 549/FM 1139
ROCKWALL, TEXAS
TREESCAPE PLAN - PH 1

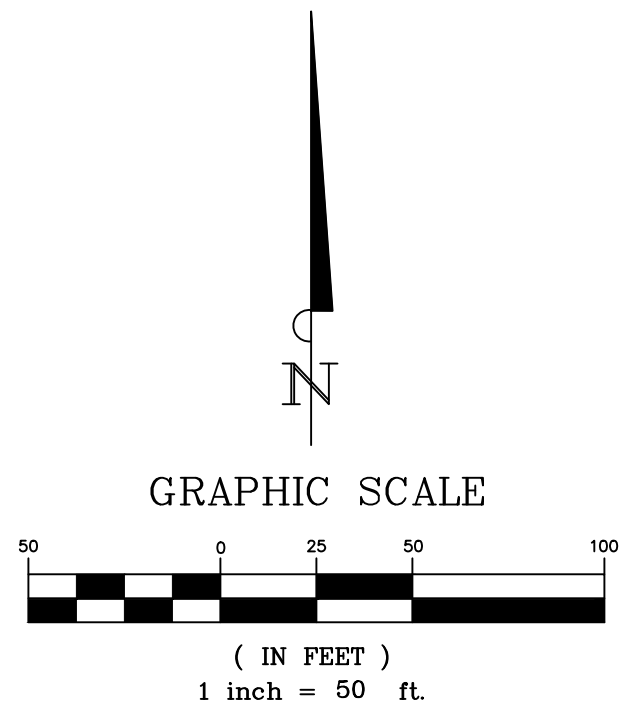
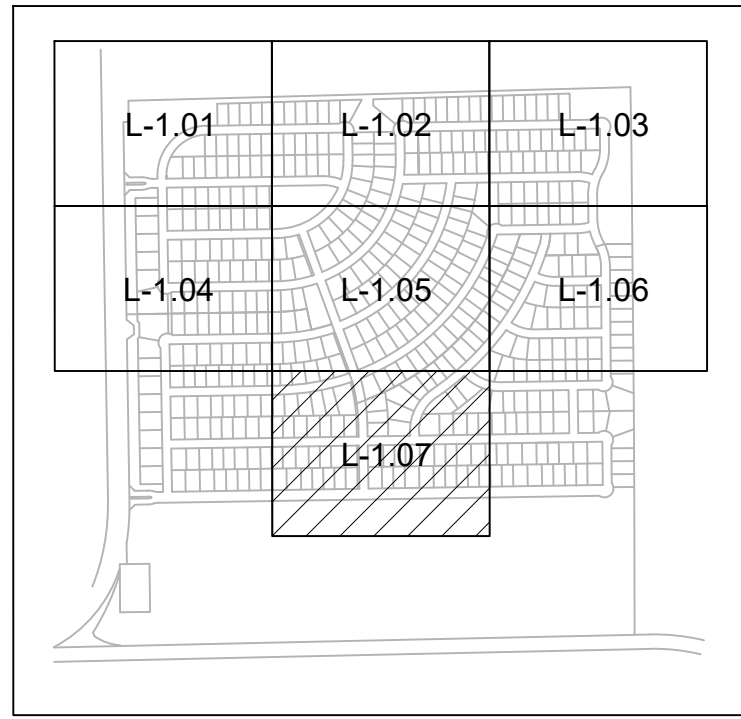
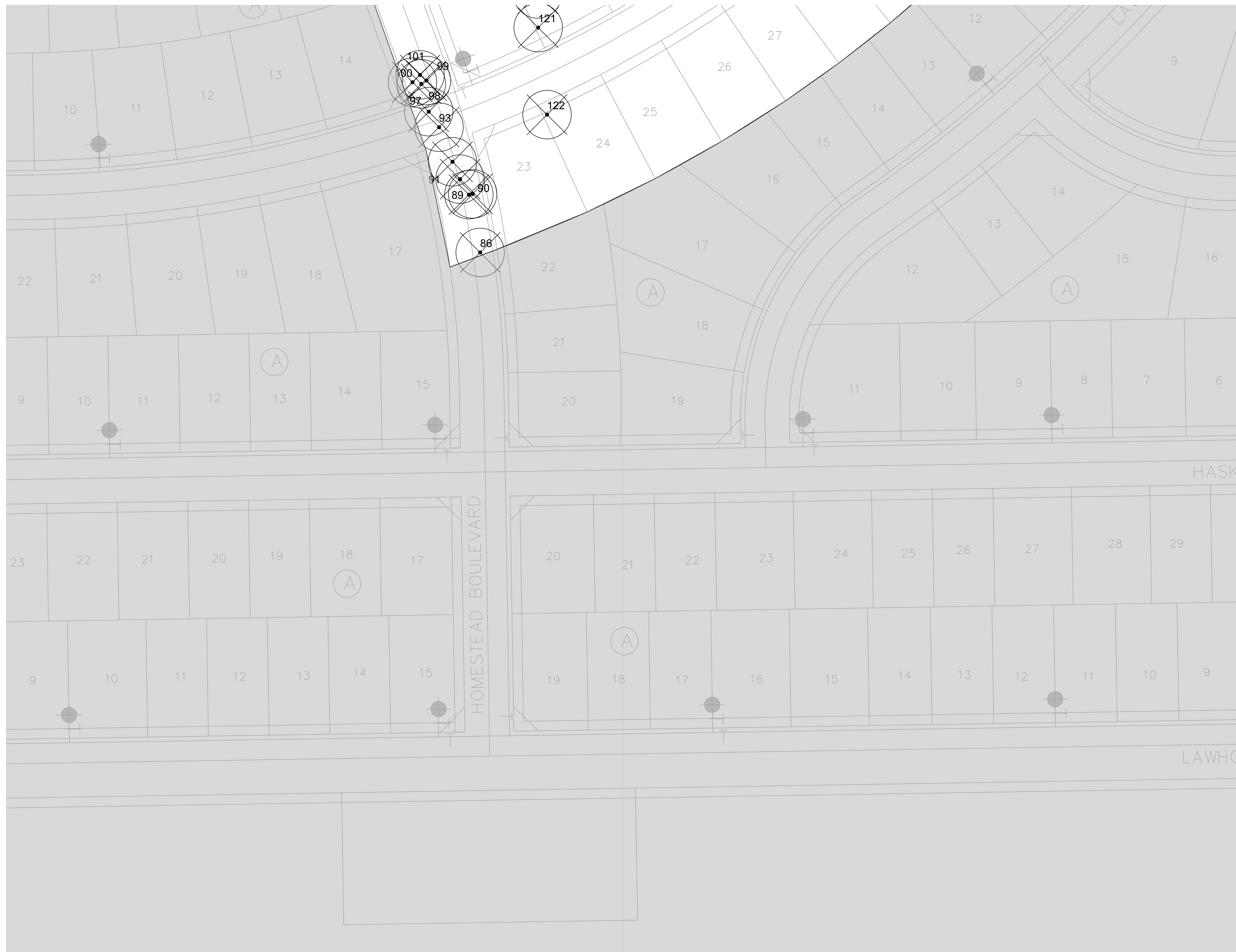
No.	Date	Revision Description
1	7-28-21	Address city comments 7.23.21





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SHEET NUMBER
L-1.06

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- TREE LEGEND**
-  PRESERVED EXISTING TREE
 -  REMOVED EXISTING TREE

BANNISTER
ENGINEERING

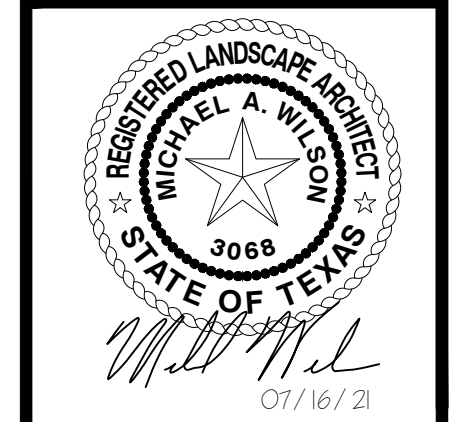
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REGISTRATION # F-10599 (TEXAS)

HOMESTEAD DEVELOPMENT
FM 549/FM 1139
ROCKWALL, TEXAS

TREESCPE PLAN - PH 1

No.	Date	Revision Description
1	7-28-21	Address city comments 7.23.21

PROJECT NO.: TEMPLATE



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SHEET NUMBER
L-1.07

Tree Number	Diameter at Breast Height (Inches)	Species	Canopy Radius (Feet)	Multiple Trunks	General Condition	PRESERVED/REMOVED	Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving
86	36.4	Osage-orange	36	No	Healthy	Removed	72.8	-	-	-	-
89	15.3	Osage-orange	16	No	Healthy	Removed	-	-	-	N/A	-
90	13.1	Osage-orange	13	No	Healthy	Removed	-	-	-	N/A	-
91	22	Osage-orange	22	No	Healthy	Removed	-	-	-	N/A	-
92	18.6	Osage-orange	18	No	Healthy	Removed	-	-	-	N/A	-
93	20.7	Osage-orange	20	No	Healthy	Removed	-	-	-	N/A	-
97	14.7	Osage-orange	14	No	Damaged	Removed	-	-	-	-	-
98	15.5	Osage-orange	16	No	Healthy	Removed	-	-	-	N/A	-
99	17.2	Osage-orange	17	No	Damaged	Removed	-	-	-	-	-
101	14.1	Osage-orange	14	Yes	Damaged	Removed	-	-	-	-	-
106	5.8	gum-bumelia	6	Yes	Healthy	Removed	-	-	-	-	-
107	12	Hercules-club	12	Yes	Healthy	Removed	-	12.0	-	-	-
108	13.5	eastern red cedar	14	Yes	Healthy	Removed	-	-	6.8	-	-
109	29.3	sugarberry	30	No	Healthy	Removed	58.6	-	-	-	-
110	20.1	sugarberry	20	No	Healthy	Removed	-	-	10.1	-	-
111	16	sugarberry	16	No	Healthy	Removed	-	-	8.0	-	-
112	11.3	eastern red cedar	12	No	Healthy	Removed	-	-	5.7	-	-
113	16.1	sugarberry	16	No	Healthy	Removed	-	-	8.1	-	-
114	30.5	Osage-orange	30	No	Damaged	Removed	-	-	-	-	-
115	12.5	eastern red cedar	12	Yes	Healthy	Removed	-	-	6.3	-	-
116	6.8	Hercules-club	8	Yes	Healthy	Removed	-	6.8	-	-	-
117	26.4	Osage-orange	26	No	Damaged	Removed	-	-	-	-	-
118	26	red mulberry	26	Yes	Damaged	Removed	-	-	-	-	-
119	12.2	eastern red cedar	12	No	Healthy	Removed	-	-	6.1	-	-
120	4	gum-bumelia	4	No	Healthy	Removed	-	4.0	-	-	-
121	5.1	Hercules-club	5	Yes	Healthy	Removed	-	5.1	-	-	-
122	4	gum-bumelia	4	No	Healthy	Removed	-	4.0	-	-	-
312	22.1	sugarberry	23	No	Healthy	Removed	-	-	11.1	-	-
313	23.4	Osage-orange	17	No	Healthy	Removed	-	-	-	N/A	-
314	4.3	Hercules-club	5	No	Healthy	Removed	-	4.3	-	-	-
315	19.2	sugarberry	14	No	Healthy	Removed	-	-	9.6	-	-
316	15.3	sugarberry	15	No	Healthy	Removed	-	-	7.7	-	-
317	31	sugarberry	25	No	Damaged	Removed	-	-	-	-	-
318	12	sugarberry	12	No	Healthy	Removed	-	-	6.0	-	-
319	31	sugarberry	25	No	Healthy	Removed	62.0	-	-	-	-
320	40.2	sugarberry	20	Yes	Damaged	Preserved	-	-	-	-	-
321	9.6	Hercules-club	11	Yes	Damaged	Preserved	-	-	-	-	-
322	6.2	Hercules-club	8	Yes	Healthy	Removed	-	6.2	-	-	-
323	6.2	Hercules-club	8	No	Healthy	Preserved	-	-	-	-	-
324	11.5	sugarberry	10	No	Healthy	Preserved	-	-	-	-	-
325	24.2	sugarberry	18	Yes	Healthy	Preserved	-	-	-	-	-
326	22.6	sugarberry	20	No	Healthy	Preserved	-	-	-	-	-
327	15.2	sugarberry	11	Yes	Healthy	Preserved	-	-	-	-	-
328	15.9	sugarberry	15	No	Healthy	Removed	-	-	8.0	-	-
329	5.4	Hercules-club	5	No	Healthy	Preserved	-	-	-	-	-
330	13.2	sugarberry	15	No	Healthy	Removed	-	-	6.6	-	-
331	14.9	sugarberry	18	No	Healthy	Preserved	-	-	-	-	-
332	24.7	sugarberry	18	No	Damaged	Preserved	-	-	-	-	-
333	15.8	sugarberry	15	No	Healthy	Preserved	-	-	-	-	-
334	32.4	sugarberry	25	No	Damaged	Preserved	-	-	-	-	-
335	35.6	sugarberry	15	Yes	Healthy	Preserved	-	-	-	-	-
336	16.9	sugarberry	15	No	Healthy	Removed	-	-	8.5	-	-
337	14	sugarberry	12	Yes	Healthy	Preserved	-	-	-	-	-
338	11.1	sugarberry	13	No	Healthy	Preserved	-	-	-	-	-
339	13.3	sugarberry	15	No	Healthy	Preserved	-	-	-	-	-
340	16.2	sugarberry	11	No	Healthy	Preserved	-	-	-	-	-
341	30.2	sugarberry	20	Yes	Healthy	Preserved	-	-	-	-	-
342	20.3	sugarberry	15	No	Healthy	Preserved	-	-	-	-	-
343	43	sugarberry	20	No	Damaged	Preserved	-	-	-	-	-
344	44.5	sugarberry	25	Yes	Healthy	Preserved	-	-	-	-	-
345	28.3	sugarberry	20	No	Healthy	Preserved	-	-	-	-	-
346	13.5	sugarberry	18	No	Healthy	Preserved	-	-	-	-	-
347	33.7	sugarberry	18	Yes	Damaged	Preserved	-	-	-	-	-
348	11.3	sugarberry	15	No	Healthy	Preserved	-	-	-	-	-
349	11.6	sugarberry	18	No	Healthy	Preserved	-	-	-	-	-
350	14.1	sugarberry	15	No	Healthy	Preserved	-	-	-	-	-
351	11.2	sugarberry	16	No	Healthy	Removed	-	-	5.6	-	-
352	12.2	sugarberry	12	No	Healthy	Preserved	-	-	-	-	-
193.4	48.2	113.8	-	-	-	-	-	-	-	-	-

Tree Number	Diameter at Breast Height (Inches)	Species	Canopy Radius (Feet)	Multiple Trunks	General Condition	PRESERVED/REMOVED	Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving
353	11.2	Osage-orange	36	No	Healthy	Preserved	-	-	-	-	-
354	15.5	sugarberry	18	No	Healthy	Preserved	-	-	-	-	-
355	11.5	sugarberry	14	No	Healthy	Preserved	-	-	-	-	-
356	12.1	sugarberry	15	No	Healthy	Preserved	-	-	-	-	-
357	11	sugarberry	11	No	Healthy	Preserved	-	-	-	-	-
358	11.7	sugarberry	12	No	Healthy	Removed	-	-	5.9	-	-
359	13.2	sugarberry	12	No	Healthy	Preserved	-	-	-	-	-
360	14.6	sugarberry	11	No	Healthy	Removed	-	-	7.3	-	-
361	14.5	sugarberry	12	Yes	Healthy	Removed	-	-	7.3	-	-
362	13.3	sugarberry	10	No	Healthy	Removed	-	-	6.7	-	-
363	12.7	sugarberry	12	No	Healthy	Preserved	-	-	-	-	-
364	24.3	sugarberry	18	Yes	Healthy	Preserved	-	-	-	-	-
365	20.3	sugarberry	11	No	Damaged	Preserved	-	-	-	-	-
366	20.3	sugarberry	17	No	Healthy	Removed	-	-	10.2	-	-
367	12	sugarberry	12	No	Healthy	Preserved	-	-	-	-	-
368	22.3	sugarberry	15	Yes	Healthy	Preserved	-	-	-	-	-
369	13.2	sugarberry	11	No	Healthy	Preserved	-	-	-	-	-
370	14.8	sugarberry	12	No	Healthy	Preserved	-	-	-	-	-
371	41.5	sugarberry	20	No	Damaged	Preserved	-	-	-	-	-
372	13	eastern red cedar	13	No	Healthy	Preserved	-	-	-	-	-
373	15.6	eastern red cedar	12	No	Healthy	Removed	-	-	7.8	-	-
374	17.2	eastern red cedar	15	Yes	Damaged	Removed	-	-	-	-	-
375	21.7	sugarberry	14	Yes	Healthy	Removed	-	-	10.9	-	-
376	22.3	sugarberry	14	Yes	Healthy	Removed	-	-	11.2	-	-
377	13.1	sugarberry	15	No	Healthy	Removed	-	-	6.6	-	-
378	12.6	sugarberry	14	No	Healthy	Removed	-	-	6.3	-	-
379	12.9	sugarberry	10	No	Healthy	Removed	-	-	6.5	-	-
380	11.2	sugarberry	9	No	Healthy	Removed	-	-	5.6	-	-
381	11.2	sugarberry	15	No	Healthy	Removed	-	-	5.6	-	-
382	23.4	sugarberry	10	Yes	Healthy	Removed	-	-	11.7	-	-
-	-	-	-	-	-	-	-	-	109.2	-	-

Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving
193.4	48.2	223.0	-	-

464.6
Total Required Mitigation in Phase 1

SPECIES	CLASSIFICATION
GREEN ASH	PRIMARY
CEDAR ELM	PRIMARY
GUM BUMELIA	PRIMARY
COMMON PERSIMMON	PRIMARY
AMERICAN ELM	PRIMARY
RED MULBERRY	PRIMARY
PECAN	PRIMARY
HERCULES-CLUB	PRIMARY
SUGARBERRY (HACKBERRY)	SECONDARY
EASTERN REDCEDAR	SECONDARY
COTTONWOOD	NON-PROTECTED
BLACK WILLOW	NON-PROTECTED
OSAGE-ORANGE	NON-PROTECTED
HONEY-LOCUST	NON-PROTECTED
JAPANESE PRIVET	NON-PROTECTED

TOTAL MITIGATION REQUIRED IN PHASE 1	464.6
TOTAL CREDITS PROVIDED	
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG FM-549 (84 X 4" CAL)	336.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG NORTHERN BOUNDARY (240 X 4" CAL)	960.0
INCHES OF EXISTING TREES IN BUFFERS ALONG NORTHERN BOUNDARY (40 X 4" CAL)	160.0
INCHES OF TREES CREDITED TOWARDS PHASE 2 DEVELOPMENT	(991.5)
REMAINING MITIGATION REQUIRED IN PHASE 1	0.0

HOMESTEAD DEVELOPMENT

FM 549/FM 1139

ROCKWALL, TEXAS

TREESCAPE PLAN TABLES - PH 1

No.	Date	Revision Description
1	7-28-21	Address city comments 7.23.21



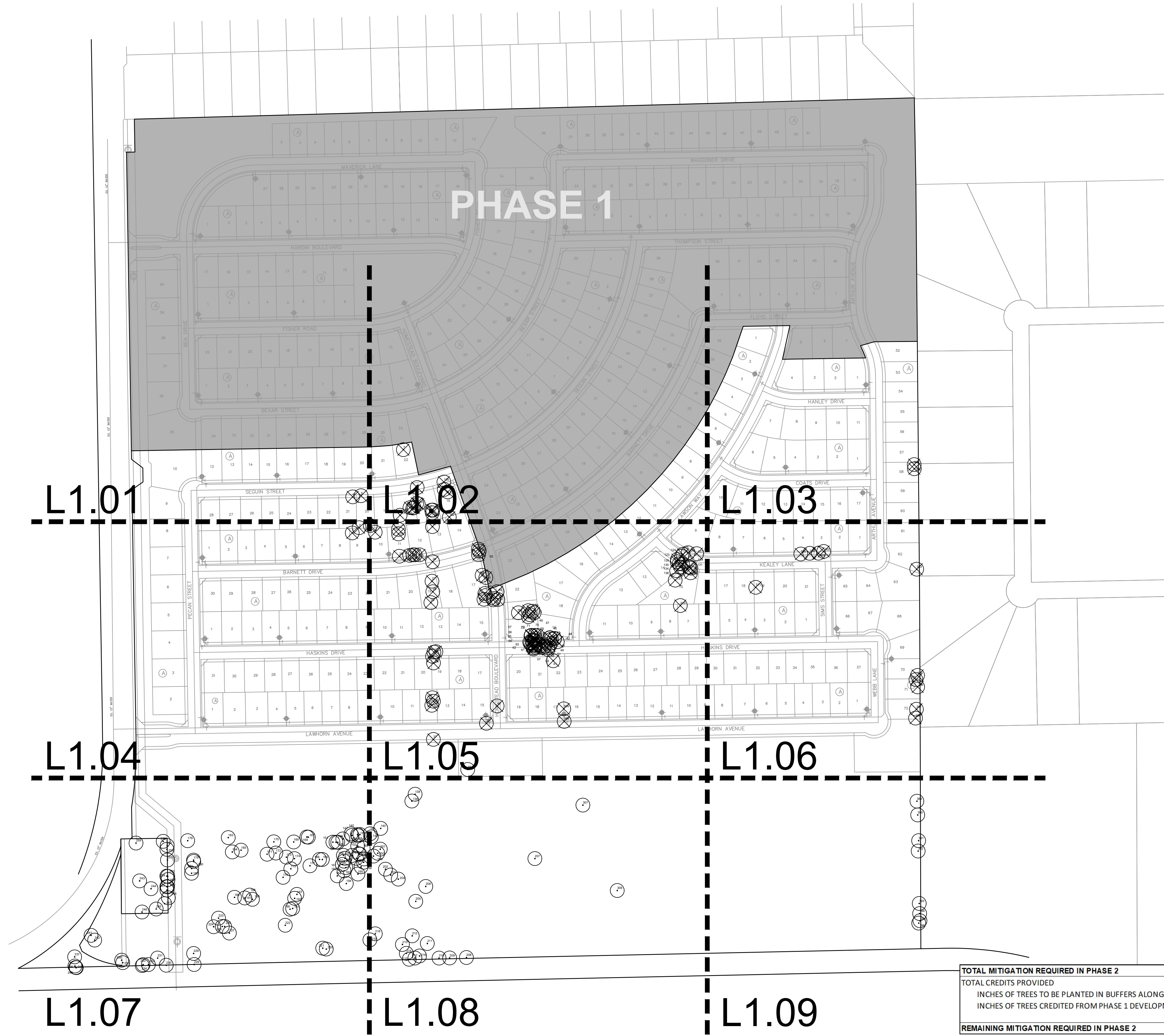
SHEET NUMBER

L-1.08

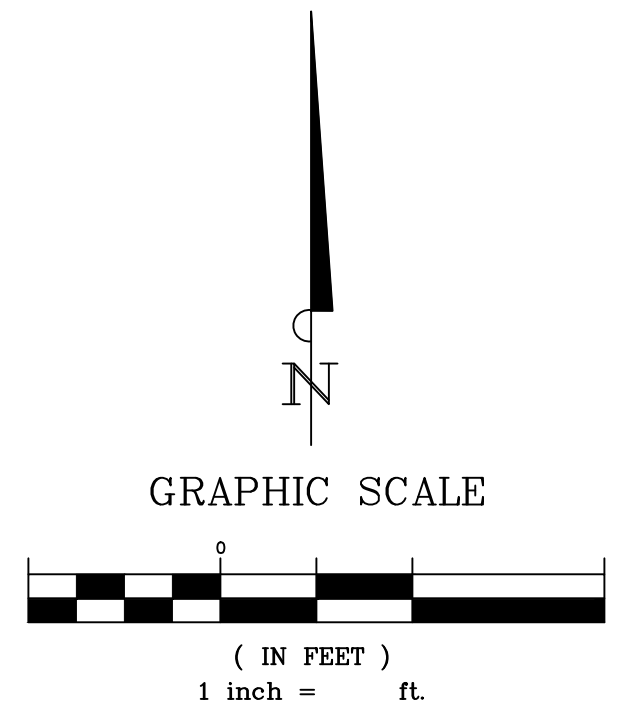
INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.

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L-1.01	L-1.02	L-1.03
L-1.04	L-1.05	L-1.06
L-1.07	L-1.08	L-1.09



TREE LEGEND

	PRESERVED EXISTING TREE
	REMOVED EXISTING TREE

TOTAL MITIGATION REQUIRED IN PHASE 2	1,118.3
TOTAL CREDITS PROVIDED	
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG FM-549	392.0
INCHES OF TREES CREDITED FROM PHASE 1 DEVELOPMENT	1,026.9
REMAINING MITIGATION REQUIRED IN PHASE 2	0.0

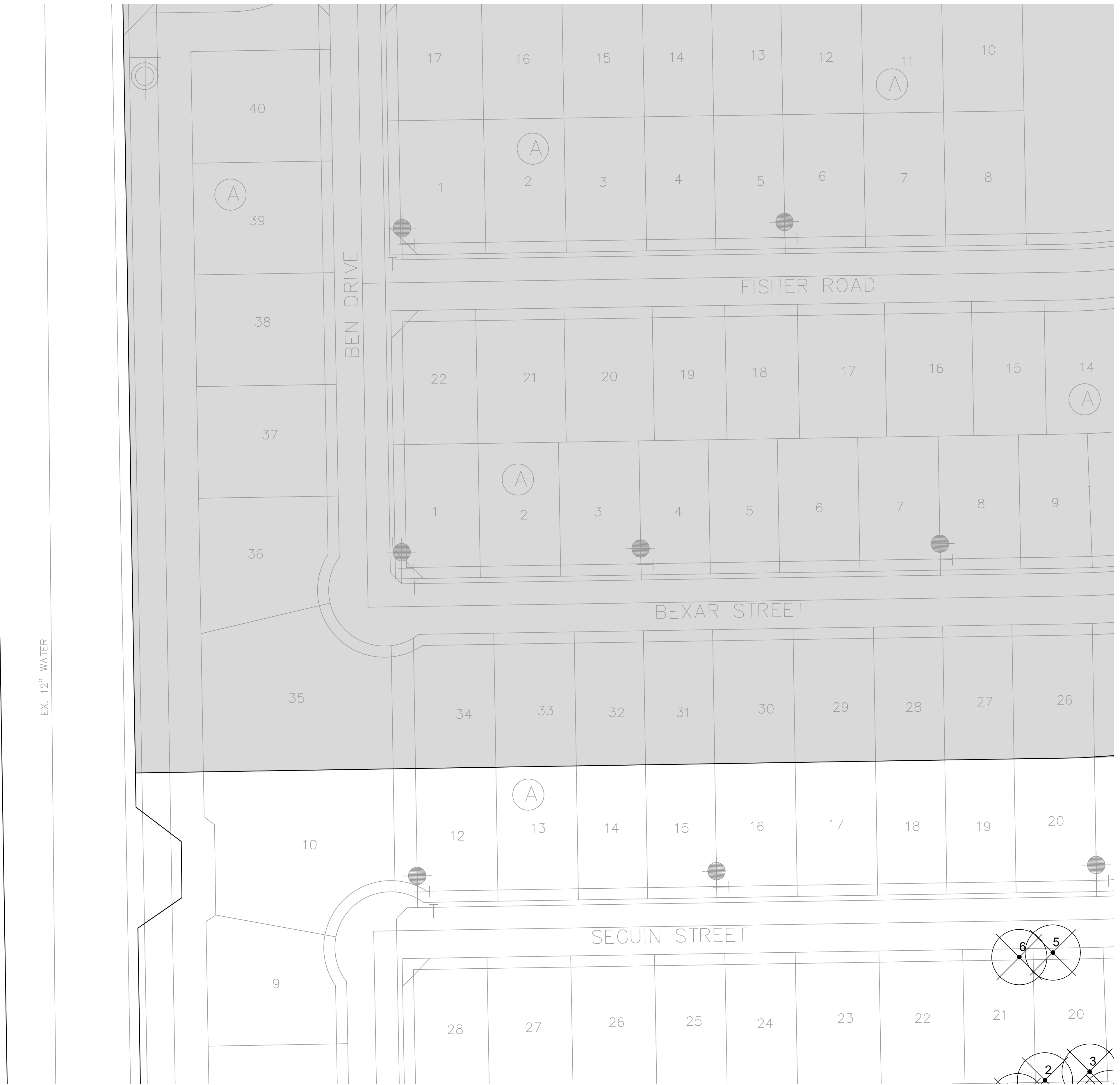
*300.6" PLANTED IN EXCESS OF MITIGATION REQUIREMENTS

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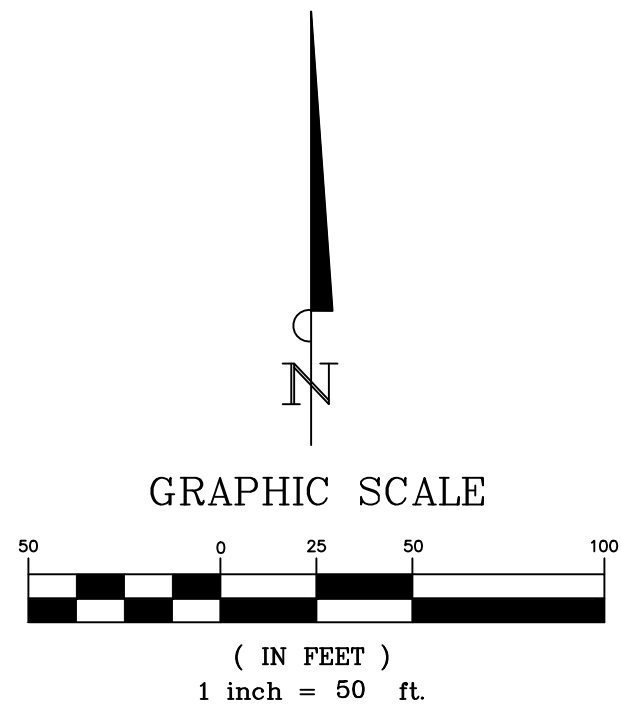
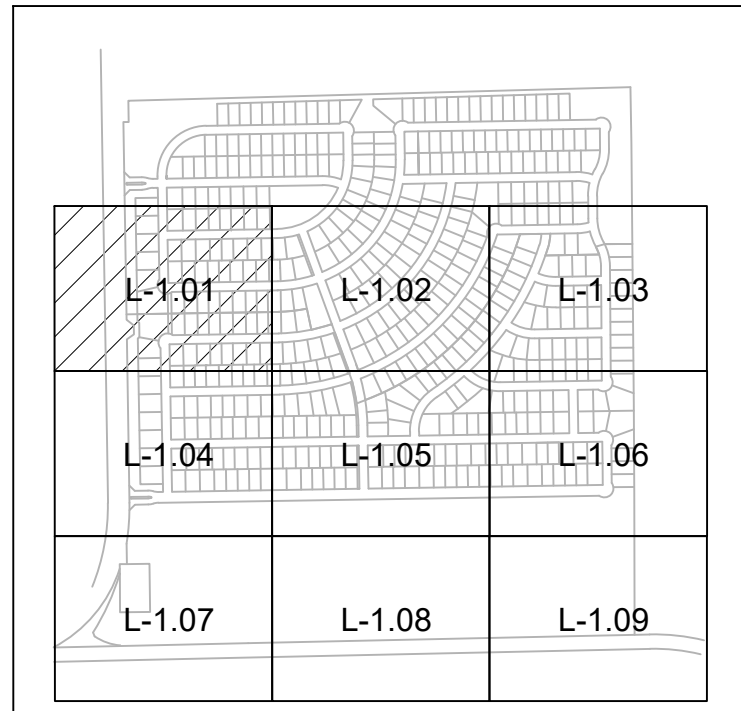
No.	Date	Revision Description
1	7-28-21	Address city comments 7.23.21





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EX. 12" WATER



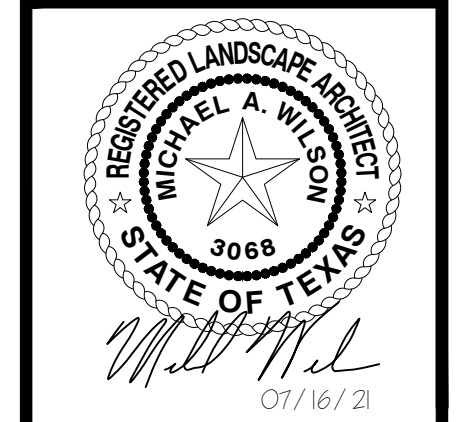
TREE LEGEND

-  PRESERVED EXISTING TREE
-  REMOVED EXISTING TREE

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ROCKWALL, TEXAS
TREESCAPE PLAN - PH 2

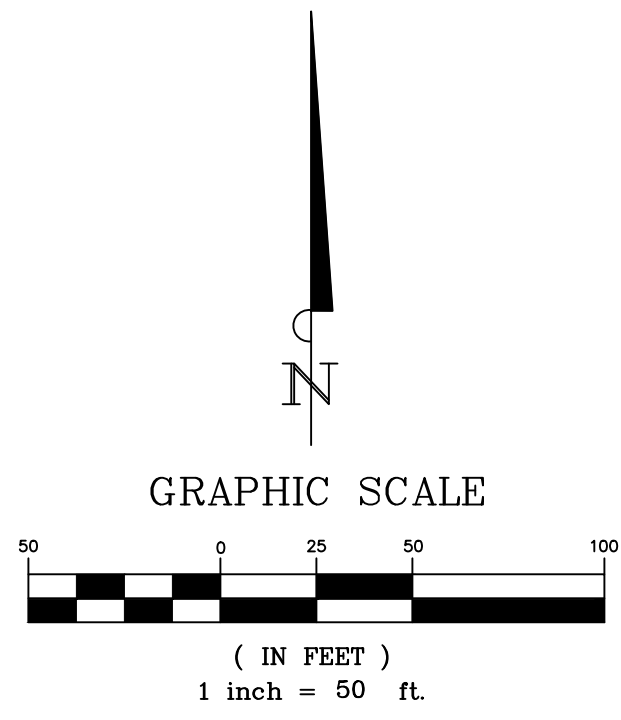
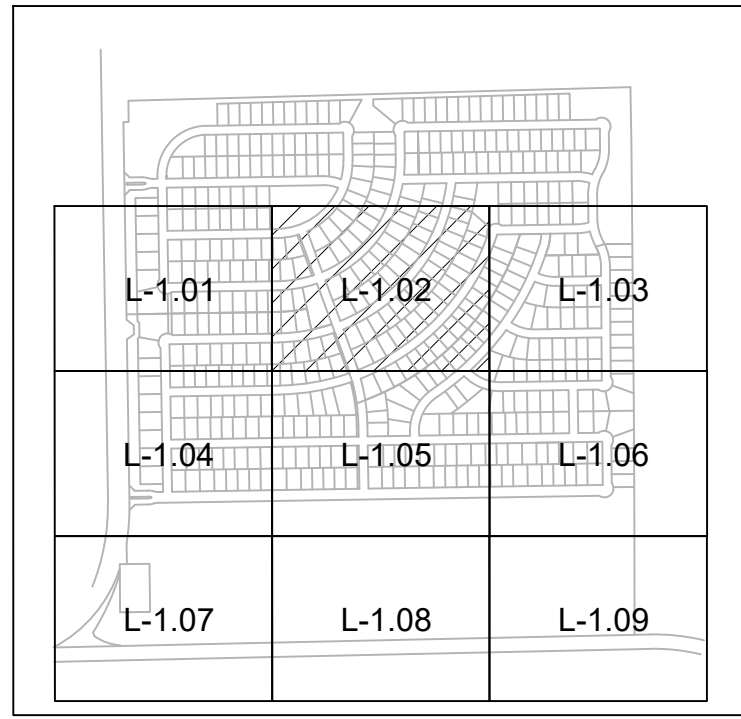
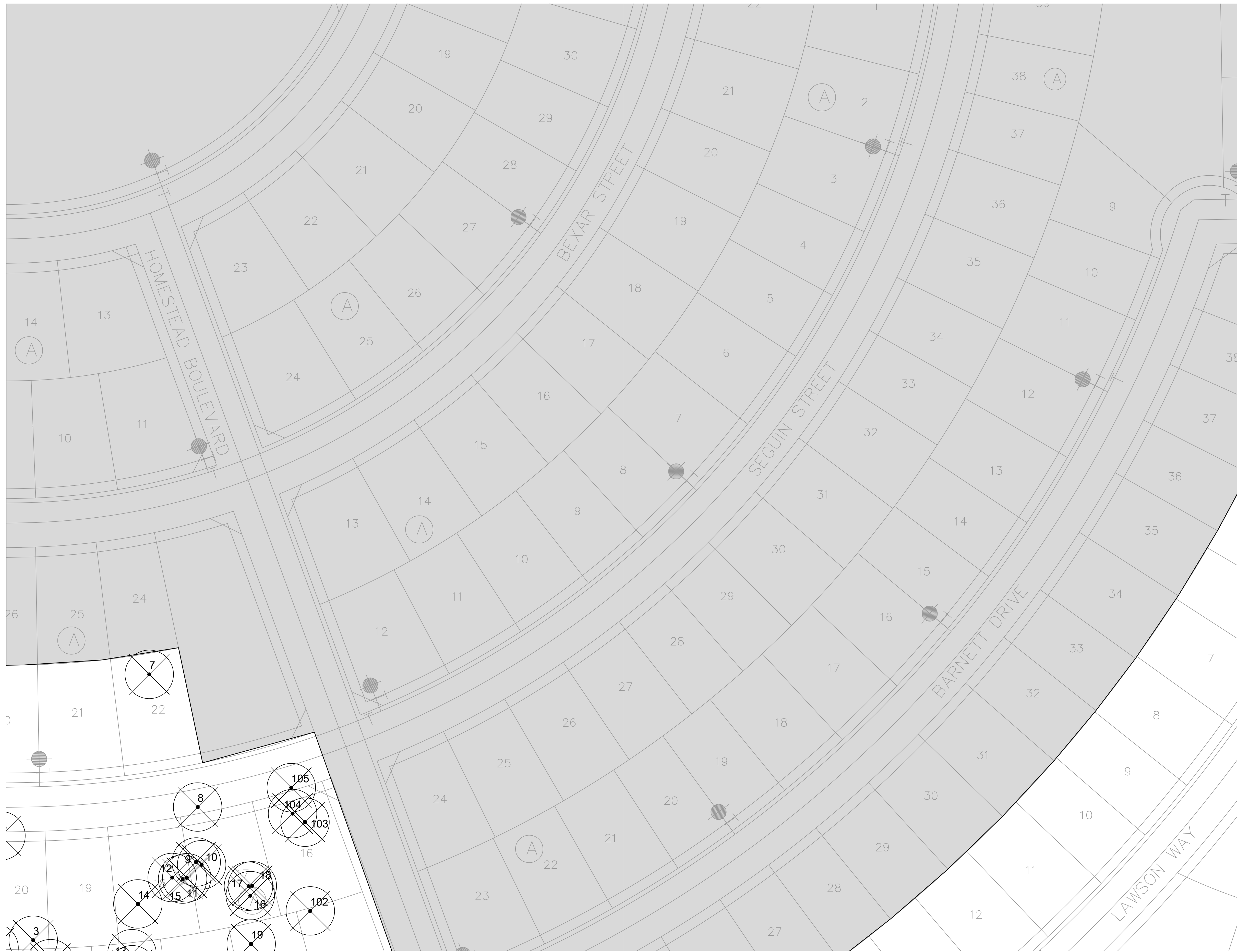
No.	Date	Revision Description
1	7-28-21	Address city comments 7.23.21





SHEET NUMBER
L-1.01

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- TREE LEGEND**
-  PRESERVED EXISTING TREE
 -  REMOVED EXISTING TREE

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TREESCARE PLAN - PH 2

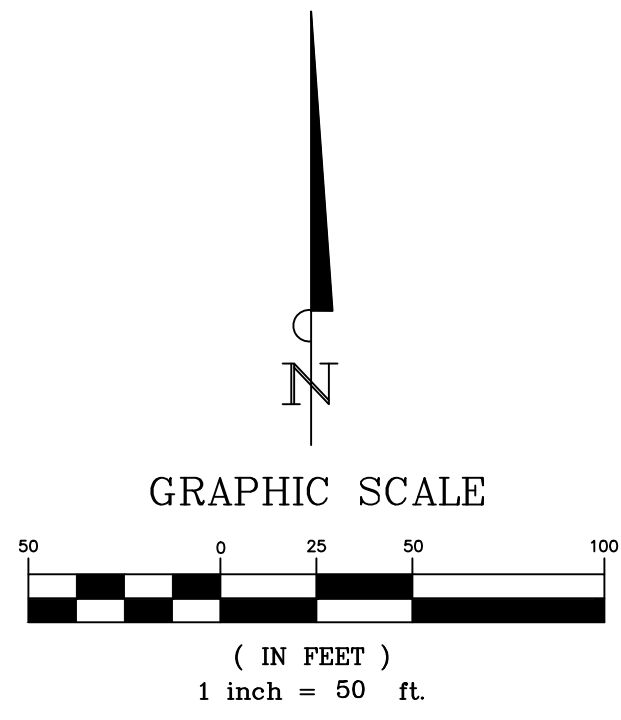
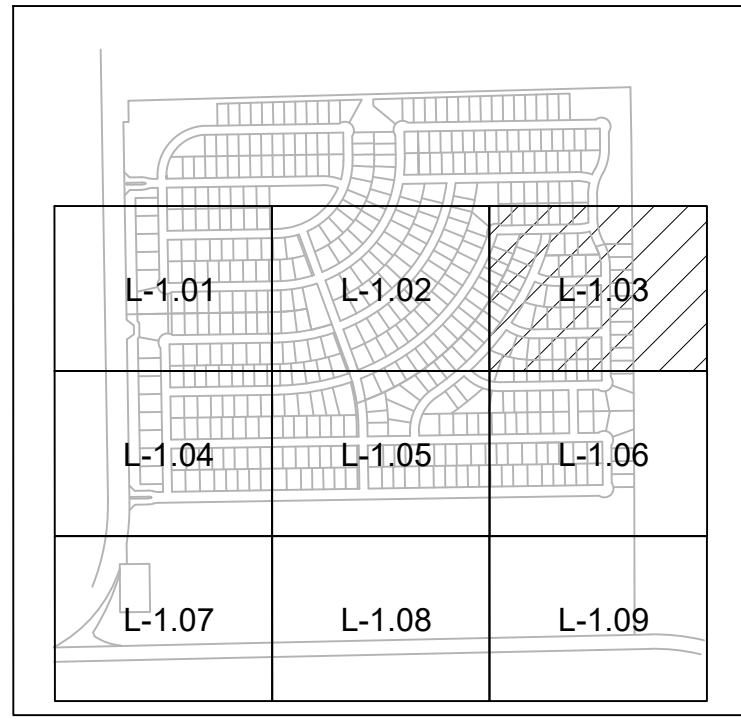
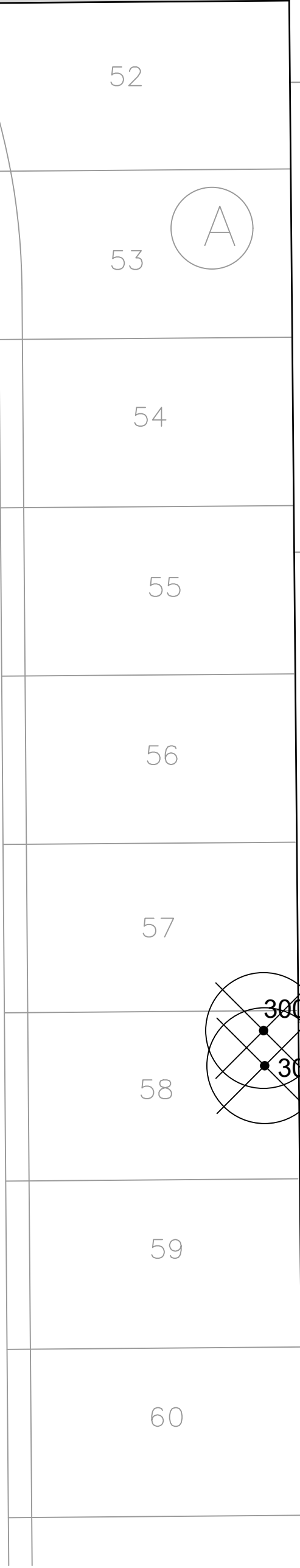
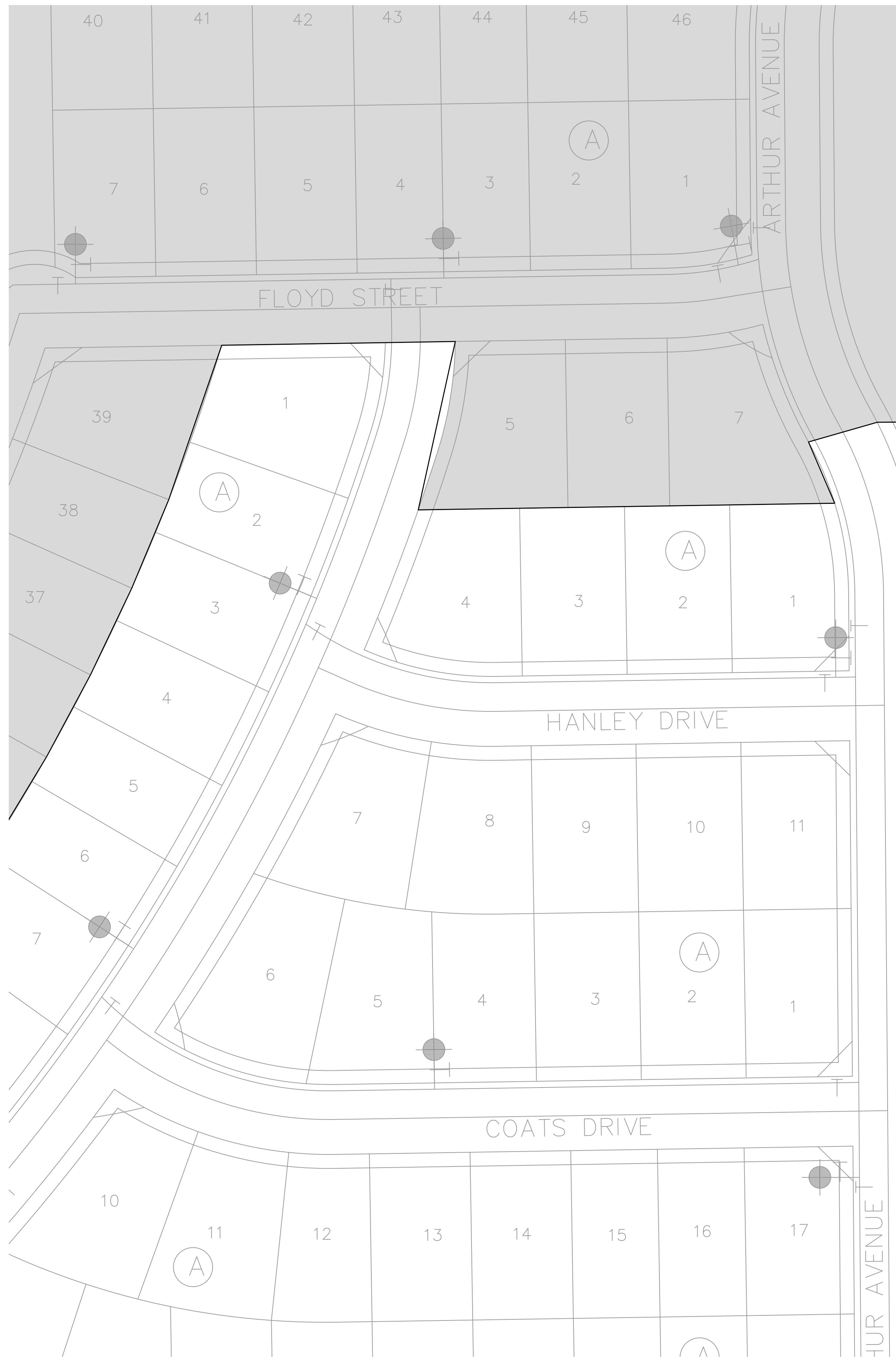
No.	Date	Revision Description
1	7-28-21	Address city comments 7.23.21



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SHEET NUMBER
L-1.02

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- TREE LEGEND**
- PRESERVED EXISTING TREE
 - REMOVED EXISTING TREE

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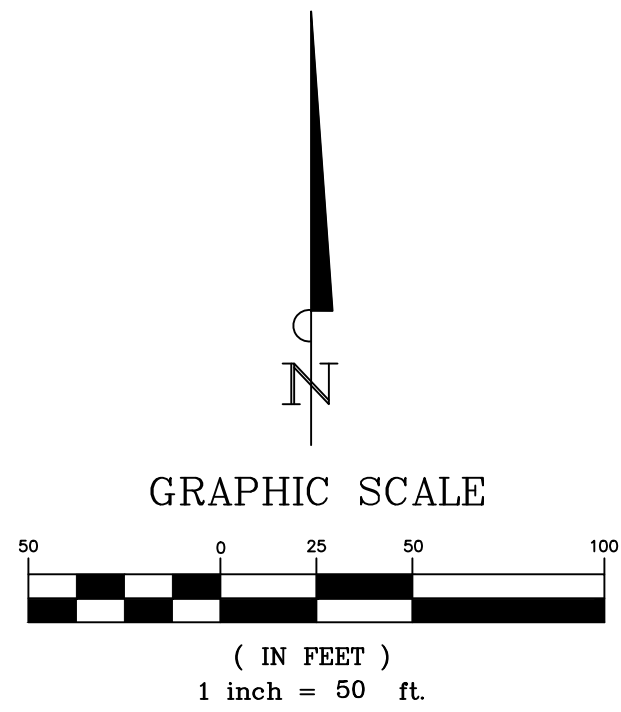
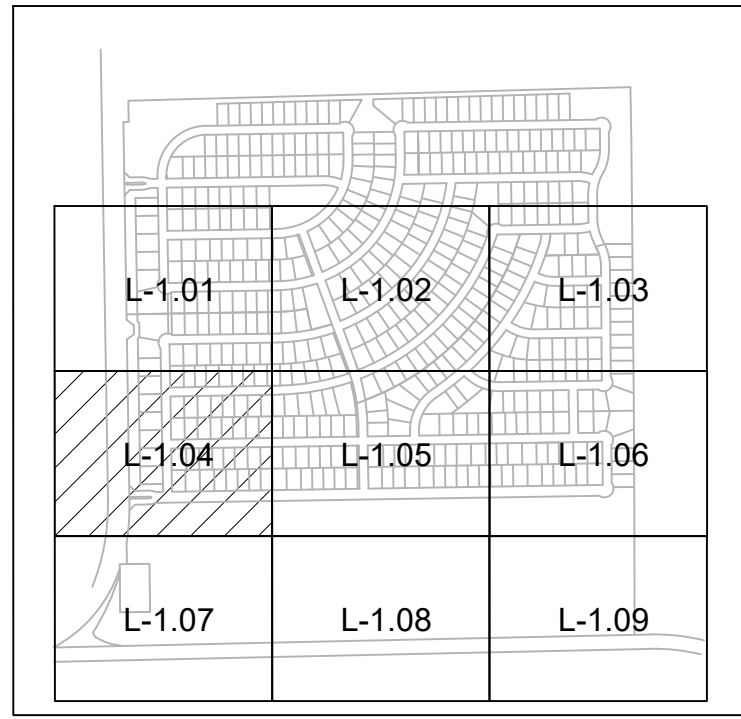
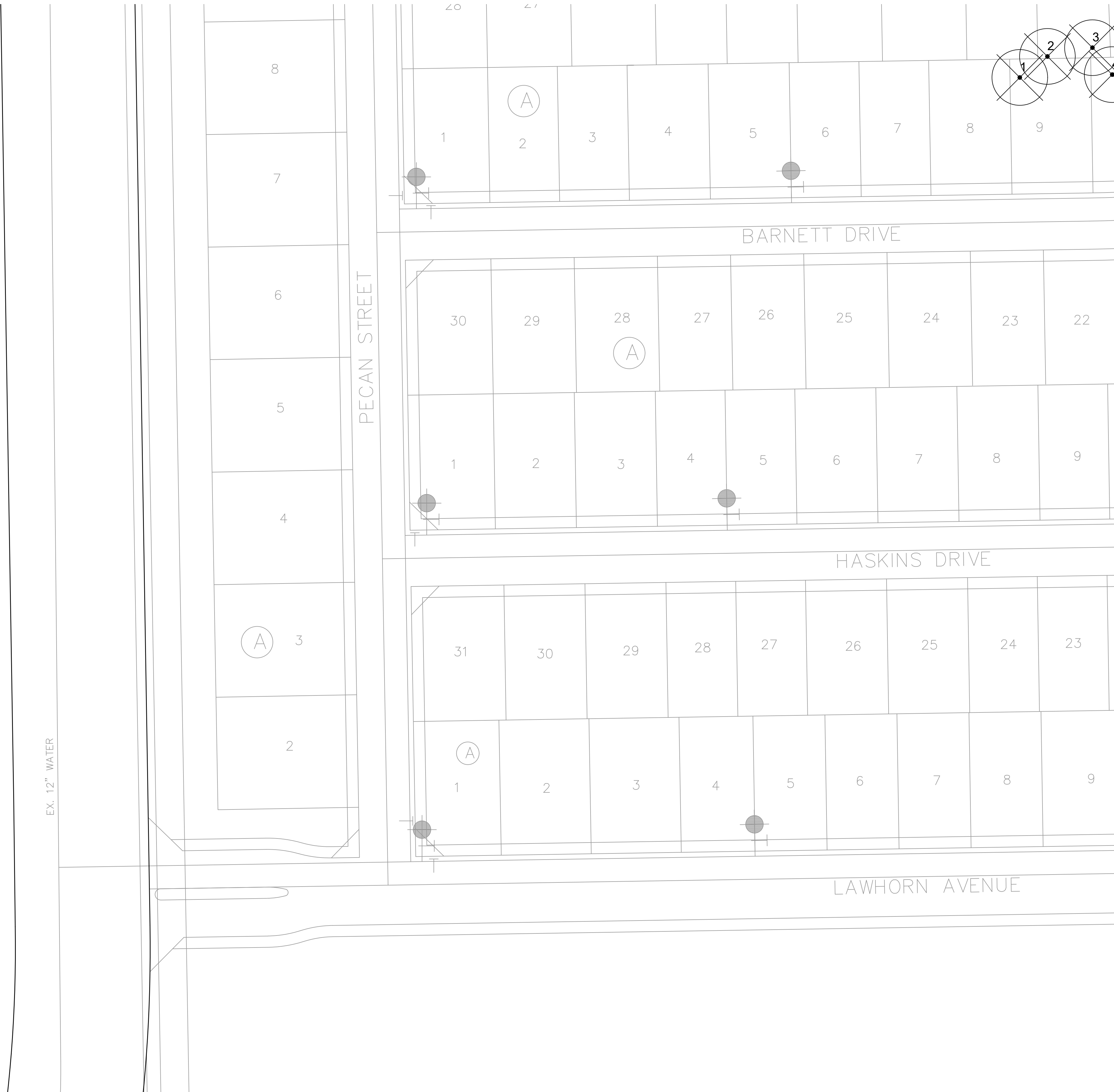
TREESCAPE PLAN - PH 2

No.	Date	Revision Description
1	7-28-21	Address city comments 7.23.21



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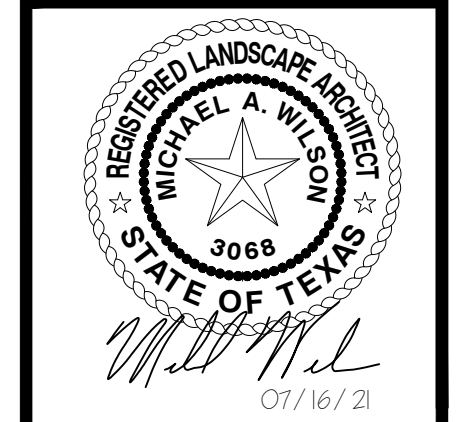


- TREE LEGEND**
- PRESERVED EXISTING TREE
 - REMOVED EXISTING TREE

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TREESCAPE PLAN - PH 2

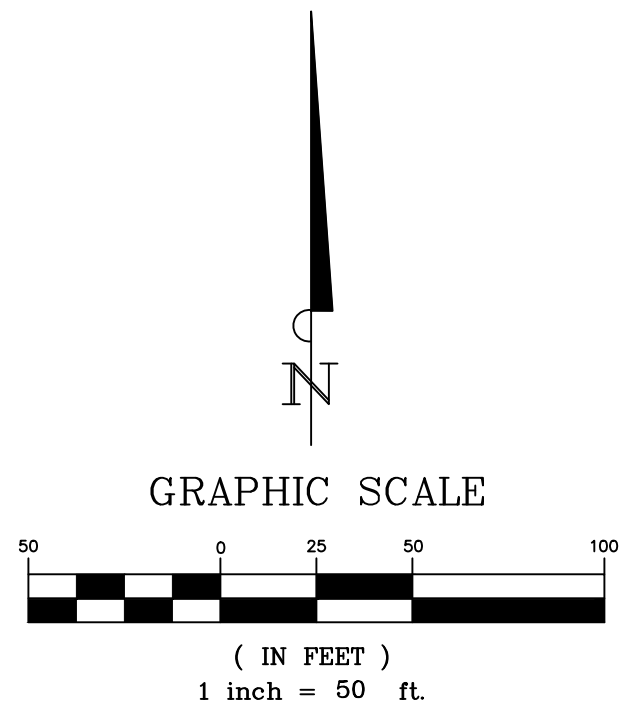
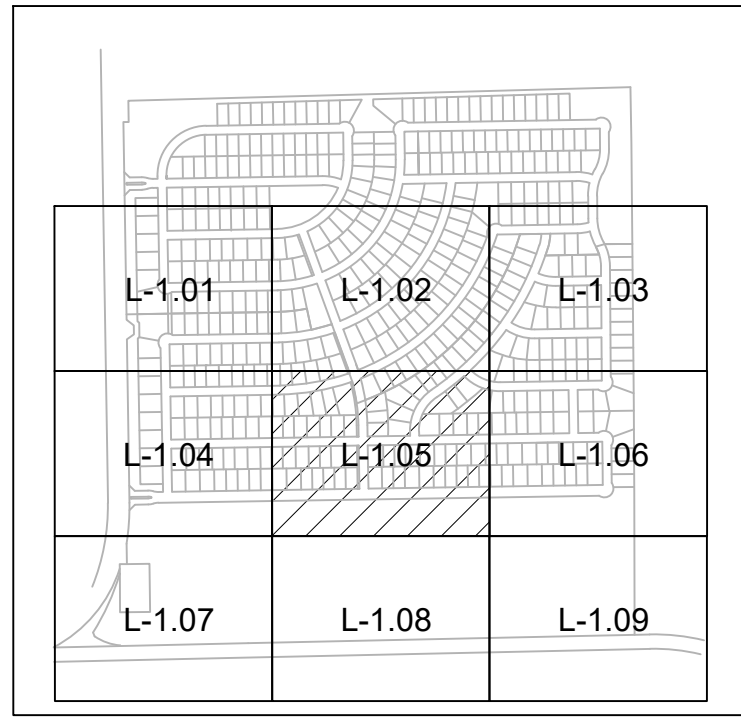
No.	Date	Revision Description
1	7-28-21	Address city comments 7.23.21



SHEET NUMBER
L-1.04

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- TREE LEGEND**
- PRESERVED EXISTING TREE
 - X
 REMOVED EXISTING TREE

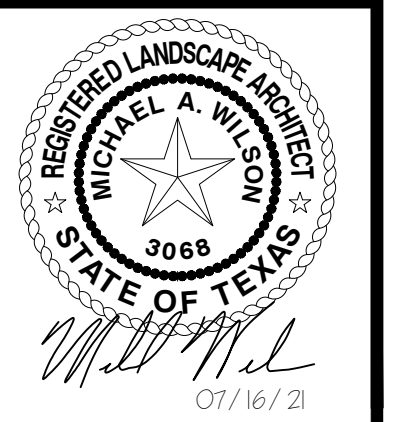
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TREESCPE PLAN - PH 2

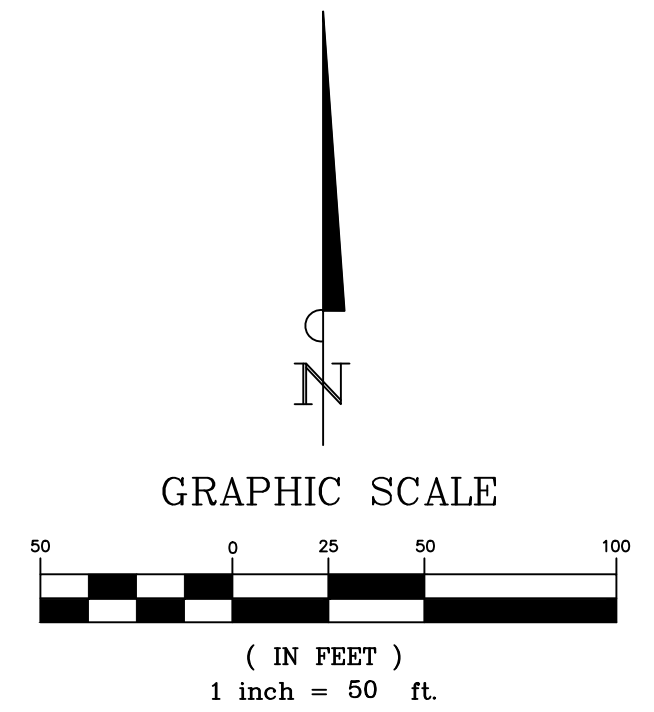
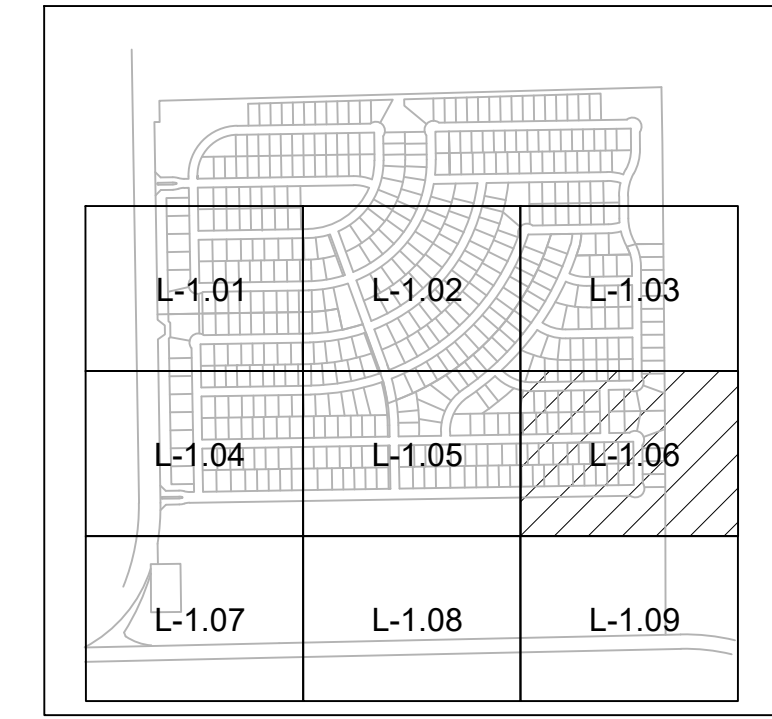
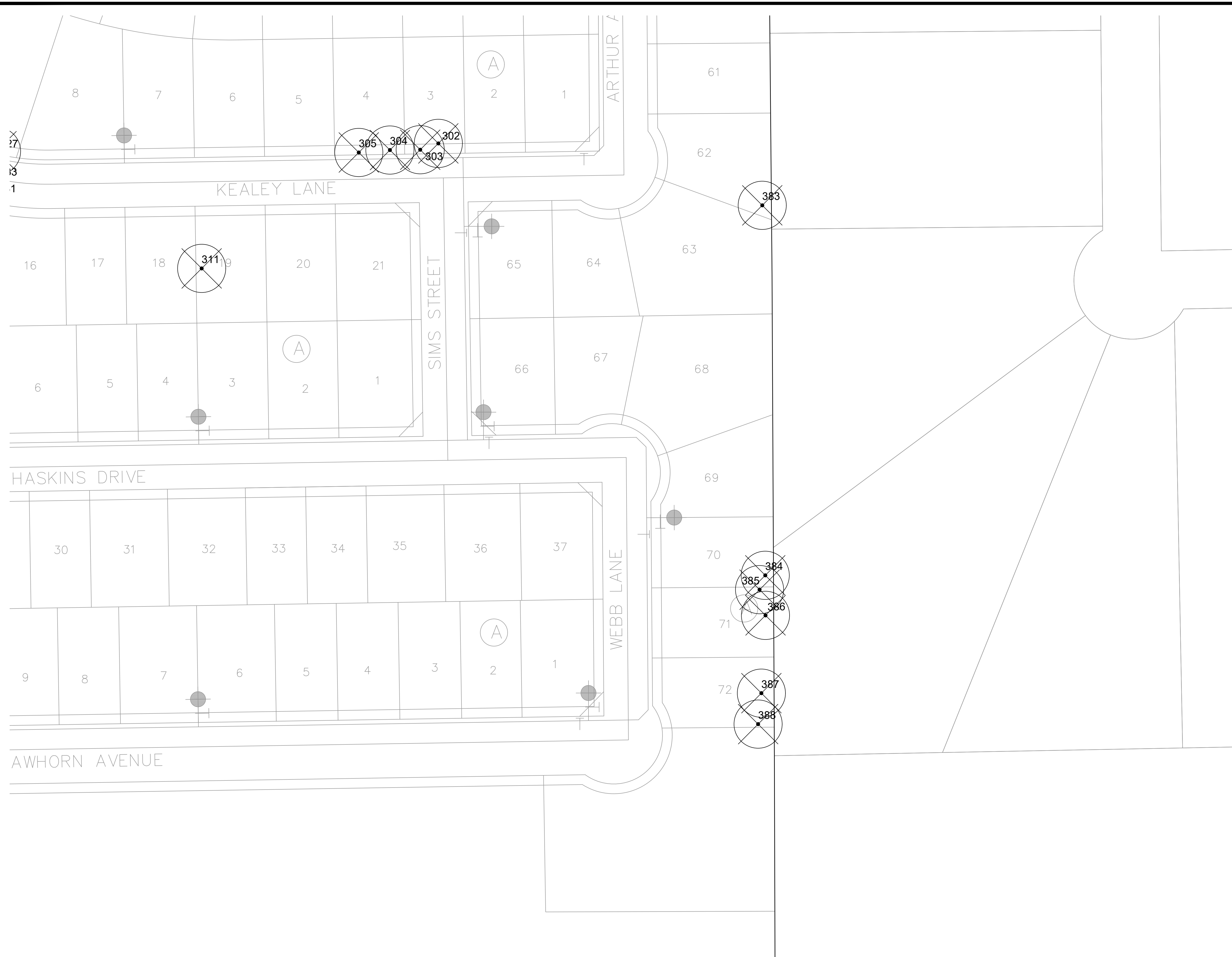
No.	Date	Revision Description
1	7-28-21	Address city comments 7.23.21





SHEET NUMBER
L-1.05

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TREE LEGEND

-  PRESERVED EXISTING TREE
-  REMOVED EXISTING TREE

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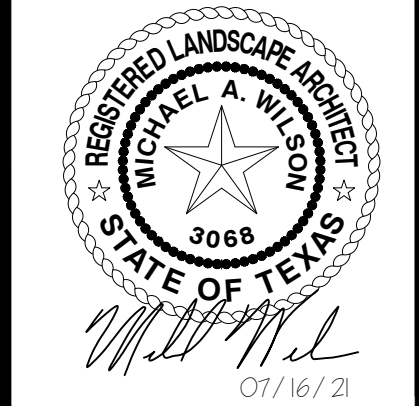
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TREESCAPE PLAN - PH 2

No.	Date	Revision Description
1	7-28-21	Address city comments 7.23.21

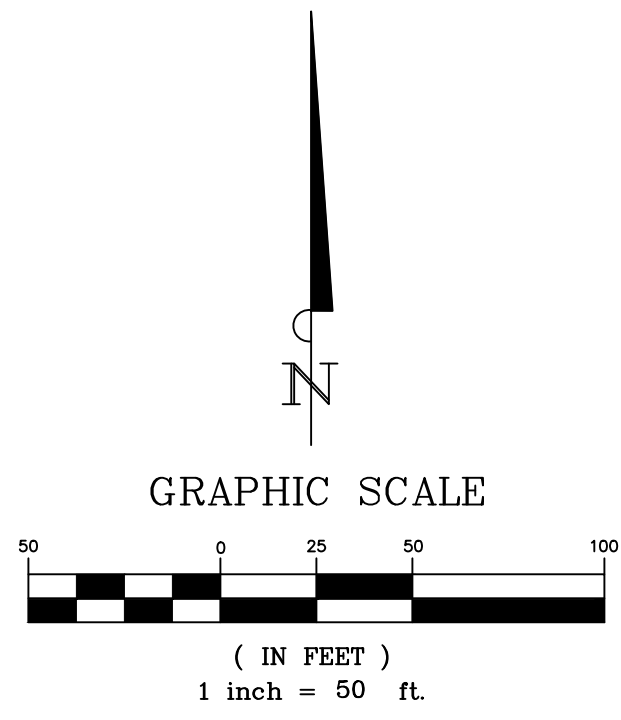
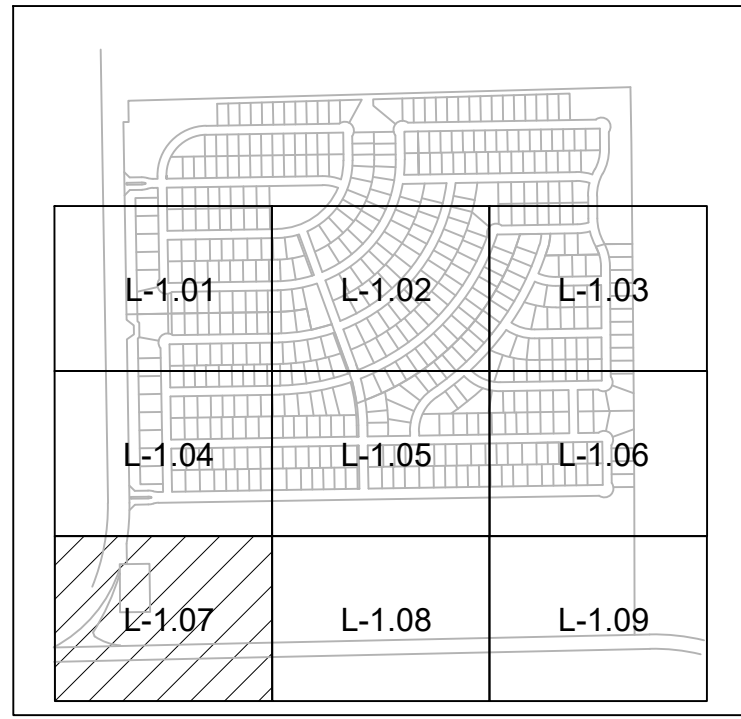
PROJECT NO.: TEMPLATE





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SHEET NUMBER
L-1.06

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- TREE LEGEND**
-  PRESERVED EXISTING TREE
 -  REMOVED EXISTING TREE

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TREESCAPE PLAN - PH 2

No.	Date	Revision Description
1	7-28-21	Address city comments 7.23.21

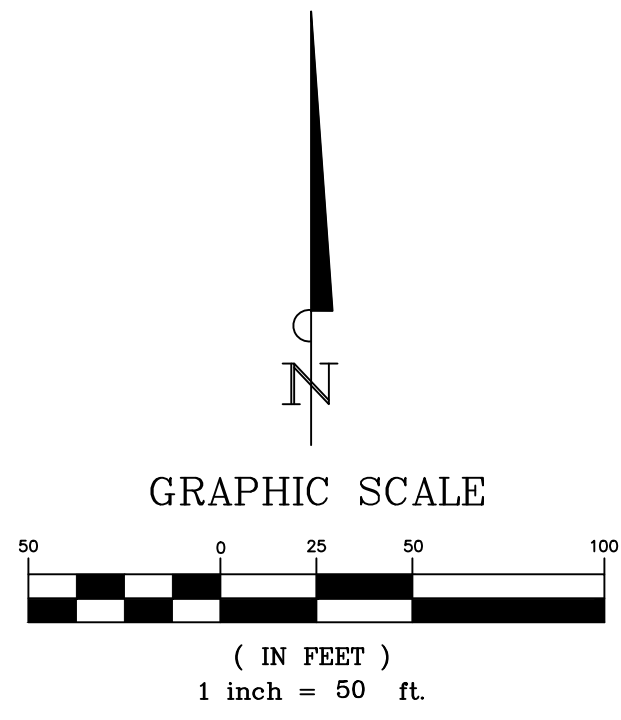
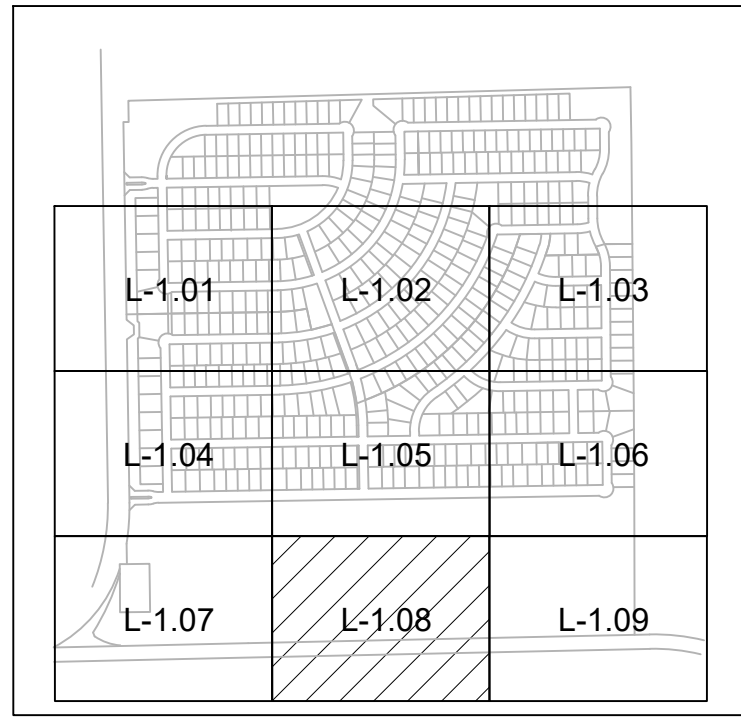
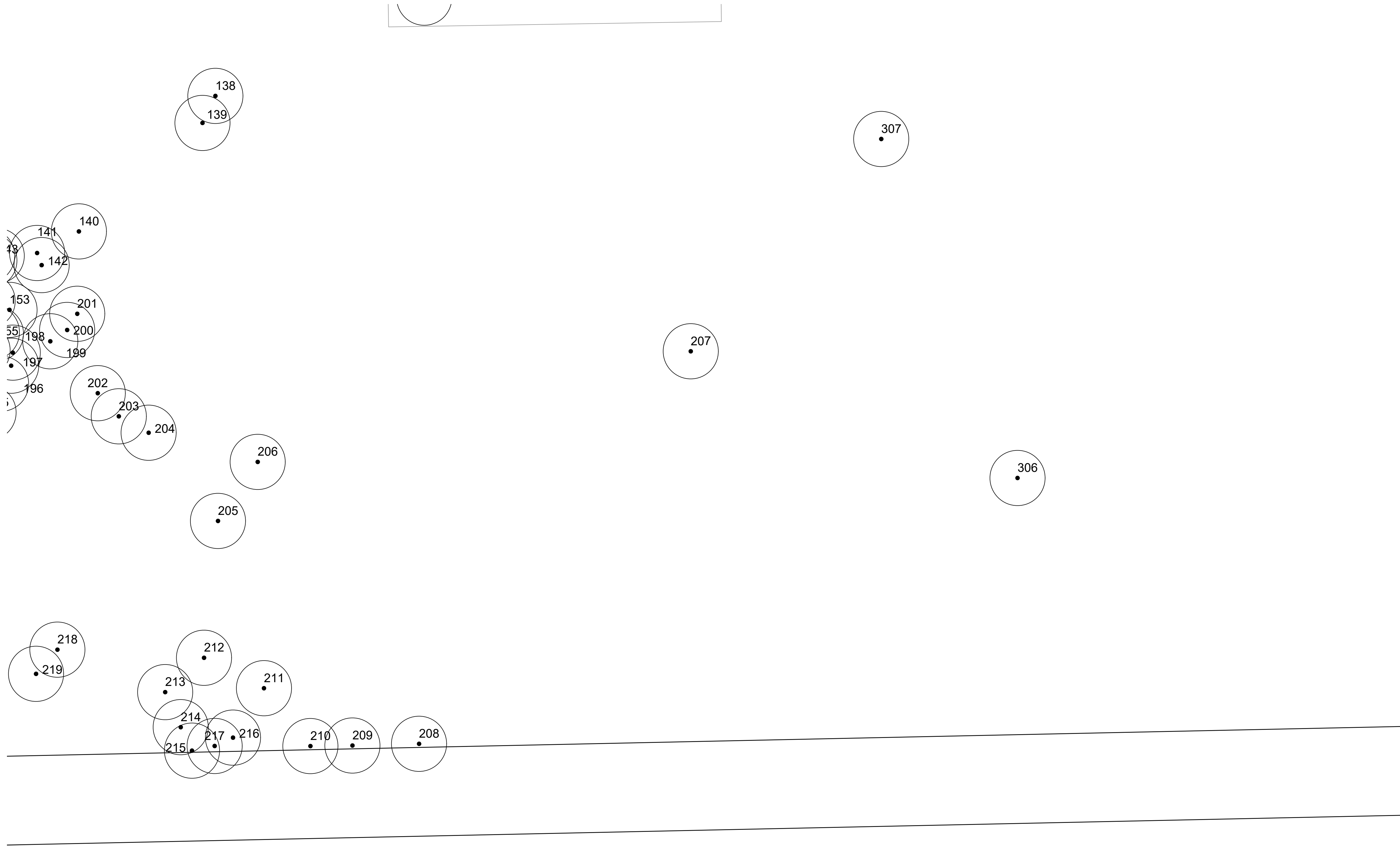
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SHEET NUMBER
L-1.07

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- TREE LEGEND**
-  PRESERVED EXISTING TREE
 -  REMOVED EXISTING TREE

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ROCKWALL, TEXAS

TREESCAPE PLAN - PH 2

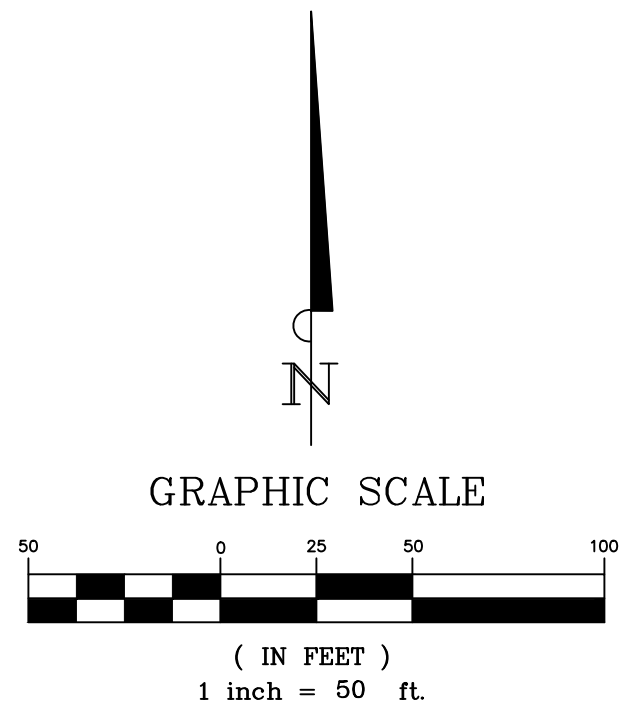
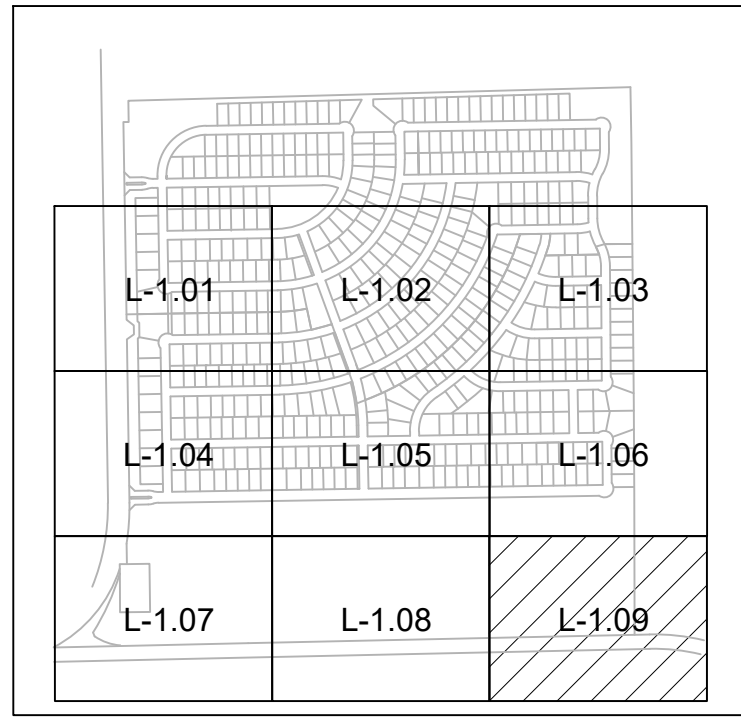
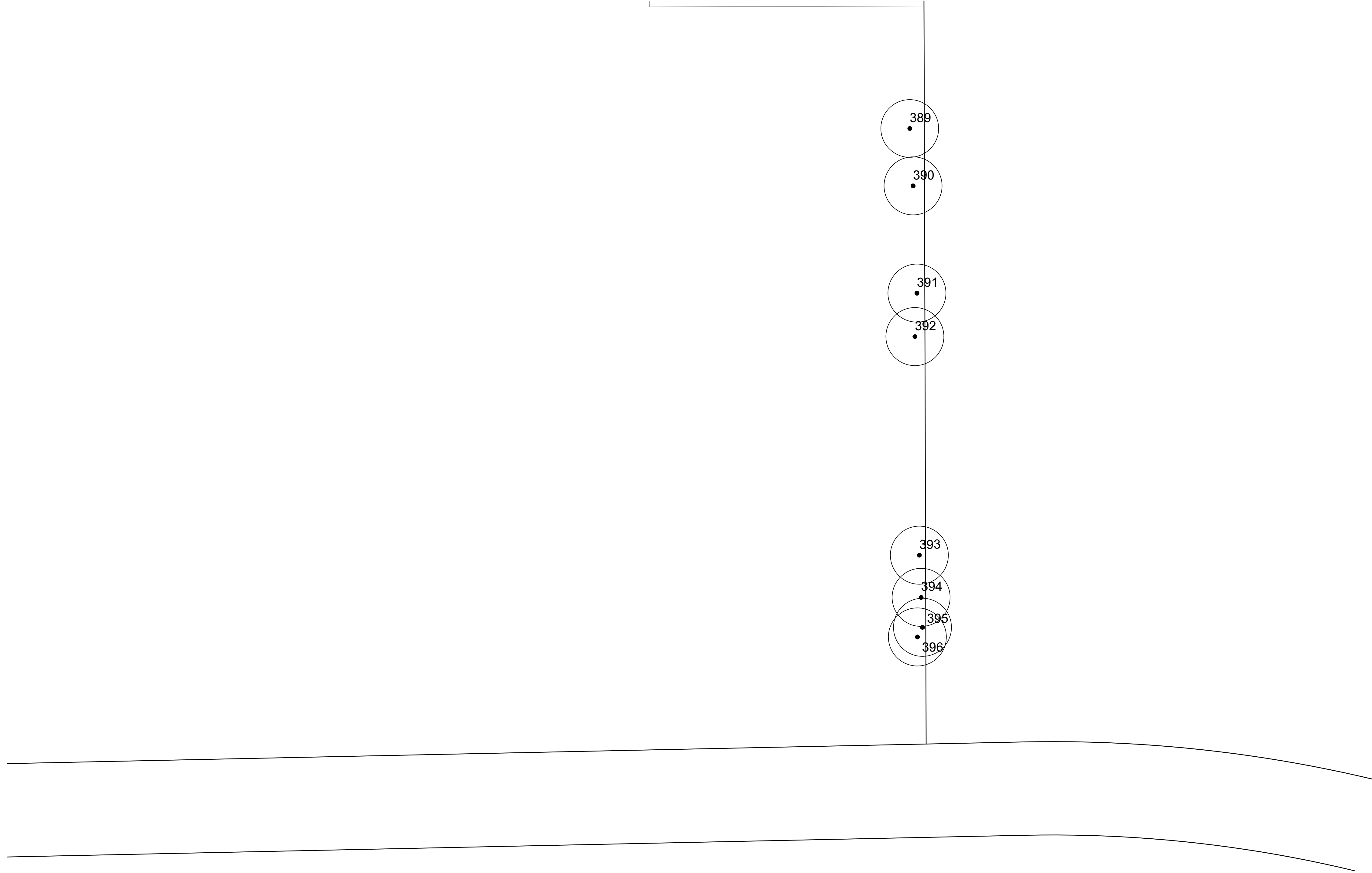
No.	Date	Revision Description
1	7-28-21	Address city comments 7.23.21



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SHEET NUMBER
L-1.08



- TREE LEGEND**
-  PRESERVED EXISTING TREE
 -  REMOVED EXISTING TREE

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ROCKWALL, TEXAS
TREESCAPE PLAN - PH 2

No.	Date	Revision Description
1	7-28-21	Address city comments 7.23.21



SHEET NUMBER
L-1.09

PROJECT NO.: TEMPLATE

Tree Number	Diameter at Breast Height (Inches)	Species	Canopy Radius (Feet)	Multiple Trunks	General Condition	PRESERVED/REMOVED	Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving
1	12	eastern red cedar	24	No	Healthy	Removed	-	-	6.0	-	-
2	21.3	eastern red cedar	22	No	Healthy	Removed	-	-	10.7	-	-
3	19.3	eastern red cedar	20	No	Healthy	Removed	-	-	9.7	-	-
4	24.4	sugarberry	24	No	Healthy	Removed	-	-	12.2	-	-
5	46	sugarberry	46	No	Damaged	Removed	-	-	-	-	-
6	22.1	sugarberry	22	No	Healthy	Removed	-	-	11.1	-	-
7	15.6	sugarberry	16	No	Healthy	Removed	-	-	7.8	-	-
8	21.9	sugarberry	22	No	Healthy	Removed	-	-	11.0	-	-
9	18.1	sugarberry	18	No	Healthy	Removed	-	-	9.1	-	-
10	18.6	sugarberry	19	No	Healthy	Removed	-	-	9.3	-	-
11	16.8	sugarberry	18	No	Damaged	Removed	-	-	-	-	-
12	15	sugarberry	16	No	Healthy	Removed	-	-	7.5	-	-
13	24.7	red mulberry	24	No	Healthy	Removed	-	24.7	-	-	-
14	26.8	sugarberry	26	No	Damaged	Removed	-	-	-	-	-
15	19.4	cottonwood	19	No	Healthy	Removed	-	-	-	N/A	-
16	17.4	sugarberry	17	No	Healthy	Removed	-	-	8.7	-	-
17	11.1	eastern red cedar	11	No	Healthy	Removed	-	-	5.6	-	-
18	20.4	sugarberry	20	No	Healthy	Removed	-	-	10.2	-	-
19	19.5	Osage-orange	20	Yes	Healthy	Removed	-	-	-	N/A	-
20	23.7	sugarberry	24	No	Damaged	Removed	-	-	-	-	-
21	11.3	sugarberry	11	No	Healthy	Removed	-	-	5.7	-	-
22	24	sugarberry	24	No	Healthy	Removed	-	-	12.0	-	-
23	18.9	sugarberry	20	No	Healthy	Removed	-	-	9.5	-	-
24	24.5	sugarberry	24	Yes	Healthy	Removed	-	-	12.3	-	-
25	12.1	sugarberry	12	No	Healthy	Removed	-	-	6.1	-	-
26	22.2	Osage-orange	15	Yes	Healthy	Removed	-	-	-	N/A	-
27	30.5	Osage-orange	30	Yes	Damaged	Removed	-	-	-	-	-
28	19.2	Osage-orange	19	No	Healthy	Removed	-	-	-	N/A	-
29	28.3	Osage-orange	19	No	Damaged	Removed	-	-	-	-	-
30	20.2	Osage-orange	20	No	Damaged	Removed	-	-	-	-	-
31	24	Osage-orange	24	Yes	Damaged	Removed	-	-	-	-	-
32	17.2	Osage-orange	17	No	Damaged	Removed	-	-	-	-	-
33	22.1	Osage-orange	22	No	Damaged	Removed	-	-	-	-	-
34	19.5	Osage-orange	20	Yes	Damaged	Removed	-	-	-	-	-
35	19.5	Osage-orange	15	Yes	Damaged	Removed	-	-	-	-	-
36	22.1	Osage-orange	22	No	Damaged	Removed	-	-	-	-	-
37	28.1	Osage-orange	28	No	Damaged	Removed	-	-	-	-	-
38	15.7	Osage-orange	16	No	Damaged	Preserved	-	-	-	-	-
39	14	Osage-orange	14	Yes	Damaged	Removed	-	-	-	-	-
40	20.2	Osage-orange	20	No	Damaged	Removed	-	-	-	-	-
41	35.4	black willow	35	No	Damaged	Removed	-	-	-	-	-
42	67	American elm	67	Yes	Damaged	Removed	-	-	-	-	-
43	13	common persimmon	13	No	Healthy	Removed	-	13.0	-	-	-
44	7.1	common persimmon	7	No	Healthy	Removed	-	7.1	-	-	-
45	11.1	common persimmon	11	No	Healthy	Removed	-	11.1	-	-	-
46	8.4	common persimmon	8	No	Healthy	Removed	-	8.4	-	-	-
47	13.5	common persimmon	14	No	Healthy	Removed	-	13.5	-	-	-
48	9.1	common persimmon	9	No	Healthy	Removed	-	9.1	-	-	-
49	13.5	common persimmon	13	No	Healthy	Removed	-	13.5	-	-	-
50	10.3	common persimmon	10	No	Healthy	Removed	-	10.3	-	-	-
51	9.6	common persimmon	10	No	Healthy	Removed	-	9.6	-	-	-
52	10.9	common persimmon	11	No	Healthy	Removed	-	10.9	-	-	-
53	10.2	common persimmon	10	No	Healthy	Removed	-	10.2	-	-	-
54	9.8	common persimmon	10	No	Healthy	Removed	-	9.8	-	-	-
55	12.1	common persimmon	12	Yes	Healthy	Removed	-	12.1	-	-	-
56	10.4	common persimmon	10	No	Healthy	Removed	-	10.4	-	-	-
57	12.6	common persimmon	12	No	Damaged	Removed	-	-	-	-	-
58	12.3	common persimmon	12	No	Healthy	Removed	-	12.3	-	-	-
61	10	common persimmon	10	No	Healthy	Removed	-	10.0	-	-	-
62	8.1	common persimmon	8	No	Healthy	Removed	-	8.1	-	-	-
63	8.9	common persimmon	9	No	Healthy	Removed	-	8.9	-	-	-
64	8.6	common persimmon	9	No	Healthy	Removed	-	8.6	-	-	-
65	10.6	common persimmon	11	No	Healthy	Removed	-	10.6	-	-	-
66	9.7	common persimmon	10	No	Healthy	Removed	-	9.7	-	-	-
67	12.4	common persimmon	12	No	Healthy	Removed	-	12.4	-	-	-
68	11	common persimmon	11	No	Healthy	Removed	-	11.0	-	-	-
69	15.9	common persimmon	16	No	Healthy	Removed	-	15.9	-	-	-
70	13.2	common persimmon	13	No	Healthy	Removed	-	13.2	-	-	-
								294.4	164.0		
Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving							

Tree Number	Diameter at Breast Height (Inches)	Species	Canopy Radius (Feet)	Multiple Trunks	General Condition	PRESERVED/REMOVED	Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving
71	13.2	common persimmon	13	No	Healthy	Removed	-	13.2	-	-	-
72	12.4	common persimmon	12	No	Healthy	Removed	-	12.4	-	-	-
73	13.9	American elm	14	No	Healthy	Removed	-	13.9	-	-	-
74	8.5	American elm	8	No	Healthy	Removed	-	8.5	-	-	-
75	17.2	American elm	17	No	Healthy	Removed	-	17.2	-	-	-
76	17.8	American elm	18	No	Healthy	Removed	-	17.8	-	-	-
77	13.5	American elm	14	Yes	Healthy	Removed	-	13.5	-	-	-
78	22.5	black willow	22	No	Damaged	Removed	-	-	-	-	-
79	16.2	Osage-orange	16	No	Healthy	Removed	-	-	-	N/A	-
80	13.5	Osage-orange	13	No	Healthy	Removed	-	-	-	N/A	-
81	15.2	Osage-orange	15	Yes	Damaged	Removed	-	-	-	-	-
82	11	Osage-orange	11	No	Healthy	Removed	-	-	-	N/A	-
83	15.7	Osage-orange	16	No	Healthy	Removed	-	-	-	N/A	-
84	16.3	Osage-orange	16	No	Healthy	Removed	-	-	-	N/A	-
85	32.1	Osage-orange	32	No	Healthy	Removed	64.2	-	-	-	-
87	30.6	Osage-orange	30	Yes	Healthy	Removed	61.2	-	-	-	-
88	12	Osage-orange	12	No	Healthy	Removed	-	-	-	N/A	-
94	14.6	Osage-orange	14	No	Healthy	Removed	-	-	-	N/A	-
95	18	Osage-orange	18	Yes	Damaged	Removed	-	-	-	-	-
96	12.6	sugarberry	12	No	Healthy	Removed	-	-	6.3	-	-
100	20	Osage-orange	20	No	Damaged	Removed	-	-	-	-	-
102	14.9	eastern red cedar	14	No	Healthy	Removed	-	-	7.5	-	-
103	5.5	gum bumelia	6	No	Healthy	Removed	-	5.5	-	-	-
104	13.2	sugarberry	14	No	Healthy	Removed	-	-	6.6	-	-
105	12.7	sugarberry	12	No	Healthy	Removed	-	-	6.4	-	-
123	15	Osage-orange	15	No	Healthy	Removed	-	-	-	N/A	-
124	11.6	common persimmon	12	No	Healthy	Removed	-	11.6	-	-	-
125	9.6	common persimmon	10	No	Healthy	Removed	-	9.6	-	-	-
126	11.4	common persimmon	12	No	Healthy	Removed	-	11.4	-	-	-
127	18	common persimmon	18	No	Healthy	Removed	-	18.0	-	-	-
128	17.7	sugarberry	18	No	Healthy	Removed	-	-	8.9	-	-
129	13.1	Osage-orange	13	No	Damaged	Removed	-	-	-	-	-
130	12.3	common persimmon	12	No	Healthy	Removed	-	12.3	-	-	-
131	13.7	common persimmon	14	No	Healthy	Removed	-	13.7	-	-	-
132	12.4	common persimmon	12	No	Healthy	Removed	-	12.4	-	-	-
133	13.3	common persimmon	14	No	Healthy	Removed	-	13.3	-	-	-
134	17	sugarberry	18	No	Healthy	Removed	-	-	8.5	-	-
135	11.2	common persimmon	12	No	Healthy	Removed	-	11.2	-	-	-
136	15.7	sugarberry	16	No	Damaged	Removed	-	-	-	-	-
137	15.3	common persimmon	16	No	Healthy	Removed	-	15.3	-	-	-
138	11.8	Osage-orange	12	No	Damaged	Preserved	-	-	-	-	-
139	26.4	Osage-orange	26	Yes	Damaged	Preserved	-	-	-	-	-
140	20.6	Osage-orange	21	No	Healthy	Preserved	-	-	-	-	-
141	13.6	Osage-orange	14	No	Damaged	Preserved	-	-	-	-	-
142	18.2	Osage-orange	18	No	Damaged	Preserved	-	-	-	-	-
143	12.2	Osage-orange	12	No	Healthy	Preserved	-	-	-	-	-
144	18.6	Osage-orange	20	No	Healthy	Preserved	-	-	-	-	-
145	13.2	Osage-orange	13	No	Healthy	Preserved	-	-	-	-	-
146	15.5	Osage-orange	16	No	Healthy	Preserved	-	-	-	-	-
147	17.2	Osage-orange	18	No	Damaged	Preserved	-	-	-	-	-
148	15.6	Osage-orange	16	No	Damaged	Preserved	-	-	-	-	-
149	18.4	Osage-orange	18	No	Healthy	Preserved	-	-	-	-	-
150	21.9	green ash	22	Yes	Healthy	Preserved	-	-	-	-	-
151	12	Osage-orange	12	No	Healthy	Preserved	-	-	-	-	-
152	11	Osage-orange	11	No	Healthy	Preserved	-	-	-	-	-
153	14.8	Osage-orange	16	Yes	Healthy	Preserved	-	-	-	-	-
154	12.6	Osage-orange	12	No	Damaged	Preserved	-	-	-	-	-
155	15	Osage-orange	15	Yes	Damaged	Preserved	-	-	-	-	-
156	18.4	Osage-orange	18	No	Damaged	Preserved	-	-	-	-	-
157	24.3	Osage-orange	24	No	Healthy	Preserved	-	-	-	-	-
158	21.2	Osage-orange	22	No	Healthy	Preserved	-	-	-	-	-
159	24.2	Osage-orange	24	No	Healthy	Preserved	-	-	-	-	-
160	19.3	Osage-orange	12	Yes	Healthy	Preserved	-	-	-	-	-
161	15.3	Osage-orange	16	No	Healthy	Preserved	-	-	-	-	-
162	19.7	Osage-orange	20	No	Damaged	Preserved	-	-	-	-	-
163	14.5	Osage-orange	14	Yes	Healthy	Preserved	-	-	-	-	-
164	18.8	Osage-orange	18	Yes	Healthy	Preserved	-	-	-	-	-
165	16.5	Osage-orange	16	No	Healthy	Preserved	-	-	-	-	-
							125.4	230.8	44.1		
Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving							

Tree Number	Diameter at Breast Height (Inches)	Species	Canopy Radius (Feet)	Multiple Trunks	General Condition	PRESERVED/REMOVED	Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving
166	17.4	Osage-orange	18	Yes	Healthy	Preserved	-	-	-	-	-
167	14.1	Osage-orange	14	No	Healthy	Preserved	-	-	-	-	-
168	24.5	Osage-orange	24	No	Healthy	Preserved	-	-	-	-	-
169	23.6	Osage-orange	24	Yes	Healthy	Preserved	-	-	-	-	-
170	17	Osage-orange	17	Yes	Healthy	Preserved	-	-	-	-	-
171	13.2	Osage-orange	13	Yes	Healthy	Preserved	-	-	-	-	-
172	13.4	Osage-orange	13	No	Damaged	Preserved	-	-	-	-	-
173	21.5	Osage-orange	22	Yes	Healthy	Preserved	-				

File: B:\Clients\090 (Storburg Development)\090-21-007 (Homestead LS - Rockwall)\Civil\Sheet Set\1.0 Tree Preservation Plan.dwg | Date Plotted: 7/28/2021 12:07 PM | Plotted By: mwilson

Tree Number	Diameter at Breast Height (Inches)	Species	Canopy Radius (Feet)	Multiple Trunks	General Condition	PRESERVED/REMOVED	Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving
234	12.4	sugarberry	12	No	Healthy	Preserved	-	-	-	-	-
235	12	cedar elm	12	No	Healthy	Preserved	-	-	-	-	-
236	17.9	eastern red cedar	18	No	Healthy	Preserved	-	-	-	-	-
237	15.6	eastern red cedar	16	No	Healthy	Preserved	-	-	-	-	-
238	7.7	Hercules-club	8	No	Healthy	Preserved	-	-	-	-	-
239	4.3	American elm	4	No	Healthy	Preserved	-	-	-	-	-
240	16.7	sugarberry	17	No	Healthy	Preserved	-	-	-	-	-
241	25	American elm	25	No	Healthy	Preserved	-	-	-	-	25.0
242	17.9	cottonwood	18	No	Healthy	Preserved	-	-	-	-	-
243	26.6	eastern red cedar	26	No	Healthy	Preserved	-	-	-	-	-
244	11.6	sugarberry	12	No	Healthy	Preserved	-	-	-	-	-
245	19.5	sugarberry	20	No	Healthy	Preserved	-	-	-	-	-
246	14.1	sugarberry	14	No	Healthy	Preserved	-	-	-	-	-
247	17.1	cedar elm	17	No	Healthy	Preserved	-	-	-	-	-
248	16.1	Osage-orange	16	No	Healthy	Preserved	-	-	-	-	-
249	4.7	Hercules-club	4	No	Healthy	Preserved	-	-	-	-	-
250	4	Hercules-club	4	No	Healthy	Preserved	-	-	-	-	-
251	4.2	pecan	4	No	Healthy	Preserved	-	-	-	-	-
252	11	sugarberry	11	No	Healthy	Preserved	-	-	-	-	-
253	12.8	sugarberry	12	No	Healthy	Preserved	-	-	-	-	-
254	7.6	cedar elm	8	No	Healthy	Preserved	-	-	-	-	-
255	12.3	sugarberry	12	No	Damaged	Preserved	-	-	-	-	-
256	24.2	sugarberry	24	Yes	Healthy	Preserved	-	-	-	-	-
257	11	sugarberry	11	No	Healthy	Preserved	-	-	-	-	-
258	12.6	sugarberry	12	No	Healthy	Preserved	-	-	-	-	-
259	11.1	sugarberry	11	No	Healthy	Preserved	-	-	-	-	-
300	4.8	Hercules-club	12	No	Healthy	Removed	-	4.8	-	-	-
301	7.8	Hercules-club	12	Yes	Healthy	Removed	-	7.8	-	-	-
302	16.4	sugarberry	18	No	Healthy	Removed	-	-	8.2	-	-
303	20.4	sugarberry	15	No	Damaged	Removed	-	-	-	-	-
304	17.9	sugarberry	15	No	Damaged	Removed	-	-	-	-	-
305	16.5	sugarberry	13	No	Healthy	Removed	-	-	8.3	-	-
306	26.9	sugarberry	20	No	Healthy	Preserved	-	-	-	-	-
307	6.6	Hercules-club	10	Yes	Healthy	Preserved	-	-	-	-	-
308	8.2	gum bumelia	7	Yes	Healthy	Removed	-	8.2	-	-	-
309	12.2	Hercules-club	8	Yes	Healthy	Removed	-	12.2	-	-	-
310	5.1	gum bumelia	6	No	Healthy	Removed	-	5.1	-	-	-
311	6.7	Hercules-club	5	No	Healthy	Removed	-	6.7	-	-	-
383	11	sugarberry	8	No	Healthy	Removed	-	-	5.5	-	-
384	12.2	sugarberry	12	No	Healthy	Removed	-	-	6.1	-	-
385	11.6	sugarberry	15	No	Healthy	Removed	-	-	5.8	-	-
386	11	sugarberry	15	No	Healthy	Removed	-	-	5.5	-	-
387	42	sugarberry	25	No	Healthy	Removed	84.0	-	-	-	-
388	49	sugarberry	25	No	Healthy	Removed	98.0	-	-	-	-
389	13.3	sugarberry	14	No	Damaged	Preserved	-	-	-	-	-
390	7.2	Hercules-club	8	No	Healthy	Preserved	-	-	-	-	-
391	15.2	sugarberry	11	No	Damaged	Preserved	-	-	-	-	-
392	12.7	sugarberry	9	No	Healthy	Preserved	-	-	-	-	-
393	22.7	sugarberry	14	No	Healthy	Preserved	-	-	-	-	-
394	12.4	sugarberry	12	No	Healthy	Preserved	-	-	-	-	-
395	18.3	sugarberry	11	Yes	Healthy	Preserved	-	-	-	-	-
396	16.2	sugarberry	13	No	Healthy	Preserved	-	-	-	-	-

182.0	44.8	39.4	-	25.0
Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving

307.4	570.0	247.4	-	25.0
Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving
1,149.8				
Total Required Mitigation in Phase 2				

SPECIES	CLASSIFICATION
GREEN ASH	PRIMARY
CEDAR ELM	PRIMARY
GUM BUMELIA	PRIMARY
COMMON PERSIMMON	PRIMARY
AMERICAN ELM	PRIMARY
RED MULBERRY	PRIMARY
PECAN	PRIMARY
HERCULES-CLUB	PRIMARY
SUGARBERRY (HACKBERRY)	SECONDARY
EASTERN RED CEDAR	SECONDARY
COTTONWOOD	NON-PROTECTED
BLACK WILLOW	NON-PROTECTED
OSAGE-ORANGE	NON-PROTECTED
HONEY-LOCUST	NON-PROTECTED
JAPANESE PRIVET	NON-PROTECTED

TOTAL MITIGATION REQUIRED IN PHASE 2	1,149.8
TOTAL CREDITS PROVIDED	
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG FM-549	392.0
INCHES OF TREES CREDITED FROM PHASE 1 DEVELOPMENT	991.5
REMAINING MITIGATION REQUIRED IN PHASE 2	0.0

*233.7" PLANTED IN EXCESS OF MITIGATION REQUIREMENTS

BANNISTER
ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

HOMESTEAD DEVELOPMENT
FM 549/FM 1139
ROCKWALL, TEXAS
TREESCAPE PLAN TABLES - PH 2 (2 OF 2)

No.	Date	Revision Description
1	7-28-21	Address city comments 7.23.21



SHEET NUMBER
L-1.11

INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Henry Lee, *Planner*
DATE: August 10, 2021
SUBJECT: SP2021-023; *Amended Site Plan for 2235 S. Goliad Street*

The applicant, Rob Baldwin of Baldwin Associated LLC, is requesting the approval of an Amended Site Plan to convert an existing building with two (2) *Restaurants* [*Luby's and Fuddrucker's*] into a *Restaurant, Restaurant with a Drive-Through, and Medical Office*. The subject property is a 2.2297-acre parcel of land (*Lot 1, Block 11, Rockwall Centre Corners Addition*) located within the IH-30 Overlay (IH-30 OV) District, the SH-276 Overlay (SH-276 OV) District, the SH-205 Overlay (SH-205 OV) District, and addressed as 2235 S. Goliad Street. According to the Rockwall County Appraisal District (RCAD) currently situated on the subject property is 12,914 SF building that was constructed in 2014. The proposed site plan, building elevations, and landscape plan submitted by the applicant indicate that the following changes will be made to the subject property: [1] a four (4) foot projection on the northwest elevation will be constructed to add a pick-up window, [2] paint the brick black on the south corner of the building, [3] the addition of a drive-through, [4] a reduction of parking spaces from 142 to 127, and [5] additional landscaping on the rear of the property.

The submitted amended site plan conforms to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District, the IH-30 Overlay (IH-30 OV) District, the SH-276 Overlay (SH-276 OV) District, and the SH-205 Overlay (SH-205 OV) District. The proposed site plan indicates 15 less parking spaces than the existing site plan [*Case No. SP2013-020*]. The applicant has indicated the parking was removed due to the addition of the drive-through. Per the UDC, the parking required for the site is 114 spaces (*i.e. [6,785 SF/100] + [5,672 SF/200] + [68 seats/4] = 114*), which the applicant is providing 127; the two (2) *Restaurants* make up 6,785 SF and the *Medical Office* makes up 5,672 SF. The applicant has indicated the existing building is now going to have three (3) tenants instead of two (2). This additional tenant prompted the applicant to paint the brick black on the southern corner, creating three (3) identifiable storefronts. The proposed landscape plan includes additional landscaping behind the building, which was included to provide landscaping along the drive-through.

Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the August 10, 2021 Planning and Zoning Commission meeting.

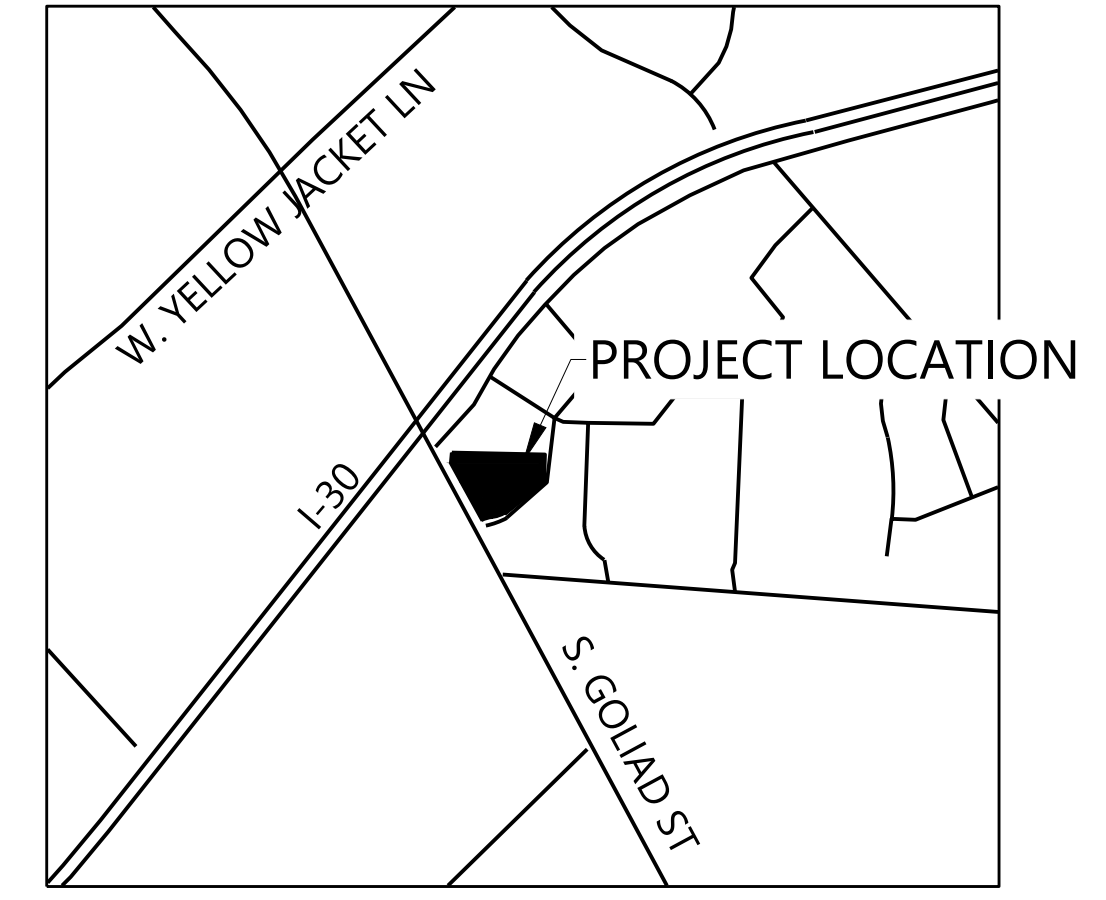
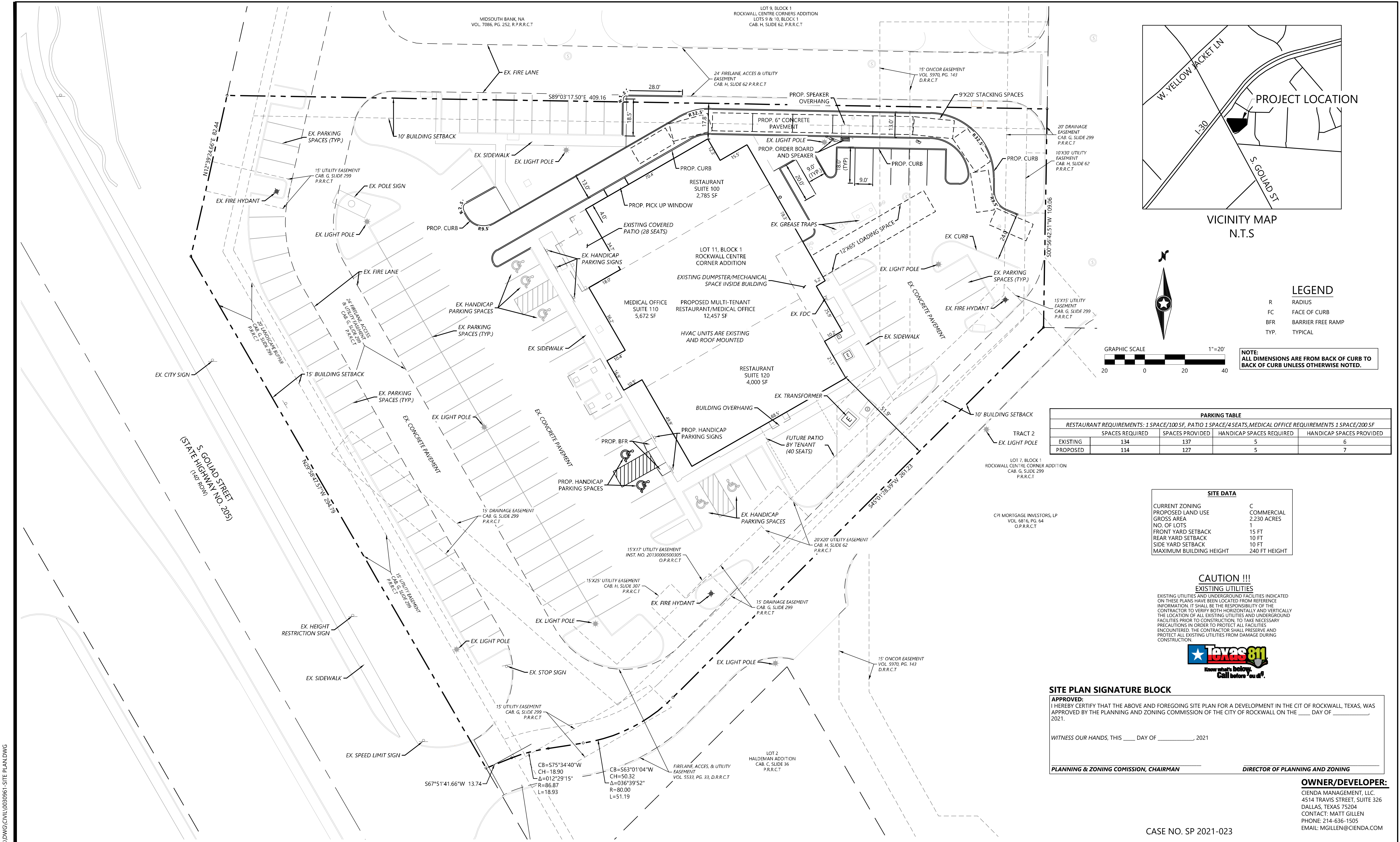


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP
N.T.S.



LEGEND

- R RADIUS
- FC FACE OF CURB
- BFR BARRIER FREE RAMP
- TYP. TYPICAL

NOTE:
ALL DIMENSIONS ARE FROM BACK OF CURB TO BACK OF CURB UNLESS OTHERWISE NOTED.

PARKING TABLE

RESTAURANT REQUIREMENTS: 1 SPACE/100 SF, PATIO 1 SPACE/4 SEATS, MEDICAL OFFICE REQUIREMENTS 1 SPACE/200 SF

	SPACES REQUIRED	SPACES PROVIDED	HANDICAP SPACES REQUIRED	HANDICAP SPACES PROVIDED
EXISTING	134	137	5	6
PROPOSED	114	127	5	7

SITE DATA

CURRENT ZONING	C
PROPOSED LAND USE	COMMERCIAL
GROSS AREA	2,230 ACRES
NO. OF LOTS	1
FRONT YARD SETBACK	15 FT
REAR YARD SETBACK	10 FT
SIDE YARD SETBACK	10 FT
MAXIMUM BUILDING HEIGHT	240 FT HEIGHT

CAUTION !!!
EXISTING UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION. TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____ 2021.

WITNESS OUR HANDS, THIS ____ DAY OF ____ 2021

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

OWNER/DEVELOPER:
CIENDA MANAGEMENT, LLC,
4514 TRAVIS STREET, SUITE 326
DALLAS, TEXAS 75204
CONTACT: MATT GILLEN
PHONE: 214-636-1505
EMAIL: MGILLEN@CIENDA.COM

CASE NO. SP 2021-023

N:\030961.001\PROJECT DATA\DWG\CIVIL\030961 - SITE PLAN.DWG

DESIGNED:	INITIAL ISSUE:
CHECKED:	REVISIONS:
DRAWN:	
HORIZONTAL SCALE:	
VERTICAL SCALE:	

PREPARED FOR:
CIENDA MANAGEMENT, LLC.
4514 TRAVIS STREET, SUITE 326
DALLAS, TEXAS 75204

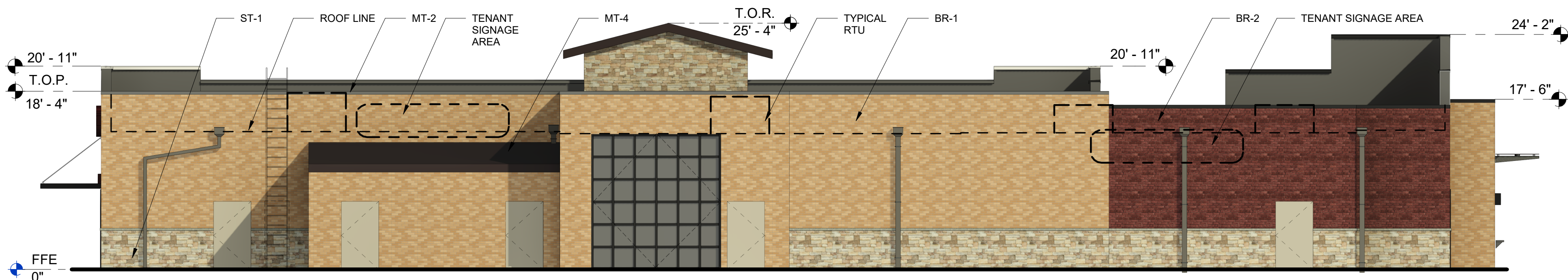
PRELIMINARY
FOR INTERIM REVIEW ONLY
NOT TO BE USED FOR:
CONSTRUCTION OR
BIDDING PURPOSES.
Engineer: **KLIN W. SMITH, P.E.**
P.E. No.: 96877
Date: 08-02-2021

2335 S. GOLIAD RETAIL
ROCKWALL, TEXAS

Westwood
Phone (214) 473-4640 2901 Dallas Parkway, Suite 400
Toll Free (888) 937-5150 Plano, TX 75093
westwoodps.com

Westwood Professional Services, Inc.
TYPE FIRM REGISTRATION NO. F-11752
TSPS FIRM REGISTRATION NO. 10074301

SHEET NUMBER:	SP-1
DATE:	



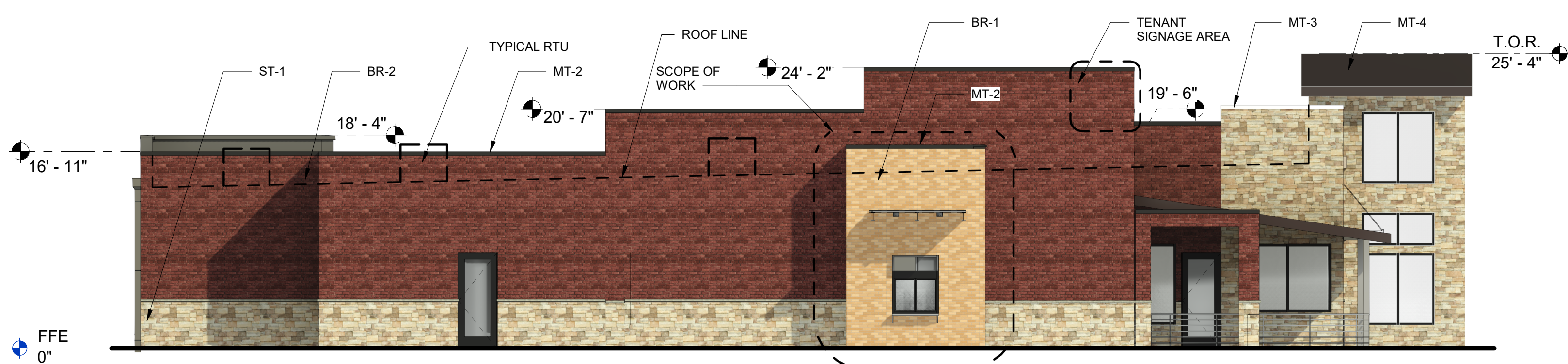
MATERIAL SCHEDULE			
P-1	SW6258 TRICORN BLACK PAINT OVER EXISTING BRICK		
P-2	SW6868 REAL RED PAINT OVER EXISTING EIFS		
MT-1	BLACK ANONIZED ALUMINIUM STOREFRONT		
MT-2	COPING METAL / PAC-CLAD - BLACK		
MT-3	COPING METAL / PAC-CLAD - CREAM		
MT-4	STANDING SEAM - DARK BRONZE - EXISTING		
EIFS-1	COLOR AS SHOWN		
BR-1	TAN BRICK		
BR-2	RED BRICK		
ST-1	STONE BLEND		

MATERIAL TOTALS		
BRICK	5356 SF	59.3%
STONE	2404 SF	26.6%
EIFS	145 SF	1.6%
TOTAL WITHOUT GLAZING	7905 SF	
GLAZING	1125 SF	12.5%
TOTAL WITH GLAZING	9030 SF	100%

4 NORTHEAST ELEVATION

1/8" = 1'-0"

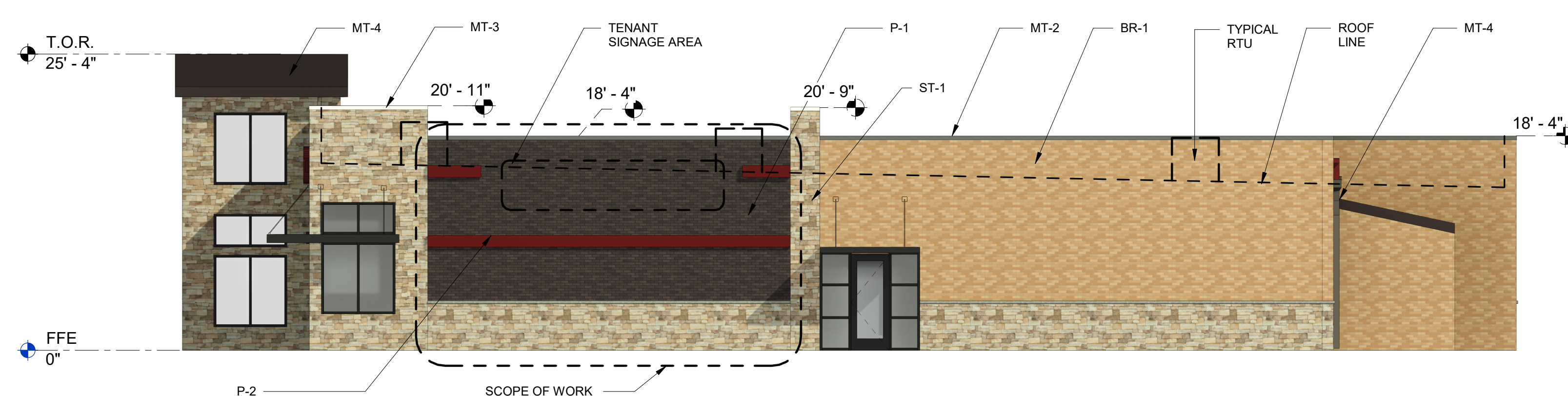
NORTHEAST		
BRICK	1763 SF	80.6%
STONE	425 SF	19.4%
TOTAL SF	2118 SF	100%



3 NORTHWEST ELEVATION

1/8" = 1'-0"

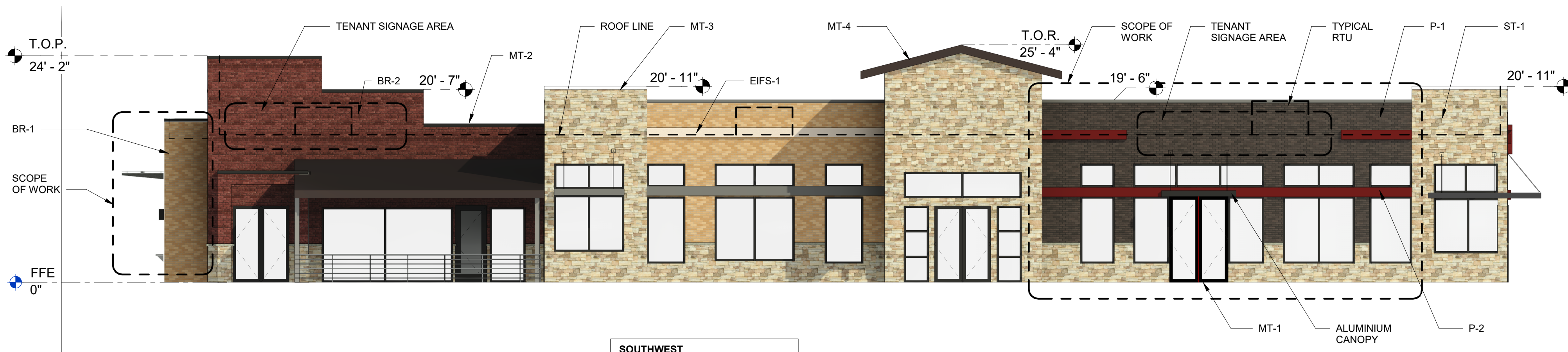
NORTHWEST		
BRICK	1413 SF	70.2%
STONE	599 SF	29.8%
TOTAL SF	2012 SF	100%



2 SOUTHEAST ELEVATION

1/8" = 1'-0"

SOUTHEAST		
BRICK	1224 SF	65.3%
STONE	612 SF	32.8%
EIFS	39 SF	2.1%
TOTAL SF	1875 SF	100%



1 SOUTHWEST ELEVATION (FACES PUBLIC R.O.W.)

1/8" = 1'-0"

SOUTHWEST		
BRICK	956 SF	52.2%
STONE	768 SF	42%
EIFS	107 SF	5.8%
TOTAL SF	1831 SF	100%

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, 2021.

WITNESS OUR HANDS, THIS ____ DAY OF _____, 2021

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

OWNER/DEVELOPER:
CIENDA PARTNERS, LP
4514 TRAVIS ST., SUITE 326
DALLAS, TX 75205
CONTACT: MATT GILLEN
PH: 214-269-1641
EMAIL: MGILLEN@CIENDA.COM

2235 S. GOLIAD ST. RETAIL
ROCKWALL CENTRE CORNERS ADDITION, LOT 11, BLOCK 1
ROCKWALL, ROCKWALL COUNTY, TEXAS
2.230 ACRES (97,126 SF)
COMMERCIAL - C

ARCHITECT:
GFF
2808 FAIRMOUNT ST., SUITE 300
DALLAS, TX 75201
CONTACT: GRANT WICKARD
PH: 214-303-1500
EMAIL: GRANT.WICKARD@GFF.COM
DATE OF PREPARATION: 07/16/2021

CASE # SP2021-023

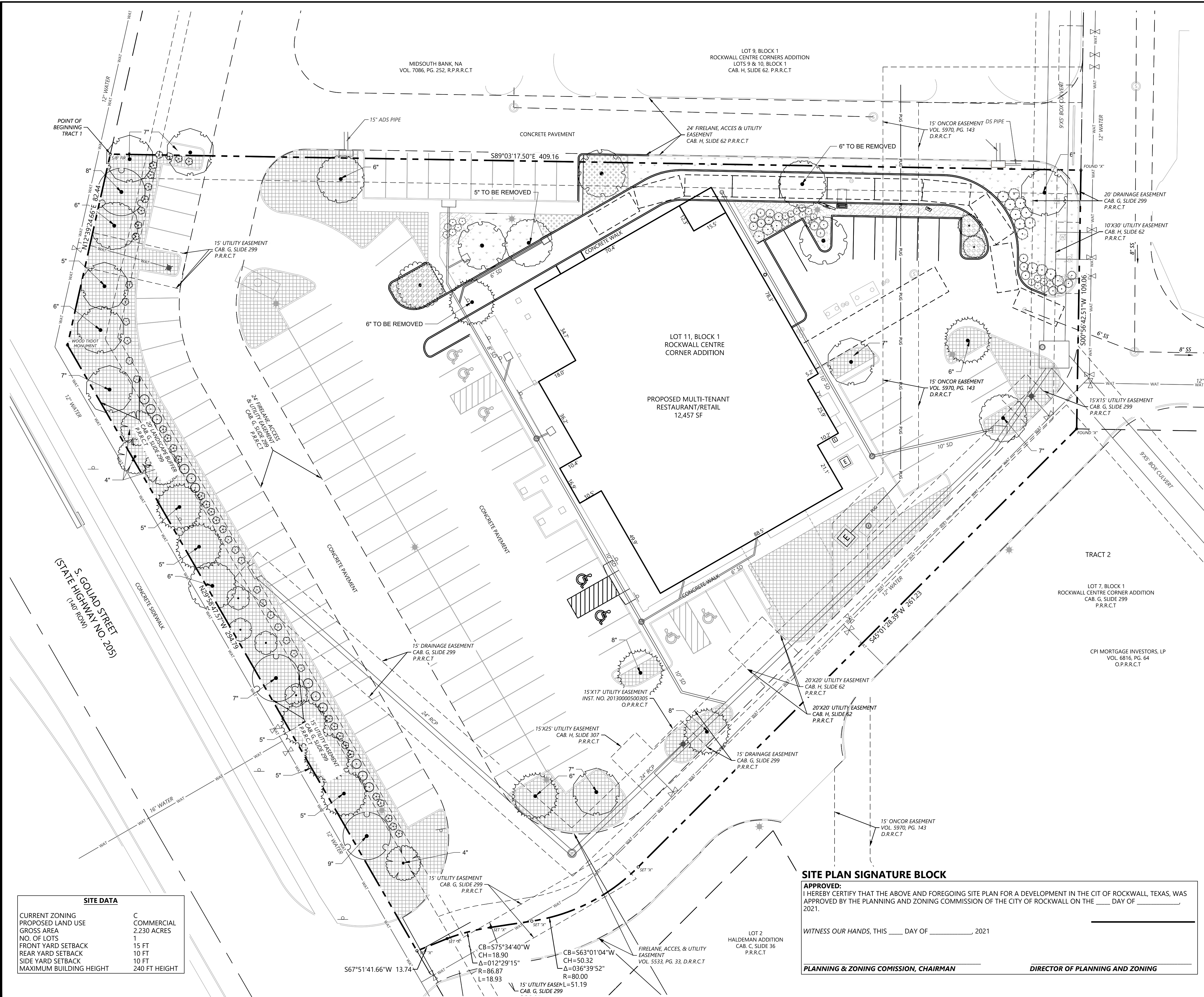
BUILDING ELEVATIONS

LUBY'S ROCKWALL, 2335 S. Goliad St
Rockwall, Texas

Job #: 21015
Date: 07/16/21
Drawn by: DE / JJ

Scale: 1/8" = 1'-0"
File Name: BIM 360://21015 - Luby's Rockwall/21015_Luby's_Rockwall_A21.rvt
Not for regulatory approval, permitting, or construction





VICINITY MAP: N.T.S.

PROJECT LOCATION

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION. TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

Texas 811
Know what's below. Call before you dig.

GRAPHIC SCALE 1"=20'

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT
	EX. CERCIS CANADENSIS / EXISTING EASTERN REDBUD MULTI-TRUNK	EXISTING
	EX. MYRICA CERIFERA / EXISTING WAX MYRTLE	EXISTING
	EX. PINUS SPP / EXISTING ELДАРICA PINE	EXISTING
	EX. QUERCUS MACROCARPA / EXISTING BURR OAK	EXISTING
	EX. QUERCUS VIRGINIANA / EXISTING SOUTHERN LIVE OAK	EXISTING
	EX. ULMUS CRASSIFOLIA / EXISTING CEDAR ELM EXISTING CEDAR ELM TO REMAIN	EXISTING
	MYRICA CERIFERA / WAX MYRTLE CONTAINER GROW, MATCHING 4' HEIGHT, MULTI-TRUNKED FULL, 4' SPREAD	4' HT.
	QUERCUS MACROCARPA / BURR OAK	4" CALIPEF
	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK SINGLE TRUNK, FULL, 6' SPREAD	4" CALIPEF
SHRUBS	BOTANICAL / COMMON NAME	CONT
	ABELIA X GRANDIFLORA / GLOSSY ABELIA	5 GAL
	EX. ILEX CORNUTA 'BURFORDII NANA' / EXISTING DWARF BURFORD HOLLY	EXISTING
	EX. MISCANTHUS CAPENSIS / EXISTING SILVERGRASS	EXISTING
	EX. ROSA SP. "RED" / DOUBLE KNOCK OUT ROSE	EXISTING
	MISCANTHUS CAPENSIS / SILVERGRASS	5 GAL
	ROSA SP. "RED" / DOUBLE KNOCK OUT ROSE	5 GAL
SHRUB AREAS	BOTANICAL / COMMON NAME	CONT
	HEMEROCALLIS X ORANGE / DAY LILY 'ORANGE' FULL POTS	5 GAL
GROUND COVERS	BOTANICAL / COMMON NAME	CONT
	CYNODON DACTYLON / BERMUDA GRASS	N/A
	LANTANA X 'NEW GOLD' / NEW GOLD LANTANA FULL POTS, AT LEAST 3 RUNNERS PER POT. RUNNERS MUST BE 8" IN LENGTH	5 GAL
	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF	5 GAL

SITE DATA

CURRENT ZONING	C COMMERCIAL
PROPOSED LAND USE	2,230 ACRES
NO. OF LOTS	1
FRONT YARD SETBACK	15 FT
REAR YARD SETBACK	10 FT
SIDE YARD SETBACK	10 FT
MAXIMUM BUILDING HEIGHT	240 FT HEIGHT

SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____ 2021.

WITNESS OUR HANDS, THIS ____ DAY OF ____ 2021

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
	EXISTING LANDSCAPE: CONTRACTOR TO PROTECT IN PLACE. ANY PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH EXISTING SPECIES AND SIZE AT NO COST TO OWNER
	3/8" MINUS DECOMPOSED GRANITE - COLOR: GOLD 3" DEPTH WEED BARRIER TO BE INSTALLED UNDERNEATH GRANITE

IRRIGATION SYSTEM IS EXISTING. THE NEW CONSTRUCTION WILL MEET REQUIREMENTS OF UDC.

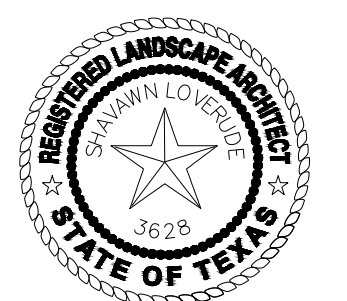
OWNER/DEVELOPER:
CIENDA MANAGEMENT, LLC.
4514 TRAVIS STREET, SUITE 326
DALLAS, TEXAS 75204
CONTACT: MATT GILLEN
PHONE: 214-636-1505
EMAIL: MGILLEN@CIENDA.COM

N:\030961.001\PROJECT DATA\DWG\CIVIL\030961-LA-PT.DWG

DESIGNED: _____
CHECKED: _____
DRAWN: _____
HORIZONTAL SCALE: _____
VERTICAL SCALE: _____

INITIAL ISSUE: _____
REVISIONS: _____

PREPARED FOR:
CIENDA MANAGEMENT, LLC.
4514 TRAVIS STREET, SUITE 326
DALLAS, TEXAS 75204



NOT FOR CONSTRUCTION

2335 S. GOLIAD RETAIL
ROCKWALL, TEXAS

Westwood
Phone (214) 473-4640 2901 Dallas Parkway, Suite 400
Toll Free (888) 937-5150 Plano, TX 75093
westwoodps.com
Westwood Professional Services, Inc.
TPE FIRM REGISTRATION NO. F-11752
TPLS FIRM REGISTRATION NO. 10074301

LANDSCAPE PLAN

SHEET NUMBER: 6.01
DATE: _____

LANDSCAPE NOTES

- CONTRACTOR SHALL CONTACT UNDERGROUND UTILITY LOCATORS TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
- ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE ONE YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PLANTS TO BE INSTALLED AS PER CITY & ANSI STANDARD PLANTING PRACTICES. CITY STANDARDS OVERRIDE OTHER NOTES, UNLESS APPROVED OTHERWISE.
- PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
- PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
- OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
- PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
- STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
- THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING AND PER CONTRACTORS COST. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR OF ANY SOIL AMENDMENTS ADDED.
- TOPSOIL AND PLANTING SOIL TO ADHERE TO INDUSTRY STANDARDS AND FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH PLANTING SOIL FOR TREE, SHRUBS, AND PERENNIALS. SCARIFY AND LOOSEN COMPACTED SUBGRADE UNDER PLANTING BEDS, BELOW PLANTING SOIL.
- CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
- REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY DISTURBED AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
- ALL LANDSCAPED AREAS SHALL HAVE FULLY AUTOMATED UNDERGROUND IRRIGATION SYSTEM AS INSTALLED BY A LICENSED LANDSCAPE IRRIGATION CONTRACTOR.
- LAWN AREAS SHALL BE COVERED WITH GRASS TYPE AS SPECIFIED USING HYDROMULCH.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM TREE CALIPER MEASUREMENT HEIGHT ABOVE GRADE AS REQUIRED BY CITY.
- PLANT SIZE, TYPE, AND CONDITION SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
- CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL PROJECT ACCEPTANCE.
- CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MAINTENANCE SCHEDULE OF ALL PLANTS AND LAWNS.
- MAINTAIN/PROTECT VISIBILITY TRIANGLE WITH PLANT MATERIAL PER CITY STANDARDS AT ALL ENTRANCES TO SITE.
- CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES. INCLUDING BUT NOT LIMITED TO TELEPHONE, TELECABLE, ELECTRIC, GAS, WATER AND SEWER. ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER.
- AT TIME OF PLAN PREPARATION, SEASONAL PLANT AVAILABILITY CANNOT BE DETERMINED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE AND RESERVE ALL B&B PLANTS WHEN AVAILABLE IN CASE ACTUAL INSTALLATION OCCURS DURING THE OFF-SEASON. PURCHASE AND HOLD B&B PLANTS FOR LATE SEASON INSTALLATION.
- TURF AND GROUNDCOVER PLANTED IN REQUIRED LANDSCAPE AREA SHALL ATTAIN 100 PERCENT COVERAGE WITHIN ONE YEAR OF PLANTING.
- SHADED GROUND AREAS BENEATH CANOPY TREES SHALL BE MAINTAINED WITH A MULCH BED.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING TOWN IRRIGATION SYSTEMS.
- ANY EXISTING IRRIGATION (RAW WATER LINE/PURPLE PIPE) IN PUBLIC ROW SHALL BE RESTORED TO ITS ORIGINAL CONDITION.
- PROVIDE IRRIGATION TO ALL PLANTED AREAS WITHIN PROJECT BOUNDARY AND TO LANDSCAPE AREAS TO THE SOUTH AND WEST ALONG ROADWAY AS DEFINED BY 'LIMITS OF IRRIGATION'. TEMPORARY IRRIGATION SHOULD BE PLACED TO COVER FUTURE WAREHOUSE SITE UNTIL FINAL BUILDING IS CONSTRUCTED AND PERMANENT LANDSCAPING AND IRRIGATION IS PLACED.
- DISTURBED LANDSCAPE AREAS TO BE FIELD VERIFIED AND SEEDED WITH BERMUDA HYDROMULCH OR EQUAL OR WHAT PREVIOUSLY EXISTED.

GRADING NOTES

- CONTRACTOR SHALL FINE GRADE AREAS PRIOR TO PLANTING. FINE GRADING SHALL INCLUDE THE REMOVAL OF DEBRIS, ROCKS LARGER THAN 2", ETC. FROM THE SITES, AND ENSURE POSITIVE DRAINAGE.
- PLANTER BACKFILL MIX SHALL BE AS PER SPECIFICATIONS.
- THE CONTRACTOR SHALL MEET EXISTING GRADES UNIFORMLY WITH A SMOOTH TRANSITION AT PROJECT BOUNDARIES. FINISH GRADES SHALL BE AS INDICATED ON THE PLANS WHERE SHOWN IN PLAN OR DETAIL CROSS-SECTION. NO SEPARATION BETWEEN FINISHED GRADE AND ADJACENT GRADE ELEVATION IS ACCEPTABLE. CONSTRUCTED SURFACES ARE TO MEET ADJACENT EXISTING WORK AT THE SAME ELEVATION AND CONFORM TO STANDARDS AND PRACTICES RELATED TO SAFE AND ACCESSIBLE PEDESTRIAN WALKWAYS. FINISH GRADES SHALL BE 1/2" BELOW THE TOP TRANSITION OF ADJACENT WALKS AND HEADERS UNLESS OTHERWISE NOTED ON PLANS.
- THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM EXISTING STRUCTURES SUCH AS BUILDINGS, WALLS, UTILITY EQUIPMENT, ETC.
- LANDFORMS, MOUNDS, AND SWALES SHALL BE GRADED TO A SMOOTH, FLOWING, ROUNDED SURFACE PROVIDING POSITIVE DRAINAGE AND VISUAL LANDFORM CONTINUITY. ROUGH GRADE IS TO BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE TOP DRESSING TO ESTABLISH FINAL GRADE.
- CONTRACTOR SHALL FINE GRADE AND COVER AREAS DISTURBED BY CONSTRUCTION WITH AN APPROVED TOP DRESSING AS SPECIFIED IN THE PLANS OR SPECIFICATIONS.

OWNER/DEVELOPER:

CIENDA MANAGEMENT, LLC.
4514 TRAVIS STREET, SUITE 326
DALLAS, TEXAS 75204
CONTACT: MATT GILLEN
PHONE: 214-636-1505
EMAIL: MGILLEN@CIENDA.COM

PLANTING NOTES

- TREES AND OTHER PLANT MATERIAL SHALL CONFORM TO GRADE, TYPE, ETC. AS SET FORTH IN THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL BRANCHED, AND DENSELY FOLIATED (WHEN IN LEAF) AS IS TYPICAL FOR THE SPECIES. THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS (NOT POT BOUND); A NORMAL HABIT OF GROWTH CONSISTENT WITH INDUSTRY STANDARDS; AND BE FREE OF BRUISES, CUTS, OR OTHER ABNORMALITIES.
- QUANTITIES SHOWN ON PLANT LIST ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLAN AND QUANTITIES SHOWN ON THE PLANT LIST, THE PLAN SHALL GOVERN.
- NO PLANT SUBSTITUTIONS OR TYPE, SIZE, OR QUANTITY DEVIATIONS FROM THE APPROVED LANDSCAPE PLANS ARE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT SATISFY THE INTENT OF THE LANDSCAPE DESIGN BASED ON SIZE, SHAPE, EVIDENCE OF STRESS, OR IMPROPER CARE BOTH AT THE NURSERY AND ON THE SITE FOLLOWING DELIVERY, UNLOADING OF PLANT MATERIAL, AND PLANTING.
- PROTECTED PLANT MATERIAL THAT IS DESTROYED OR DIES DURING CONSTRUCTION OR THE MAINTENANCE PERIOD WILL BE REPLACED WITH A PLANT OF THE SAME SIZE AND TYPE BY THE RESPONSIBLE PARTY A MINIMUM OF 90 DAYS BEFORE THE COMPLETION OF THE PROJECT. REPLACEMENT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
- PLANT MATERIALS BEST SIDE SHALL BE ALIGNED TO THE WALKS, PEDESTRIAN AREAS, ROADS, AND PARKING AREAS UNLESS OTHERWISE SHOWN ON THESE PLANS. SPACING SHALL BE ADJUSTED AS NECESSARY, SUBJECT TO REVIEW BY LANDSCAPE ARCHITECT.
- PLANTINGS AT MATURITY SHALL MAINTAIN 6'-0" CLEARANCE AROUND FIRE HYDRANTS AND FIRE SUPPRESSION DEVICES.
- PLANTINGS SHALL NOT INTERFERE WITH TRAFFIC CONTROL SIGNS AND SHALL MAINTAIN A MAXIMUM HEIGHT OF 2'-6" WITHIN SIGHT DISTANCE TRIANGLES.
- TREES SHALL MAINTAIN A MINIMUM 6'-0" CLEARANCE FROM PUBLIC WATER OR SEWER LINES. PLANTINGS SHALL MAINTAIN A SUFFICIENT DISTANCE TO SANITARY AND STORM SEWER MANHOLES TO ALLOW ACCESS BY MAINTENANCE VEHICLES.
- SHRUBS SHALL BE INSTALLED FROM BACK OF CURB, EDGE OF WALK, OR EDGE OF PAVING A MINIMUM OF 2' AT MATURE SIZE.
- PLANT MATERIAL LOCATIONS SHALL BE STAKED IN THE FIELD BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE IRRIGATION SYSTEM IS TO BE FULLY OPERATIONAL AND EFFECTIVE PRIOR TO THE INSTALLATION OF PLANT MATERIAL.
- PROJECT REQUIRES A 120-DAY MAINTENANCE PERIOD TO BEGIN AT THE DATE OF SUBSTANTIAL COMPLETION AS DETERMINED BY THE OWNER.
- TREES PLANTED WITHIN FIVE FEET OF RETAINING WALLS, AND WITHIN TEN FEET OF PUBLIC IMPROVEMENTS, IN THE PUBLIC RIGHT-OF-WAY, SHALL BE PROTECTED BY ROOT GUARDS AND APPROPRIATE TREE PROTECTION FOR NO LESS THAN TWO YEARS.
- INSTALL APPROVED IMPORTED PLANTING MIX TO MIN DEPTH OF 6" IN ALL AREAS SCHEDULED AS LANDSCAPE PLANTING AREAS.
- INSTALL APPROVED IMPORTED TOPSOIL TO 4" DEPTH IN ALL TURFGRASS AREAS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN THE FIELD PRIOR TO INSTALLATION MUST REPORT ANY DEVIATION IN SITE CONDITIONS TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORK IN THE AFFECTED AREA.
- WHERE SHOWN ON THESE PLANS, UTILITY INFORMATION IS PROVIDED FOR REFERENCE ONLY. REFERENCE CIVIL AND MEP PLANS FOR ALL UTILITY INFORMATION.
- VERIFY LOCATION AND DEPTH OF ALL EXISTING AND PROPOSED UTILITIES PRIOR TO ANY EXCAVATION. IN THE EVENT OF POTENTIAL CONFLICTS OCCUR BETWEEN UTILITIES AND LANDSCAPE IMPROVEMENTS, IMMEDIATELY CEASE WORK IN THE AFFECTED AREA, REPORT THE CONFLICT TO THE OWNER'S REPRESENTATIVE AND DO NOT PROCEED UNTIL RECEIPT OF SPECIFIC WRITTEN DIRECTION.

GENERAL NOTES

- NOTHING CONTAINED IN THE CONTRACT DOCUMENTS SHALL CREATE, NOR SHALL BE CONSTRUED TO CREATE A CONTRACTUAL RELATIONSHIP BETWEEN THE LANDSCAPE ARCHITECT AND THE CONTRACTOR OR SUBCONTRACTOR.
- THE OWNER AND THEIR REPRESENTATIVE ARE NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR FOR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK. THE OWNER AND THEIR REPRESENTATIVE SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PROVIDE LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL THE WORK INDICATED ON THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CAREFUL SITE INSPECTION, DETAILED REVIEW OF THE PLANS, SEQUENCING, AND COORDINATION WITH OTHER CONTRACTORS ON SITE PRIOR TO INSTALLATION. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER IN WRITING IMMEDIATELY. EQUIPMENT AND MATERIALS NOT SHOWN OR SPECIFIED ON THE PLANS BUT REQUIRED TO COMPLETE THIS INSTALLATION SHALL BE SUPPLIED BY THE CONTRACTOR AS A PART OF THIS CONTRACT WORK.
- THE CONTRACTOR SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL LAWS, CODES, AND REGULATIONS APPLICABLE TO THE WORK COVERED BY THESE PLANS AND SPECIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, STORM WATER POLLUTION PREVENTION PLAN PERMITTING AND COMPLYING WITH LOCAL CODES GOVERNING DUST CONTROL, HOURS OF OPERATION, AND SAFETY MEASURES.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH PERMITS REQUIRED TO COMPLETE THE WORK COVERED BY THESE PLANS.
- THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INSTALLATION CONDITIONS.
- THE CONTRACTOR SHALL LOCATE SURVEY MARKS, INCLUDING BENCH MARKS AND PROPERTY LINES, IN ORDER THAT THE EXACT LINES OF CONSTRUCTION LIMITS MAY BE DETERMINED.
- THE CONTRACTOR SHALL PROTECT EXISTING OR TEMPORARY TOPOGRAPHIC TRAVERSE POINTS AND BENCH MARKS UNTIL THE CONSTRUCTION BENCH MARKS AND BASELINES ARE ESTABLISHED AND REFERENCED BY THE CONTRACTOR. PROJECT CONTROL POINTS, WHICH MAY BE LOST OR DESTROYED SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL VERIFY BUILDING SETBACK LINES, RIGHT-OF-WAY LINES, EASEMENT LINES, VISIBILITY LINES, ETC., IN THE FIELD. THE CONTRACTOR SHALL REPORT DISCREPANCIES TO THE OWNER IN WRITING PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONFIRM BOUNDARY LOCATION WITH THE OWNER. NEED FOR WORK OUTSIDE THE LIMIT OF WORK BOUNDARY SHALL BE CONFIRMED BY THE OWNER PRIOR TO PERFORMING WORK OUTSIDE THE LIMIT OF WORK BOUNDARY.
- PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH THE LOCATIONS OF UTILITIES, PIPES, AND STRUCTURES. THE OWNER ASSUMES NO RESPONSIBILITY FOR THE UTILITIES OR STRUCTURES NOT SHOWN, OR NOT IN THE LOCATION SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COSTS INCURRED DUE TO DAMAGES TO SAID UTILITIES CAUSED AS A RESULT OF THE CONTRACTOR'S WORK. FORTY-EIGHT HOURS PRIOR TO START OF CONSTRUCTION THE CONTRACTOR SHALL CALL 811 TO VERIFY LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY THIS WORK. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING OVER OR NEAR EXISTING GAS MAINS, SEWER LINES, WATER LINES, COMMUNICATION LINES, AND ELECTRICAL LINES. IF UNDERGROUND OR ABOVE GROUND CONSTRUCTION IS LOCATED AS TO SIGNIFICANTLY HINDER INSTALLATION OR FUNCTION OF THE WORK, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
- THE CONTRACTOR SHALL VERIFY CONDITIONS AT THE JOB SITE AND NOTIFY THE OWNER OF DIMENSIONAL ERRORS, OMISSIONS, OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING WORK. DO NOT SCALE DRAWINGS. CONTRACTOR IS RESPONSIBLE TO OBTAIN CLARIFICATION BEFORE PROCEEDING FURTHER WITH OTHER RELATED WORK. DISCREPANCIES FOUND BETWEEN PLAN DIMENSIONS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER. WRITTEN DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS.
- THE CONTRACTOR SHALL VERIFY QUANTITIES. IN CASE OF DISCREPANCIES, GRAPHICALLY SHOWN QUANTITIES SHALL TAKE PRECEDENCE. THE CONTRACTOR SHALL NOTIFY THE OWNER OF DISCREPANCIES.
- THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE. SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR RECONSTRUCTED SATISFACTORILY TO REQUIRED STANDARDS AND THE OWNER AT NO EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPENSATING THE OWNER FOR ADDITIONAL COORDINATION AND/OR DESIGN CHANGES DUE TO ERRORS, FAULTY MATERIAL, OR FAULTY WORKMANSHIP.
- THE CONTRACTOR SHALL FINE GRADE AREAS DISTURBED DURING CONSTRUCTION. UNDISTURBED AREAS DAMAGED OR DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND APPROPRIATE DISPOSAL OFFSITE OF CLEARED VEGETATION, DEBRIS, CONSTRUCTION WASTE, ETC. FROM THE SITE.
- THE JOB SITE, AT THE COMPLETION OF THE CONSTRUCTION AND PRIOR TO FINAL REVIEW, SHALL BE CLEARED OF DEBRIS OR SPOIL RESULTING FROM THE CONSTRUCTION.
- MATERIALS REQUIRED SHALL BE OF A GRADE AND QUALITY SPECIFIED AND CONSISTENT WITH ACCEPTED INDUSTRY STANDARDS.
- THE CONTRACTOR SHALL PROVIDE OWNER WITH WARRANTY INFORMATION, INSTRUCTION MANUALS AND OTHER PRODUCT INFORMATION FOR NEW EQUIPMENT OR MACHINERY INSTALLED PRIOR TO THE REQUEST FOR SUBSTANTIAL COMPLETION REVIEW BY THE OWNER OR THEIR REPRESENTATIVE.

SITE DATA	
CURRENT ZONING	C
PROPOSED LAND USE	COMMERCIAL
GROSS AREA	2,230 ACRES
NO. OF LOTS	1
FRONT YARD SETBACK	15 FT
REAR YARD SETBACK	10 FT
SIDE YARD SETBACK	10 FT
MAXIMUM BUILDING HEIGHT	240 FT HEIGHT

IMPERVIOUS VS LANDSCAPE	
PERVIOUS AREA	19,578 SQ FT
IMPERVIOUS AREA	97,138 SQ FT
PERCENTAGE	20.15%



**CAUTION !!!
EXISTING UTILITIES**

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION. TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT
	EX. CERCIS CANADENSIS / EXISTING EASTERN REDBUD MULTI-TRUNK	EXISTING
	EX. MYRICA CERIFERA / EXISTING WAX MYRTLE	EXISTING
	EX. PINUS SPP / EXISTING ELДАРICA PINE	EXISTING
	EX. QUERCUS MACROCARPA / EXISTING BURR OAK	EXISTING
	EX. QUERCUS VIRGINIANA / EXISTING SOUTHERN LIVE OAK	EXISTING
	EX. ULMUS CRASSIFOLIA / EXISTING CEDAR ELM EXISTING CEDAR ELM TO REMAIN	EXISTING
	MYRICA CERIFERA / WAX MYRTLE CONTAINER GROW, MATCHING 4' HEIGHT, MULTI-TRUNKED FULL, 4' SPREAD	4" HT.
	QUERCUS MACROCARPA / BURR OAK	4" CALIPER
	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK SINGLE TRUNK, FULL, 6' SPREAD	4" CALIPER
SHRUBS	BOTANICAL / COMMON NAME	CONT
	ABELIA X GRANDIFLORA / GLOSSY ABELIA	5 GAL
	EX. ILEX CORNUTA 'BURFORDII NANA' / EXISTING DWARF BURFORD HOLLY	EXISTING
	EX. MISCANTHUS CAPENSIS / EXISTING SILVERGRASS	EXISTING
	EX. ROSA SP."RED" / DOUBLE KNOCK OUT ROSE	EXISTING
	MISCANTHUS CAPENSIS / SILVERGRASS	5 GAL
	ROSA SP."RED" / DOUBLE KNOCK OUT ROSE	5 GAL
SHRUB AREAS	BOTANICAL / COMMON NAME	CONT
	HEMEROCALLIS X ORANGE / DAY LILY 'ORANGE' FULL POTS	5 GAL
GROUND COVERS	BOTANICAL / COMMON NAME	CONT
	CYNODON DACTYLON / BERMUDA GRASS	N/A
	LANTANA X 'NEW GOLD' / NEW GOLD LANTANA FULL POTS, AT LEAST 3 RUNNERS PER POT. RUNNERS MUST BE 8" IN LENGTH	5 GAL
	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF	5 GAL
SYMBOL	DESCRIPTION	
	EXISTING LANDSCAPE: CONTRACTOR TO PROTECT IN PLACE. ANY PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH EXISTING SPECIES AND SIZE AT NO COST TO OWNER	
	3/8" MINUS DECOMPOSED GRANITE - COLOR: GOLD 3" DEPTH WEED BARRIER TO BE INSTALLED UNDERNEATH GRANITE	

IRRIGATION SYSTEM IS EXISTING. THE NEW CONSTRUCTION WILL MEET REQUIREMENTS OF UDC.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, 2021.

WITNESS OUR HANDS, THIS ____ DAY OF _____, 2021

PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING AND ZONING _____

N:\03\0961.001\PROJECT DATA\DWG\CIVIL\003\0961-LA-PT.DWG

DESIGNED: _____
CHECKED: _____
DRAWN: _____
HORIZONTAL SCALE: _____
VERTICAL SCALE: _____

INITIAL ISSUE: _____
REVISIONS: _____

PREPARED FOR:
CIENDA MANAGEMENT, LLC.
4514 TRAVIS STREET, SUITE 326
DALLAS, TEXAS 75204



NOT FOR CONSTRUCTION

2335 S. GOLIAD RETAIL
ROCKWALL, TEXAS

Westwood

Phone (214) 473-4640 2901 Dallas Parkway, Suite 400
Toll Free (888) 937-5150 Plano, TX 75093
westwoodps.com

Westwood Professional Services, Inc.
TBE FIRM REGISTRATION NO. F-11752
TBE FIRM REGISTRATION NO. 18074301

LANDSCAPE NOTES

SHEET NUMBER:

6.00

DATE:



GENERAL NOTES:

A. FIXTURE TYPE 'A' TO BE KIRLIN MODEL LSR-12484-1500L-120-41K-37-80 AND BE MOUNTED TO UNDERSIDE OF CANOPY AT NEW DRIVE THRU WINDOW. ALL OTHER LIGHTING ON SITE IS EXISTING TO REMAIN.

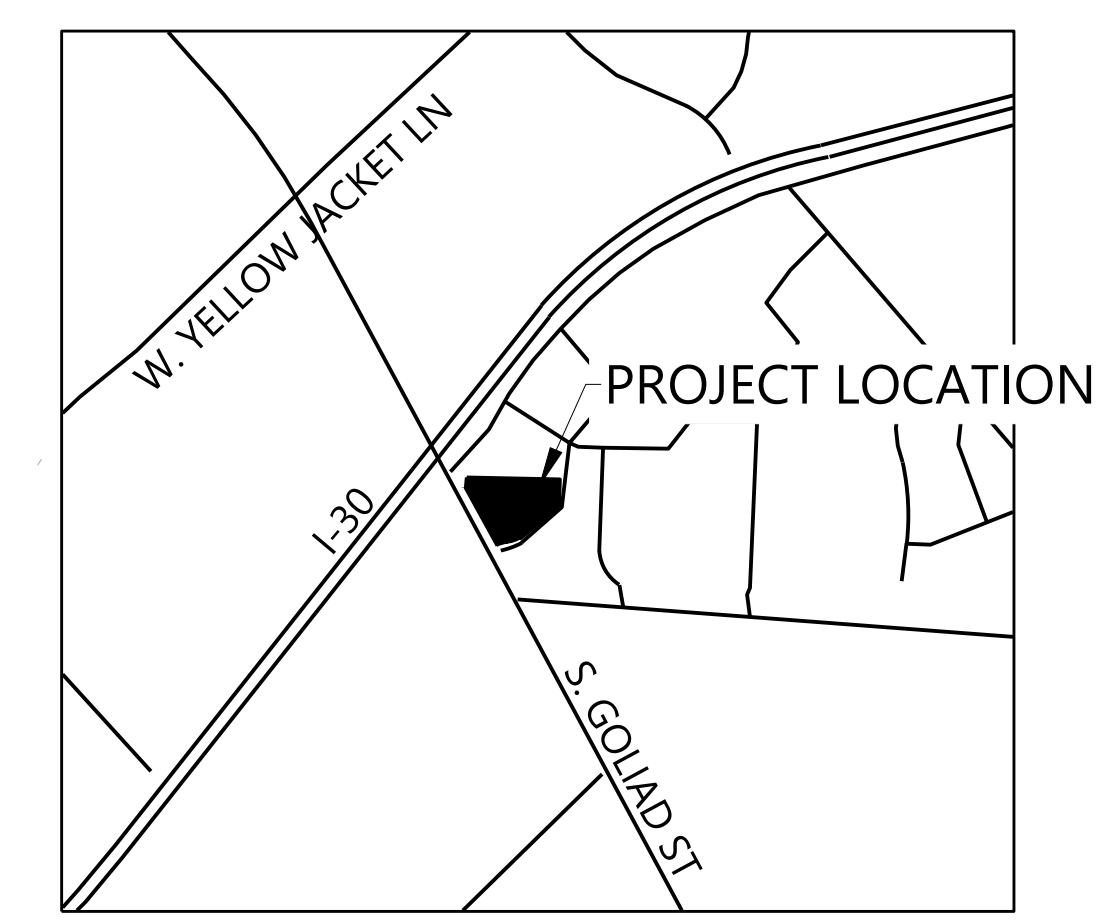
SITE DATA

CURRENT ZONING	C
PROPOSED LAND USE	COMMERCIAL
GROSS AREA	2,230 ACRES
NO. OF LOTS	1
FRONT YARD SETBACK	15 FT
REAR YARD SETBACK	10 FT
SIDE YARD SETBACK	10 FT
MAXIMUM BUILDING HEIGHT	240 FT HEIGHT

PARKING TABLE

RESTAURANT REQUIREMENTS: 1 SPACE/100 SF, PATIO 1 SPACE/4 SEATS, MEDICAL OFFICE REQUIREMENTS 1 SPACE/200 SF

	SPACES REQUIRED	SPACES PROVIDED	HANDICAP SPACES REQUIRED	HANDICAP SPACES PROVIDED
EXISTING	134	137	5	6
PROPOSED	114	127	5	7



VICINITY MAP
N.T.S

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, 2021.

WITNESS OUR HANDS, THIS ____ DAY OF _____, 2021

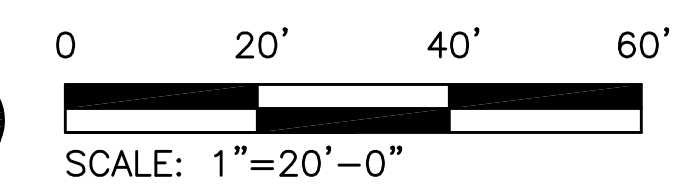
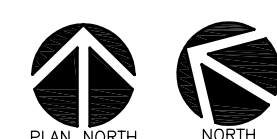
PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

OWNER:
LUBY'S FUDRUCKERS RESTAURANTS, LLC
13111 NORTHWEST FWY, SUITE 600
HOUSTON, TX 77040
CONTACT: MICHAEL ROKAS
PHONE: 713-329-6973

DEVELOPER:
CIENDA MANAGEMENT, LLC
4514 TRAVIS STREET, SUITE 326
DALLAS, TEXAS 75204
CONTACT: MATT GILLEN
PHONE: 214-636-1505
EMAIL: MGILLEN@CIENDA.COM

1 SITE PHOTOMETRIC PLAN
SCALE: 1"=20'-0"



CASE NO. _____

3 CONSULTING ENGINEERS
VIGILANT - VIABLE - VIRTUOUS
TEXAS REGISTRATION F-20374
V3 PROJECT #: 21012



2335 S. GOLIAD RETAIL
ROCKWALL, TEXAS

Issue: _____ Date: _____

Drawing Title
SITE PHOTOMETRICS

Sheet
PH1.01



Submitted By
ALA LLC

Catalog Number
LSR-12484-1500L-120-41K-37-80

Notes

Type

KIRLIN

Since 1895

Shallow Lensed 12" Downlight • LED

Up to 90,000 Hour Life • Wet Location
LM-80 Qualified • LM-79 Certified Photometry

LSR-12484-2000L
LSR-12484-1500L
LSR-12484-1000L



Specifications

- Delivered System Performance***
- Lumen Series: **MUST SPECIFY**
-2000L: 2000 nominal lumens (25W).
-1500L: 1500 nominal lumens (20W).
-1000L: 1000 nominal lumens (11W).
 - Distribution: WFL standard.
 - Color temperature: 3500°K standard.
Optional: -27K, -30K, -41K or -50K.
 - CRI: 80+ standard. Optional: -HC (90+).
 - 90,000 hour life (L70).
 - Fully sustainable: removable for servicing.
- Thermal Management System**
- All aluminum components and housing maximize cool operation and long life while minimizing maintenance.
- LED Power Supply - INTERNAL**
- Suitable for outdoor / indoor use:
-30°C (-22°F) to 60°C (140°F).
 - 120-277V / 50-60Hz standard. Load insensitive.
 - 0-10V CCR dimming standard. (100-10%) see options below.**

- Trim Assembly**
- White flat seamless aluminum, one piece self-flanged.
 - Tempered prismatic spread distribution lens or see optional lenses.
 - For vandal-resistant version, see Option -13.
- Aluminum Housing**
- Seamless white acrylic enameled. Rustproof: Exceeds 1000 hour ASTM 5% salt spray test.
 - Water-tight construction with weatherproof closed cell top gasket for wet location use.
 - No visible cylinder hardware.
 - Cool operation: Extends life of all components.
 - Fully sustainable: Entire luminaire, including LED light engine, is modular, easily visible and serviced through aperture.
 - Lightweight: minimizes ceiling load.
- Installation**
- Direct mount to any J-box pattern.
 - Suitable for indoor or outdoor use.
 - See Option -NAT for natatorium use.
 - Optional pendant (-PM) mount.

- UL, C-UL (Canada) Listings**
- Wet listed in surface or pendant mount.
- IEC & FCC Compliance**
- Meets IEC/EN 60601-1-2 electromagnetic compatibility standard for medical electrical equipment.
 - FCC Part 15 certified for EM/RFI emissions.
- FIVE YEAR Limited Warranty**
- Complete standard fixture.

MUST SPECIFY		OPTIONAL	Ordering Example: LSR-12484-2000L-120-30K-94
Product Number	Voltage	Options	
LSR-12484-2000L LSR-12484-1500L LSR-12484-1000L	-120 (120 volts) -277 (277 volts) -97 (Specify other)	See "Options" below	

Options

- Input Power: SPECIFY**
- 120 120V (50-60Hz) input.
 - 277 277V (50-60Hz) input.
 - 97 Specify other voltage. Consult factory.
- LED Power Supply**
- 29 **Two wire** full range (100-1%) PWM dimming instead (Lutron). 120V only. Not available with Option -EI.
 - D1 0-10V 1.0% dimming instead.
 - D2† 0-10V 0.1% dimming instead.
 - D3† DALI 1.0% dimming instead.
 - D4† DALI 0.1% dimming instead.
 - EI Remote emergency inverter for 100% of rated lumens. Run time: 90+ minutes. 120 or 277V, 60Hz input only. Specify voltage. Not for use with Option -29 or -FS.

- EM INTERNAL emergency battery pack. Delivers 500 lumens. Run time: 90+ minutes.
 - ERH REMOTE emergency battery pack. Delivers 1000 lumens. Run time: 90+ minutes. CEC Compliant.
- Color (CCT and CRI)**
- 27K Color temperature 2700°K instead.
 - 30K Color temperature 3000°K instead.
 - 41K Color temperature 4100°K instead.**
 - 50K Color temperature 5000°K instead.
 - HC 90+ CRI instead.
- Lens and Trim**
- 13 Vandal resistant tempered prismatic spread lens above 1/8" flat polycarbonate.
 - 23 Frosted micropismatic lens instead.
 - 46 Gasket between trim and lens.
 - CF Custom color filter (Rosco). Specify.
 - WA White acrylic (flat) diffuser instead; will produce wide flood distribution.

- Luminaire (Housing) Finishes**
- 35 Silver (natural aluminum) acrylic enamel.
 - 37 Dark Bronze acrylic enamel.**
 - 38 Black acrylic enamel.
 - 94 Custom color/finish. Specify. Consult factory.
- Mounting**
- 80 2" collar for mounting beneath surface outlet box. 1/2" T.S. KO's. Covered ceilings only.
 - 87 Custom pendant length. Specify length. Use with Option -PM.
 - 88 Swivel canopy for sloped ceilings up to 40°. Use with Option -PM.
 - PM Pendant mount instead. 8" stem or see -87.
- Other**
- 99 Special modification. Consult factory.
 - FS Single in-line fuse. Not for use with Option -EI.
 - NAT Modified for natatorium use.

† Consult factory for use with -2000L series.

	The Kirlin Company 3401 EAST JEFFERSON AVENUE • DETROIT, MICHIGAN 48207-4232 (313) 259-6400 • Fax: (313) 259-3121 • www.kirlinlighting.com	LATITUDES LED LIGHTING
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*See note next page

DUE TO OUR CONTINUING EFFORT TO IMPROVE PRODUCTS, TECHNICAL INFORMATION IS SUBJECT TO CHANGE WITHOUT NOTICE. THE KIRLIN COMPANY EXPECTS PHOTOMETRIC PERFORMANCE TO IMPROVE SIGNIFICANTLY AND FREQUENTLY AS LED SOURCE TECHNOLOGY IMPROVES.

LATITUDES LED REV FEB 2021

Submitted By
ALA LLC

Catalog Number
LSR-12484-1500L-120-41K-37-80

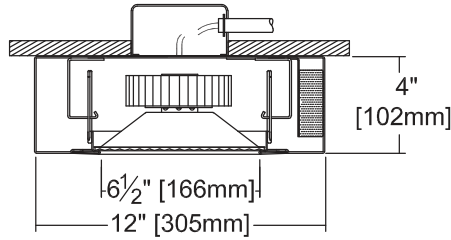
Notes

Type

LSR-12484-2000L
PERFORMANCE



Dimensions



LIMITED WARRANTY: CATALOGUED KIRLIN FIXTURES ARE WARRANTED FREE OF DEFECTS IN WORKMANSHIP OR MATERIAL FOR FIVE YEARS FROM DATE OF PURCHASE. INSTALLATION TO N.E.C. IN NORMAL USE. Manufacturer at its option will replace or repair such fixture or refund the purchase price on presentation of the original invoice. This warranty does not cover damage caused by misuse, abuse, or other non-normal use. The warranty is void if the fixture is not installed, repaired, or replaced by a qualified installer. See the warranty card for full details. This warranty is not a contract. The only contract is the purchase order or invoice. See the warranty card for full details. This warranty is not a contract. The only contract is the purchase order or invoice. See the warranty card for full details.

Detailed Photometry - Installed Fixture

Photometry from I.T.L., Boulder, CO

Photometric testing done in accordance with IESNA LM-79

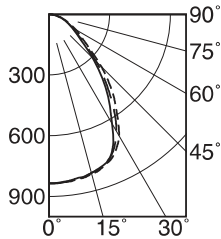
-1500L (WFL)

Lumens: 1600
Beam: ~61°
SC: 1.2
LPW: 84
Efficiency: 79.1%
ITL Test: 91835

Total System Watts 19.1

Cone of Light ▲

Dist.	FC	Dia.
6	23.2	7.1
8	13.1	9.4
10	8.4	11.8
12	5.8	14.1
14	4.3	16.5
16	3.3	18.8



	CANDLEPOWER DISTRIBUTION				
	0.0	22.5	45.0	67.5	90.0
0	836	836	836	836	836
5	833	833	834	834	831
15	816	816	811	810	812
25	762	758	748	742	740
35	582	578	552	523	516
45	368	352	331	306	307
55	197	193	175	169	167
65	114	112	103	101	101
75	60	58	55	58	60
85	15	15	16	14	14
90	0	0	0	0	0

LUMEN SERIES	LUMEN FACTOR	WATTAGE FACTOR	LPW FACTOR
-2000L	1.257	1.369	0.92
-1500L	1.000	1.000	1.00
-1000L	0.579	0.495	1.17

LM-80 Qualified • LM-79 Certified Photometry

* LED manufacturers maintain a tolerance of ±7% on flux (lumens) and power (electrical) measurements. Kirin photometrics are actual test data from Independent Testing Laboratories (ITL) where photometry was measured from 2022 lumen (-1500L) light engines (within the established tolerance).

▲ Cone of Light Key

Dia. (in ft.) shown is where FC value is half the FC at nadir.

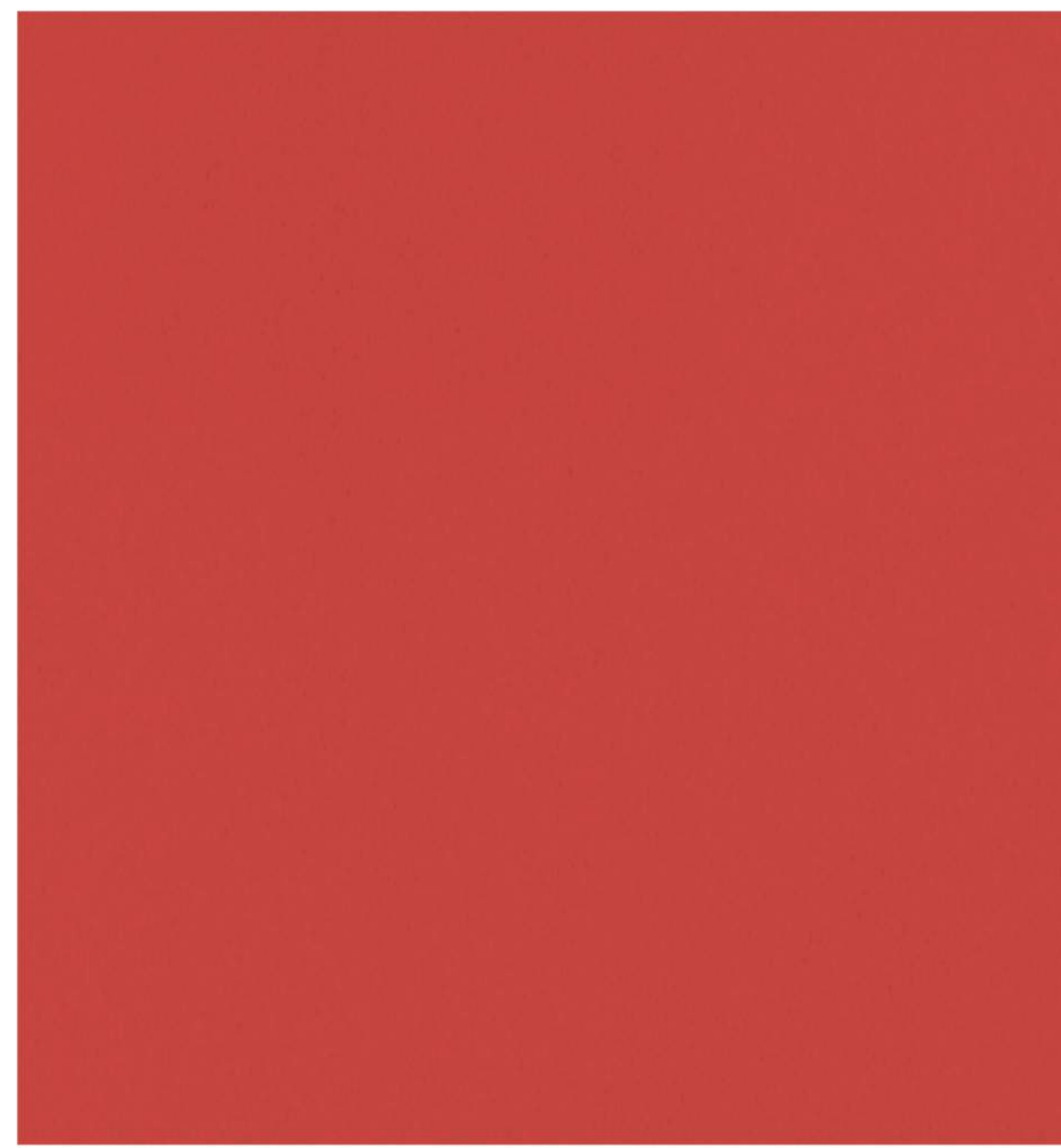
Dist. Distance (Ft.) from fixture

FC Footcandles at nadir (0°)
Dia. Circle of light at 50% of FC

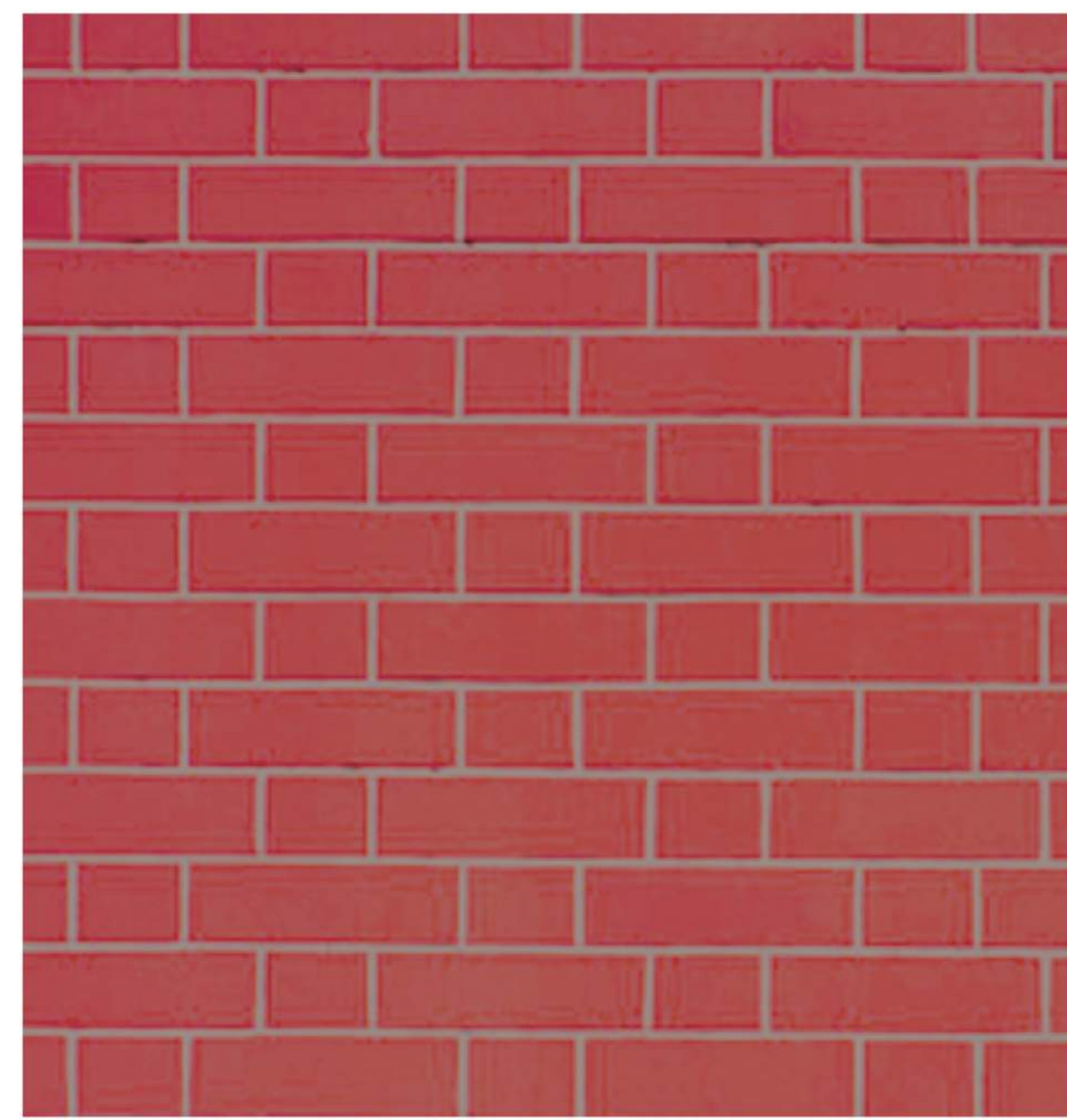
SUBMITTAL DATA

APPROVAL STAMP

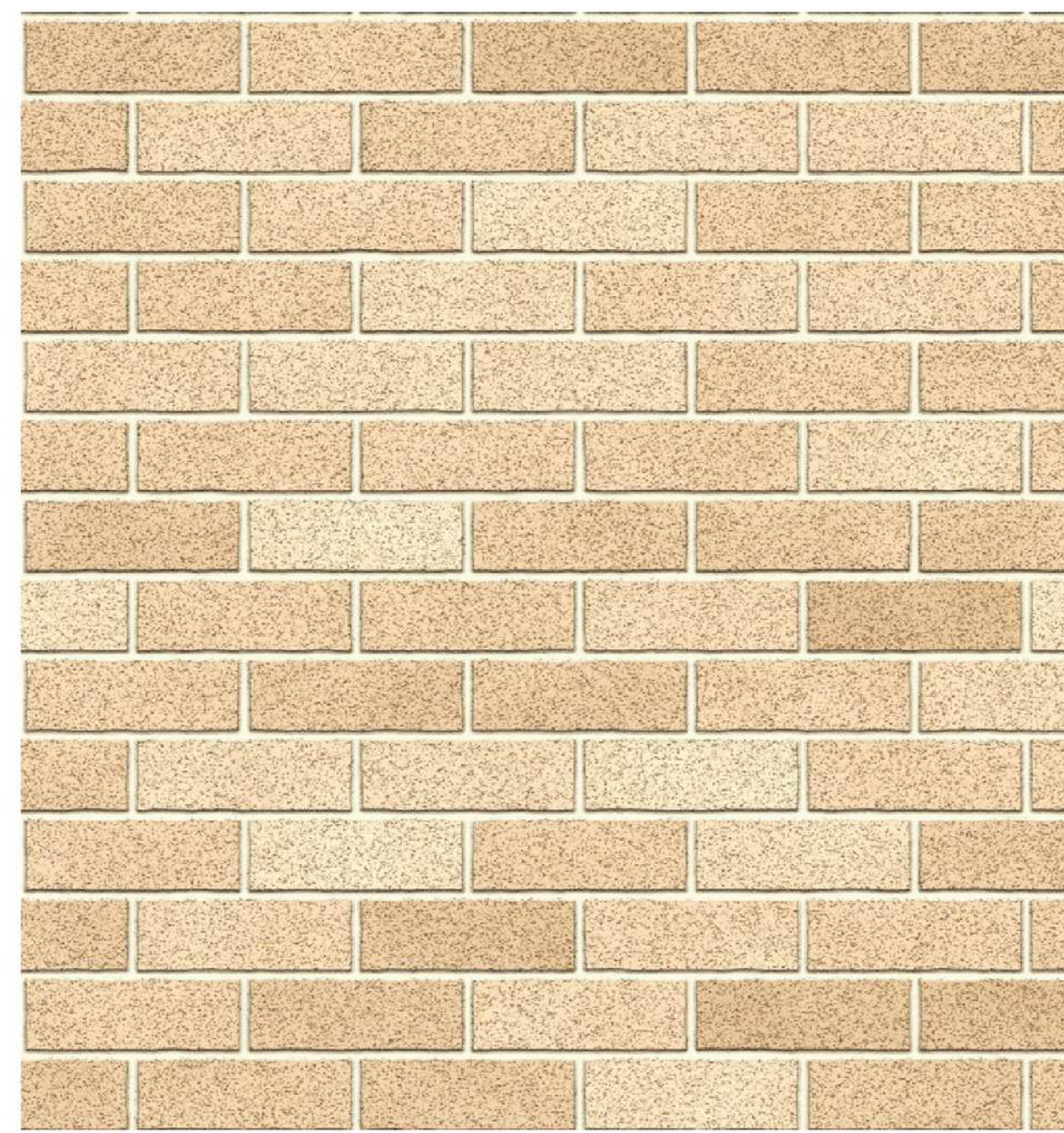




EIFS - Color to Match Sherwin Williams SW6868 Real Red Paint



Existing Brick - Red



Existing Brick - Light Brown



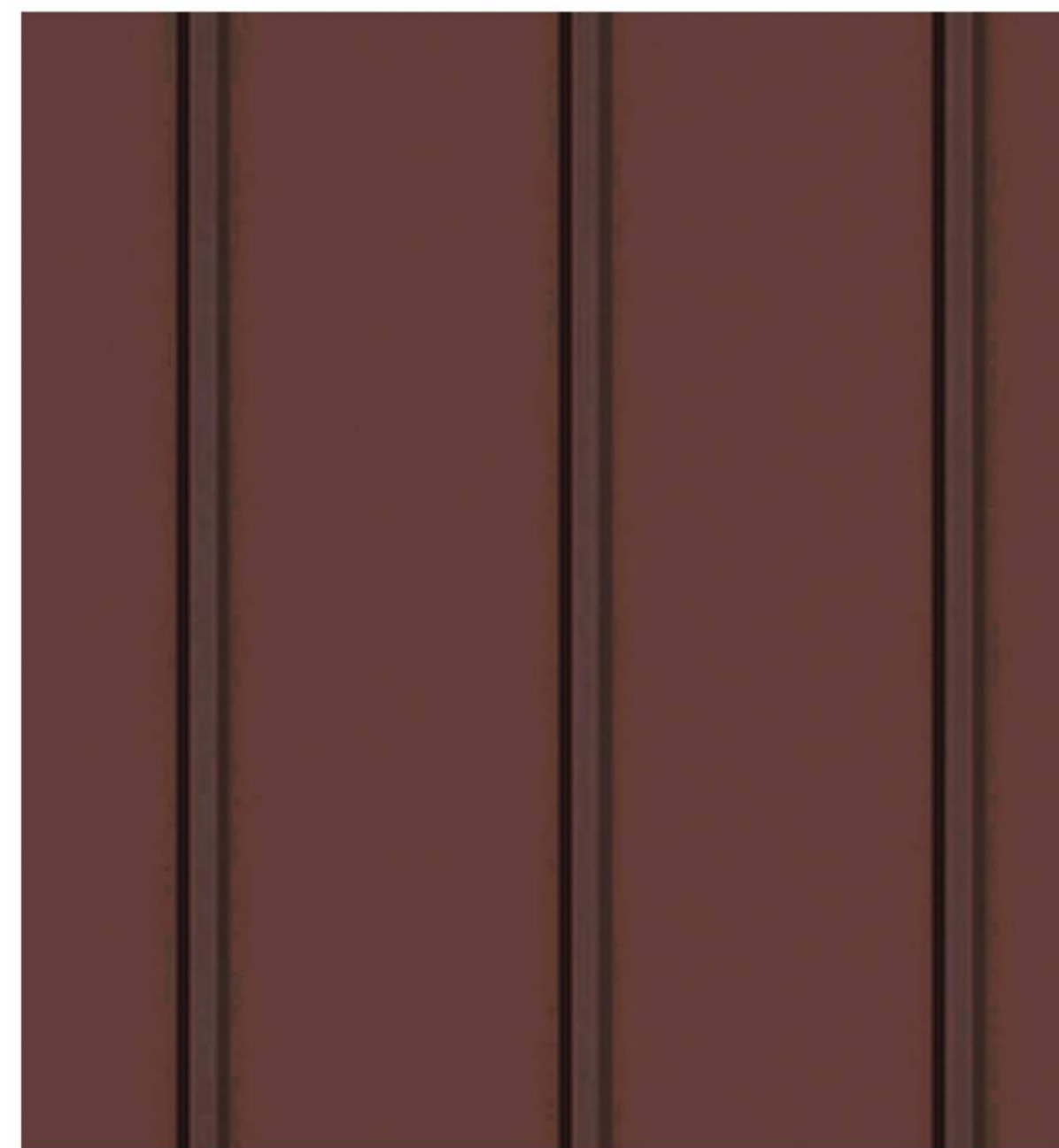
Metal Coping and Downspouts - Pac-Clad - "Black"



Existing Stone- Texas Mix



Sherwin Williams SW6258 Tricorn Black Paint Over Existing Brick



Dark Bronze- Metal Roof



Black Anodized Aluminum Storefront

MATERIAL BOARD

2335 S. Goliad St
Rockwall, Texas

Job #: 21015
Date: 07/16/21
Drawn by: DE / JJ

Scale: 1/16" = 1'-0"

File Name: BIM 360://21015 - Lubys Rockwall/21015_Lubys_Rockwall_A21.rvt

Not for regulatory approval, permitting, or construction

SITE PLAN SIGNATURE BLOCK	
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, 2021.	
WITNESS OUR HANDS, THIS ____ DAY OF _____, 2021	
_____ PLANNING & ZONING COMMISSION, CHAIRMAN	_____ DIRECTOR OF PLANNING AND ZONING
OWNER/DEVELOPER: CIENDA PARTNERS, LP 4814 TRAVIS ST., SUITE 336 DALLAS, TX 75205 CONTACT: MATT GILLEN PH: 214-269-1841 EMAIL: MGILLEN@CIENDA.COM	2235 S. GOLIAD ST. RETAIL ROCKWALL CENTRE CORNERS ADDITION, LOT 11, BLOCK 1 ROCKWALL, ROCKWALL COUNTY, TEXAS 2.230 ACRES (97,128 SF) COMMERCIAL - C
ARCHITECT: GFF 2608 FARMINGTON ST., SUITE 300 DALLAS, TX 75201 CONTACT: GRANT WICKARD PH: 214-953-1550 EMAIL: GRANT.WICKARD@GFF.COM DATE OF PREPARATION: 07/16/2021	CASE #



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: August 10, 2021

SUBJECT: Z2021-028; *Amendment to the Application Fees for Specific Use Permits (SUP) and Variance/Special Exception Requests that are Associated with Construction Without or Not in Conformance to a Building Permit*

At the May 17, 2021 City Council meeting the City Council requested that staff look for ways to deter residents from constructing non-compliant structures without a building permit or not in conformance to an approved building permit. Specifically, the City Council asked if a penalty could be applied to these types of requests. Based on the City Council's inquiry, staff proposed establishing an alternative application fee for Specific Use Permit (SUP) and Variance/Special Exception requests that involved non-compliant structures (*i.e. that do not conform to the Unified Development Code [UDC]*) that were [1] constructed without a building permit, or [2] that were not constructed in conformance with an approved building permit. The alternative application fee would be \$1,000.00 in addition to the normal application fees. For example, an application submitted under this proposal for a one (1) acre tract of land would be calculated as follows:

Specific Use Permit (SUP): \$200.00 + (\$15.00 * 1.00-Acre) = \$215.00 + \$1,000.00 = \$1,215.00

Variance/Special Exception: \$100.00 + \$1,000.00 = \$1,100.00

This fee was derived from the estimated additional staff time these types of requests require compared to a typical Specific Use Permit (SUP) or Variance/Special Exception requests (*i.e. these types of cases typically require additional meetings with the applicants and site visits from Neighborhood Improvement Services, Building Inspections, Engineering, and Planning Departments' staff*). Staff should note that the City Attorney reviewed the proposal and as a *Home Rule City*, found no legal authority prohibiting the adoption of such a penalty. Based on this, the City Council directed staff to proceed with the amendment on July 6, 2021.

In the attached packet, staff has provided an example of the proposed changes to Section 10, *Fee Schedule*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) necessary to make the fee changes. In addition, staff has provided an updated development application and draft ordinance for the Planning and Zoning Commission's review. In accordance, with Section 02.04(B) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), staff is bringing the proposed amendment forward to the Planning and Zoning Commission for a recommendation to the City Council. The schedule for this text amendment is as follows:

~~Planning and Zoning Commission Work Session: July 27, 2021~~

Planning and Zoning Commission Public Hearing: August 10, 2021

City Council Public Hearing/1st Reading: August 16, 2021

City Council 2nd Reading: September 7, 2021

Staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Should the Planning and Zoning Commission have any questions staff will be available at the meeting on August 10, 2021.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS _____

SUBDIVISION _____

LOT _____

BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____

CURRENT USE _____

PROPOSED ZONING _____

PROPOSED USE _____

ACREAGE _____

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

APPLICANT

CONTACT PERSON _____

CONTACT PERSON _____

ADDRESS _____

ADDRESS _____

CITY, STATE & ZIP _____

CITY, STATE & ZIP _____

PHONE _____

PHONE _____

E-MAIL _____

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20 _____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20 ____.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

MY COMMISSION EXPIRES _____



not be designed to generate revenue for the City other than recovery of actual administrative costs.

- (B) Fees. The fees for development related applications in the City of Rockwall shall be as follows:

(1) PLATTING	
(a) Master Plat	\$100.00 + \$15.00/Acre
(b) Preliminary Plat	\$200.00 + \$15.00/Acre
(c) Final Plat	\$300.00 + \$20.00/Acre
(d) Replat	\$300.00 + \$20.00/Acre
(e) Amending or Minor Plat	\$150.00
(f) Plat Reinstatement Request	\$100.00
(2) SITE PLAN	
(a) Site Plan	\$250.00 + \$20.00/Acre
(b) Amended Site Plan	\$100.00
(3) ZONING	
(a) Zoning Change	\$200.00 + \$15.00/Acre
(b) Specific Use Permit (SUP)*	\$200.00 + \$15.00/Acre
(c) Planned Development (PD)	\$200.00 + \$15.00/Acre
(4) MISCELLANEOUS	
(a) Variance/Special Exception*	\$100.00
(b) Tree Removal	\$75.00
(c) Other Miscellaneous Requests	\$0.00
(5) HISTORIC PRESERVATION ADVISORY BOARD	
(a) Certificate of Appropriateness (COA)	\$0.00
(b) Small Matching Grants	\$0.00
(c) Building Permit Fee Waiver	\$0.00

NOTES:

* See Section (D) below.

- (C) Calculation of Fees. Fees that have a scaled fee structure (*i.e. that are based on the acreage of the property*) are calculated by multiplying the acreage of the property by the scalable fee and adding the base fee. For example, a 5.25-acre property that is requesting a zoning change would be calculated as follows:

$$5.25\text{-acres} \times \$15.00/\text{Acres} = \$78.75 + \$200.00 \text{ [Base Fee]} = \$278.75 \text{ [Fee Due]}$$

Properties that are less than one (1) acre in total size shall be calculated as one (1) acre. No other rounding methods shall be used in the calculation of a fee.

- (D) Non-Compliant Structure Fees. Fees associated with requests for a Specific Use Permit (SUP) or a Variance/Special Exception that deal with structures that were [1] constructed without a building permit, or [2] that were not constructed in conformance with an approved building permit shall be increased by \$1,000.00. For example, a 5.25-acre property that is requesting approval under this section would be calculated as follows:

$$5.25\text{-acres} \times \$15.00/\text{Acres} = \$78.75 + \$200.00 \text{ [Base Fee]} = \$278.75 \text{ [Typical Application Fee]} + \$1,000.00 \text{ [Forgiveness Fee]} = \$1,278.75 \text{ [Fee Due]}$$

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING SECTION 10, FEE SCHEDULE, OF ARTICLE 11, DEVELOPMENT APPLICATIONS AND REVIEW PROCEDURES, AS DEPCITED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Unified Development Code [*Ordinance No. 20-02*] has been initiated by the City Council of the City of Rockwall to amend Section 10, *Fee Schedule*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code [*Ordinance No. 20-02*]; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Section 10, *Fee Schedule*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'A'* of this ordinance;

SECTION 2. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 3. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 04-38*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 4. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7TH DAY OF SEPTEMBER, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: August 16, 2021

2nd Reading: September 7, 2021

Exhibit 'A'
 Section 10, Fee Schedule, of
 Article 11, Development Applications and Review Procedures, of the
 Unified Development Code (UDC)

Additions: Highlighted

Deletions: Highlighted, Strikeout

(A) **Establishment of Fees.** Fees for all development related applications in the City of Rockwall shall be established by the City Council upon recommendation of the City Council. Such fees shall be for the sole purpose of recovering the administrative cost of processing development applications, advertising zoning requests, and holding public hearings required by this Article. Such fee shall not be designed to generate revenue for the City other than recovery of actual administrative costs.

(B) **Fees.** The fees for development related applications in the City of Rockwall shall be as follows:

(1) PLATTING	
(a) Master Plat	\$100.00 + \$15.00/Acre
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(d) Replat	\$300.00 + \$20.00/Acre
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NOTES:

*: See Section (D) below.

(C) **Calculation of Fees.** Fees that have a scaled fee structure (*i.e. that are based on the acreage of the property*) are calculated by multiplying the acreage of the property by the scalable fee and adding the base fee. For example, a 5.25-acre property that is requesting a zoning change would be calculated as follows:

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Exhibit 'A'
Section 10, Fee Schedule, of
Article 11, Development Applications and Review Procedures, of the
Unified Development Code (UDC)

(D) **Non-Compliant Structure Fees.** Fees associated with requests for a Specific Use Permit (SUP) or a Variance/Special Exception that deal with structures that were [1] constructed without a building permit, or [2] that were not constructed in conformance with an approved building permit shall be increased by \$1,000.00. For example, a 5.25-acre property that is requesting approval under this section would be calculated as follows:

5.25-acres x \$15.00/Acres = \$78.75 + \$200.00 [Base Fee] = \$278.75 [Typical Application Fee] + \$1,000.00 [Forgiveness Fee] = \$1,278.75 [Fee Due]



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 10, 2021
APPLICANT: Ed Cavendish; *Cavendish Homes*
CASE NUMBER: Z2021-029; *Specific Use Permit (SUP) for a Residential Infill for 104 Reliance Court*

SUMMARY

Hold a public hearing to discuss and consider a request by Ed Cavendish of Cavendish Homes for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1465- acre parcel of land identified as Lot 28, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 104 Reliance Court, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on October 29, 1973 by *Ordinance No. 73-42*, and rezoned to Planned Development District 8 (PD-8) by *Ordinance No. 73-48*. Phase 20 was later amended by *Ordinance No. 85-43* on August 26, 1985. A preliminary plat (*Case No. PZ1985-049-01*) and a final plat (*Case No. PZ1985-051-01*) for Phase 20 of the Chandler's Landing Subdivision were later approved on July 2, 1985. This established the subject property as Lot 28, Block A, Chandler's Landing, Phase 20. The subject property remains zoned Planned Development District 8 (PD-8) and has been vacant since it was originally platted.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 104 Reliance Court. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are four (4) parcels of land (*i.e. 106 Reliance Court and 124, 126, and 128 Puritan Court*) developed with single-family homes and zoned Planned Development District 8 (PD-8). Beyond this is Single Ridge Place, which is identified as a *R2 (i.e. residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Signal Ridge Phase 1 subdivision, which consists of 37 townhomes on 4.39-acres and is zoned Planned Development District 15 (PD-15) for *condominium* land uses.

South: Directly south of the subject property is a 0.1558-acre parcel of land (*i.e. 102 Reliance Court*) developed with a single-family home and zoned Planned Development District 8 (PD-8). Beyond this is the intersection of Reliance Court and Yacht Club Drive. Reliance Court is identified as a *R2 (residential, two [2] lane, undivided roadway)* and Yacht Club Drive is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Chandler's Landing Phase 16 subdivision, which consists of 46 single-family homes on 13-acres.

East: Directly east of the subject property are three (3) parcels of land (i.e. 128 Puritan Court and 101& 103 Mayflower Court) developed with single-family homes. Beyond this is the intersection Mayflower Court and Yacht Club Drive. Mayflower Court is identified as a R2 (residential, two [2] lane, undivided roadway) and Yacht Club Drive is identified as a Minor Collector on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Reliance Court, which is identified as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) parcels of land (i.e. 105, 107, and 108 Reliance Court) developed with single-family homes and zoned Planned Development District 8 (PD-8). Beyond this is the Signal Ridge Phase 2 subdivision, which consists of 57 townhomes on 3.98-acres and is zoned Planned Development District 15 (PD-15) for condominium land uses.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Phase 20 of the Chandler’s Landing Subdivision, which has been in existence since 1985 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Reliance Court compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Reliance Court	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes located along Reliance Court are oriented towards Reliance Court.	The front elevation of the home will face onto Reliance Court.
Year Built	1994-2012	N/A
Building SF on Property	1,875 SF – 3,652 SF	[Estimated] 2,716 SF
Building Architecture	Traditional Brick/Stone Suburban Residential	Comparable Architecture to the Existing Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	25-Feet
Side	The side yard setbacks appear to conform to the required five (5) foot side yard setback.	5-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	20-Feet
Building Materials	HardiBoard/HardiePlank, Brick, Stone and Stucco.	Stone, Brick, Fir Siding, and Stucco
Paint and Color	White, Cream, Red, Beige, and Brown	Gray
Roofs	Composite Shingles	Composite Shingle
Driveways	Driveways are all in the front and visible from Reliance Court with the orientations being <i>flat front entry, garage forward entry, side entry, and ‘J’ or traditional swing entry.</i>	The garage will be situated 10.75-feet in front of the front façade of the home.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to orient the garage so that it projects in front of the front façade of the single-family home by 10.75-feet. Staff should point out that since the construction range for housing in this area extends from 1994-2012, the houses in this area already have several garage configurations that would be deemed to be legally non-conforming (*i.e. they were conforming when they were constructed; however, due to changes in the code they are no longer conforming and would not be permitted to be built in this configuration today*); this aspect is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the Planning and Zoning Commission and City Council will be waiving the garage orientation requirement. With this being said, staff should point out -- *that with the exception of the garage orientation* -- the proposed single-family home meets all of the density and dimensional requirements stipulated by Planned Development District 8 [*Ordinance No. 85-43*] and the Unified Development Code (UDC).

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Reliance Court and the proposed building elevations in the attached packet.

NOTIFICATIONS

On July 27, 2021, staff mailed 208 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Water’s Edge at Lake Ray Hubbard, Signal Ridge, Signal Ridge Phase 4, Lago Vista, and Chandler’s Landing Homeowner’s Associations (HOAs), which are the only HOA’s or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any returned notices.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant’s request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit ‘B’* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit ‘C’* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

104 RECLAMER CT

SUBDIVISION

CHANDLER LAUNDRY

LOT

28

BLOCK

A

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

CAVENDISH HOMES

ED CAVENDISH

1017 NATIVE TRL

HEATH TX 75032

214-202-4667

EDCAVENDISH@CCHOMES.NET

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ed Cavendish [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

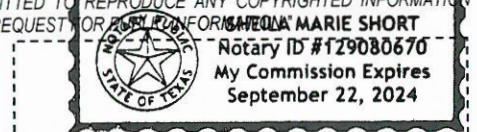
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR SUCH INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF July, 2021

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Shale Marie Short



MY COMMISSION EXPIRES 9/22/2024



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

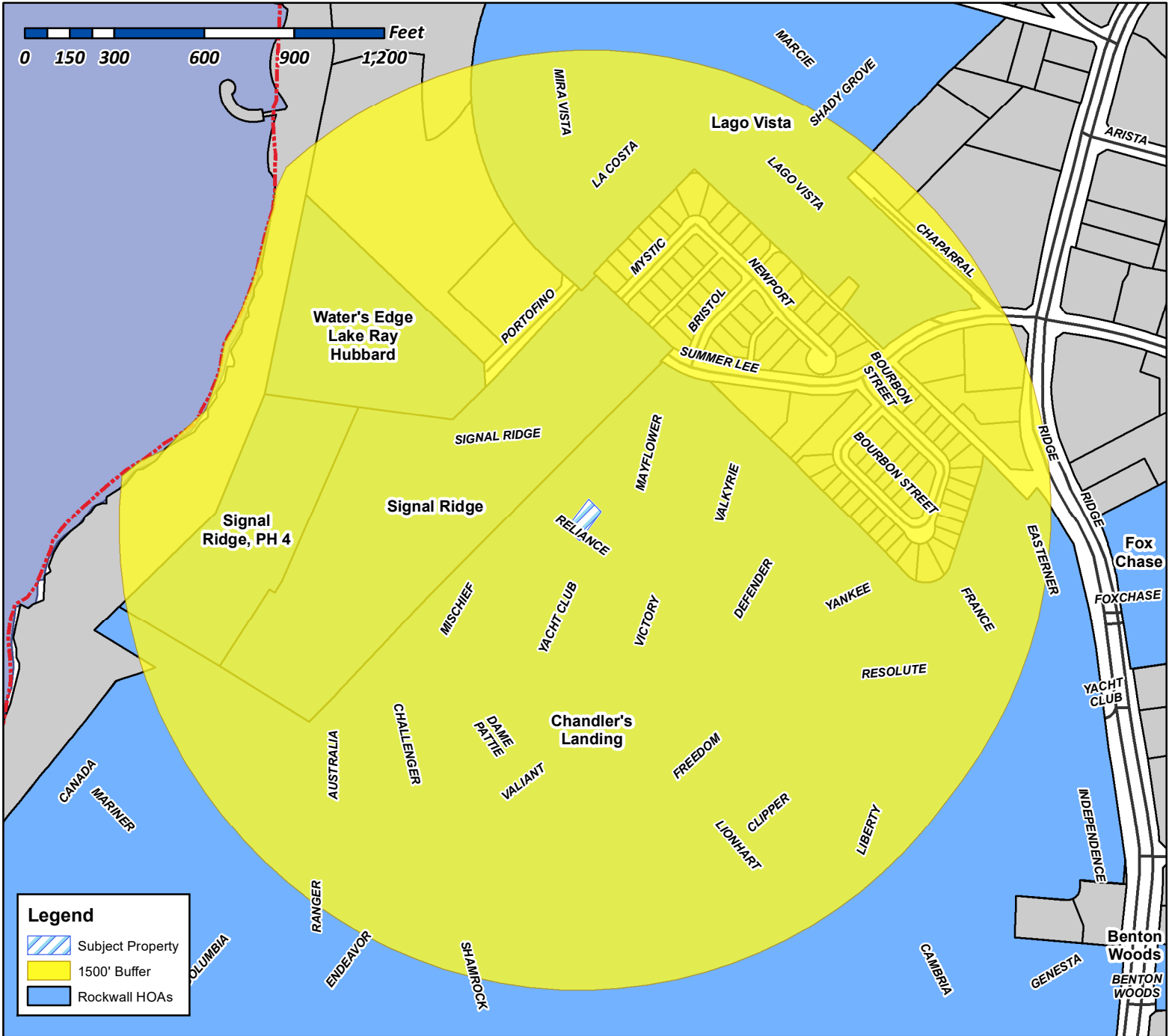




City of Rockwall

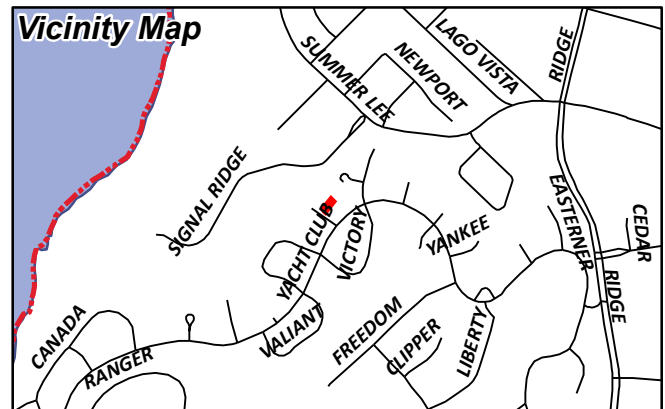
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Case Number: Z2021-029
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 104 Reliance Court

Date Created: 7/16/2021
For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Gamez, Angelica
Sent: Monday, July 26, 2021 11:52 AM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program [Z2021-029]
Attachments: HOA Map Z2021-029.pdf; Public Notice (07.26.2021).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on July 23, 2021. The Planning and Zoning Commission will hold a public hearing on Tuesday, August 10, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 16, 2021 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-029 Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Ed Cavendish of Cavendish Homes for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1465-acre parcel of land identified as Lot 28, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 104 Reliance Court, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

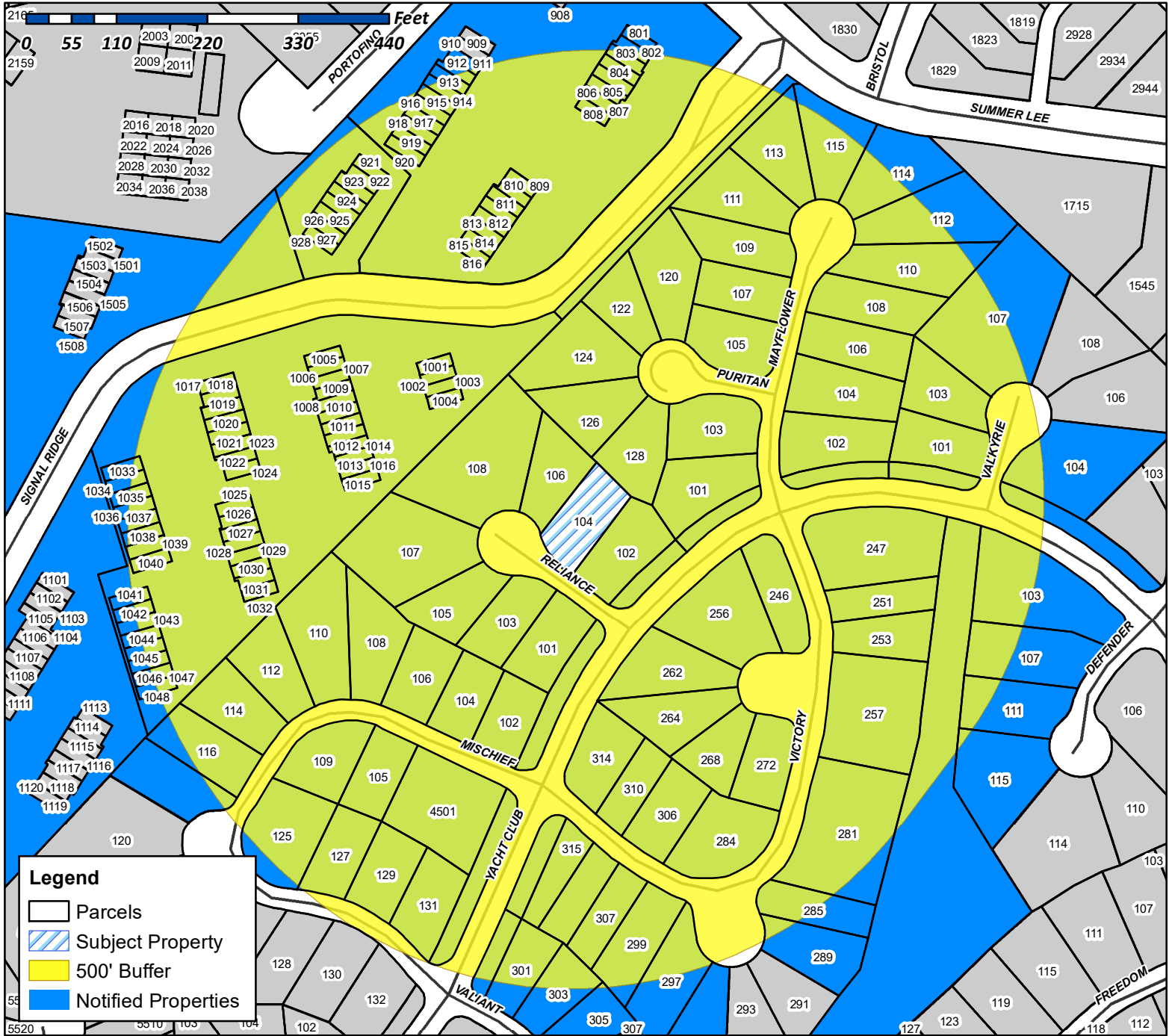
This email was scanned by Bitdefender



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2021-029
Case Name: SUP For Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 104 Reliance Court

Date Created: 7/16/2021
 For Questions on this Case Call (972) 771-7745



SIGNAL RIDGE OWNERS ASSOCIATION
1000 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DWYER REX ETUX AMY
1001 SIGNAL RIDGEPL
ROCKWALL, TX 75032

MEAVE DAVID MICHAEL
1002 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PRICE MOLLIE L TRUST
MOLLIE PRICE TRUSTEE
1003 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BLANKINSHIP TERRI
1004 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MARICH ENTERPRISE CORPORATION
1005 SIGNAL RIDGEPL
ROCKWALL, TX 75032

SEPEHRI SUSAN M
1006 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BROYLES STEPHANIE
1007 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CHAPMAN PAMELA JEAN
1008 SIGNAL RIDGE
ROCKWALL, TX 75032

MIEROW SHARON A
1009 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LANGSTON JOHN AND FRIEDA
101 MAYFLOWER CT
ROCKWALL, TX 75032

GOODSON JOSEPH F & SONJA R
101 RELIANCE CT
ROCKWALL, TX 75032

WELCH JANIS M
101 VALKYRIE PL
ROCKWALL, TX 75032

HIGGINS MICHAEL R AND ANN S
1010 SIGNAL RIDGEPL
ROCKWALL, TX 75032

FOREMAN JANET
1011 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ESTILL KENNETH W & CONNIE R
1012 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MOORE GREGORY J
1013 SIGNAL RIDGEPL
ROCKWALL, TX 75032

JOHNSON ASHLEY
1014 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

GRAGG CAROL
1016 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC
1017 NATIVE TR
HEATH, TX 75032

GARDNER DAVID L REV LIV TR
1017 SIGNAL RIDGEPL
ROCKWALL, TX 75032

TROTTER STEVEN D
1018 SIGNAL RIDGE PL
ROCKWALL, TX 75032

AMHILL FINANCIAL LP
ATTN JIM PETERS
1019 SIGNAL RIDGE PL
ROCKWALL, TX 75032

HARRELL STEVEN R AND ROBERTA J
102 MAYFLOWER CT
ROCKWALL, TX 75032

HALL JASON & CORI
102 MISCHIEF LN
ROCKWALL, TX 75032

CHENAULT JOSH & NATHALIE
102 RELIANCE COURT
ROCKWALL, TX 75032

WAGNER JULIE A
1020 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

CHAMBERLIN PROPERTIES LLC
1021 SIGNAL RIDGEPL
ROCKWALL, TX 75032

DAFFRON JAMES R SR & ANDREA
1022 SIGNAL RIDGE PL
ROCKWALL, TX 75032

HAIL CHRIS & MELODY
1023 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VAIL SYDNEY
1024 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MCMURTRE DREW
1025 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WHITE RANDY
1026 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MCPARTLAND MARY C
1027 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ALVARADO KRESHA
1028 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PRESTON DEWEY D & NANNETTE
1029 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CEPAK JANET BAIN
103 DEFENDER COURT
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
ATTN:TOM LORENZ
103 GROSS RD BLDG A
MESQUITE, TX 75149

2019-1 IH BORROWER LP
103 MAYFLOWER CT
ROCKWALL, TX 75032

SINCLAIR SUE AND
JEREMY LEE SINCLAIR
103 RELIANCE CT
ROCKWALL, TX 75032

HALAMA STEFAN & ANN
103 VALKYRIE PL
ROCKWALL, TX 75032

MILLENNIUM TRUST COMPANY LLC
CUSTODIAN FBO WILLIAM COMPTON
1030 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MILLENNIUM TRUST COMPANY LLC
CUSTODIAN FBO WILLIAM COMPTON
1031 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PERROTTA SHARON
1032 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOHNSTON SHARRON
1033 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BURKETT MARY REBECCA EASON
1034 SIGNAL RIDGE PL
ROCKWALL, TX 75032

FALLS DAVID & TERRI
1035 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PRYOR MICA MALONEY
1036 SIGNAL RIDGE PLACE #1036
ROCKWALL, TX 75032

GORDON NANCY ARAKAKI
1037 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BEVILL HELEN M AND
CHANDRA KARLEN
1038 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
ATTN:TOM LORENZ
1039 SIGNAL RIDGE PL
ROCKWALL, TX 75032

YATES KIMBERLY
104 MAYFLOWER COURT
ROCKWALL, TX 75032

CARR LORI
104 MISCHIEF LN
ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC
104 RELIANCE CT
ROCKWALL, TX 75032

MANDRELL JAMES R & KRISTIN MANDRELL
104 VALKYRIE PLACE
ROCKWALL, TX 75032

ARMSTRONG D
1040 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BREZ RAYMOND C & M LYNNE TRUSTEES
BREZ FAMILY TRUST
1041 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ARMSTRONG D
1042 SIGNAL RIDGE PL
ROCKWALL, TX 75032

NICHOLS JANET
1043 SIGNAL RIDGE PL
ROCKWALL, TX 75032

TRINGALI CAHTERINE
1044 SIGNAL RIDGE PL
ROCKWALL, TX 75032

KILGORE MADISON
1045 SIGNAL RIDGE PL
ROCKWALL, TX 75032

YANGER LISA
1046 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ARMSTRONG JOHN D III AND INDIVIDUAL
1047 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ZAJDL SALLY A
1048 SIGNAL RIDGE PL
ROCKWALL, TX 75032

OCONNOR MICHAEL
105 MAYFLOWER CT
ROCKWALL, TX 75032

JOHNSON ROBERT & DOLORES
105 MISCHIEF LN
ROCKWALL, TX 75032

HAYES BRANDON
105 RELIANCE CT
ROCKWALL, TX 75032

AMERICAN HOMES 4 RENT PROPERTIES TWO
LLC
106 MAYFLOWER CT
ROCKWALL, TX 75032

GRAF DANIEL & JESSICA
106 MISCHIEF LANE
ROCKWALL, TX 75032

CHRISTIAN ANGELA LEE
106 RELIANCE CT
ROCKWALL, TX 75032

ROARK BOBBIE ETAL
107 DEFENDER CT
ROCKWALL, TX 75032

ROPER JOHN & JENNIFER
107 MAYFLOWER CT
ROCKWALL, TX 75032

TOVAR ADAN AND CAROLYNN JEWELL MALICK-
GILBREATH
107 RELIANCE CT
ROCKWALL, TX 75032

GARCIA ANTONIO JR & ROXANN D
107 VALKYRIE PL
ROCKWALL, TX 75032

LONG JOHN AND LINDSAY
108 MAYFLOWER CT
ROCKWALL, TX 75032

CARRILLO VICTOR G
108 MISCHIEF LN
ROCKWALL, TX 75032

PETERSEN CARL S & WENDY
108 RELIANCE CT
ROCKWALL, TX 75032

NORTEX PROPERTIES INC
% JOSEPH L ZEHR
10808 LA CABREAH LN
FORT WAYNE, IN 46845

LYONS ELIZABETH
109 MAYFLOWER COURT
ROCKWALL, TX 75032

HAGIN GARY L & W ANNE
109 MISCHIEF LN
ROCKWALL, TX 75032

COOPER ELI T & RIKKI J
110 MAYFLOWER CT
ROCKWALL, TX 75032

DILOV VANIO
110 MISCHIEF LN
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
1105 51ST ST W
BRADENTON, FL 34209

STEBBINS GREGORY & KRISTEN
111 DEFENDER CT
ROCKWALL, TX 75032

RATCLIFFE KATHLEEN C
111 MAYFLOWER CT
ROCKWALL, TX 75032

PHILLIPS LOVIE
1110 VAIL COURT
ROCKWALL, TX 75087

FAIRCHILD REVOCABLE LIVING TRUST
112 MAYFLOWER CT
ROCKWALL, TX 75032

TAN DAVID L AND SHANNON K
112 MISCHIEF LANE
ROCKWALL, TX 75032

CASTRO CRISTINA
113 MAYFLOWER CT
ROCKWALL, TX 75032

FAIRCHILD CARL F & TONI A TRUSTEES
FAIRCHILD JOINT REVOCABLE LIVING TRUST
114 MAYFLOWER CT
ROCKWALL, TX 75032

GEORGE ELIZABETH M AND ROBIN J
114 MISCHIEF LANE
ROCKWALL, TX 75032

WEBSTER LIDIA
115 DEFENDER CT
ROCKWALL, TX 75032

JURCA JACOB S AND JACLYN J
115 MAYFLOWER CT
ROCKWALL, TX 75032

LETT LORNA
116 MISCHIEF LN
ROCKWALL, TX 75032

GONZALEZ KEITH R & DEANNA J
120 PURITAN CT
ROCKWALL, TX 75032

CHAMBERLIN PROPERTIES LLC
1213 STONEWALL TRL
ROCKWALL, TX 75032

HOLDER TOM
122 PURITAN CT
ROCKWALL, TX 75032

POTISKA PATRICIA
124 PURITAN CT
ROCKWALL, TX 75032

ODOM LACEY AND JOSH
125 MISCHIEF LN
ROCKWALL, TX 75032

WINKLES GARY AND KRISTY
126 PURITAN CT
ROCKWALL, TX 75032

MARTIN NAN YI
127 MICHIEF LANE
ROCKWALL, TX 75032

SULLIVAN MORTIMER M & CAROLYN B
REV LIVING TRUST AGREEMENT
128 PURITAN CT
ROCKWALL, TX 75032

MANSFIELD PHYLLIS J
129 MISCHIEF LANE
ROCKWALL, TX 75032

CHURY JENNIFER LEIGH & BRIAN D
131 MISCHIEF LANE
ROCKWALL, TX 75032

HAIL CHRIS & MELODY
145 WESTON CT
ROCKWALL, TX 75032

PRESTON DEWEY D & NANNETTE
1501 S LAKESHORE DR
ROCKWALL, TX 75087

COLLINS FAMILY TRUST
EWELL D COLLINS AND JENNIFER R TRUSTEES
1512 SIGNAL RIDGE PL
ROCKWALL, TX 75032

2019-1 IH BORROWER LP
1717 MAIN SST SUITE 2000
DALLAS, TX 75201

MEDINA ALEJANDRO
1800 DALROCK #100
ROWLETT, TX 75088

DWA EQUITIES LLC
1802 SIGNAL RIDGE
ROCKWALL, TX 75032

BREZ RAYMOND C & M LYNNE TRUSTEES
BREZ FAMILY TRUST
1910 SIGNAL RIDGE
ROCKWALL, TX 75032

MILLENNIUM TRUST COMPANY LLC
CUSTODIAN FBO WILLIAM COMPTON
2001 SPRING RD SUITE 700
OAK BROOK, IL 60523

MOORE GREGORY J
2140 PORTOFINO DR
ROCKWALL, TX 75032

GORDON NANCY ARAKAKI
2215 ARRINGTON ST
DURHAM, NC 27707

ODOM LACEY AND JOSH
2402 YACHT CLUB DR
ROCKWALL, TX 75032

PARRISH WENDY R
246 VICTORY LN
ROCKWALL, TX 75032

GATZKE LISA AND JAMES
247 VICTORY LANE
ROCKWALL, TX 75032

HARRIS ERIC & DEBBIE
251 VICTORY LN
ROCKWALL, TX 75032

LASANCE RICHARD & SHIRLEY
253 VICTORY LN
ROCKWALL, TX 75032

TONA CHAD J & MARTI
256 VICTORY LANE
ROCKWALL, TX 75032

MCKINSTRY FRITZ AND KATHY LIVING TRUST
257 VICTORYLN
ROCKWALL, TX 75032

HANSEN J D & PATRICIA
262 VICTORY LN
ROCKWALL, TX 75032

2019-1 IH BORROWER LP
264 VICTORYLN
ROCKWALL, TX 75032

STUBBLEFIELD SUSAN AND JACK ALLEN
268 VICTORY LN
ROCKWALL, TX 75032

DILOV VANIO
2717 LAKEWOOD DR
ROWLETT, TX 75088

FRANCISCO CAROLYN ELLISON
272 VICTORY LN
ROCKWALL, TX 75032

CARPENTER CHARLES KENNETH JR AND LIDA L
2752 E FM 552
ROCKWALL, TX 75087

BURKETT MARY REBECCA EASON
277 TERRY LN
HEATH, TX 75032

WILLIAMS ROBERT C
281 VICTORY LN
ROCKWALL, TX 75032

HALL JASON M & CORI M
284 VICTORY LN
ROCKWALL, TX 75032

BROWN TERRI LYNN
285 VICTORY LN
ROCKWALL, TX 75032

BYRUM CURTIS R AND SUSAN L
289 VICTORY LN
ROCKWALL, TX 75032

LYNN JASON AND DANIELLE
291 VICTORY LANE
ROCKWALL, TX 75032

BAILEY RONALD C ET UX
2919 COUNTRY PLACE CIR
CARROLLTON, TX 75006

SEEDS DAVID R
2961 S CHERRY WAY
DENVER, CO 80222

LYNN JASON AND DANIELLE
297 VICTORYLN
ROCKWALL, TX 75032

BEVILL HELEN M AND
CHANDRA KARLEN
2977 OAK DR
ROCKWALL, TX 75032

PERRY GEORGE DAVID & SANDRA SUE
299 VICTORY LN
ROCKWALL, TX 75032

MCMURTRE DREW
3000 TWIN LAKES DR
PROSPER, TX 75078

STOUFFER AMY JACKSON AND MITCH
301 VALIANT
ROCKWALL, TX 75032

WARD ANDREA N
303 VALIANT DRIVE
ROCKWALL, TX 75032

DEAL ROBERT
305 VALIANT DRIVE
ROCKWALL, TX 75032

MCMINN KIMBERLY
306 VICTORYLN
ROCKWALL, TX 75032

AMH 2014-2 BORROWER LLC
30601 AGOURA RD SUITE 200
AGOURA HILLS, CA 91301

AMERICAN HOMES 4 RENT PROPERTIES TWO
LLC
30601 AGOURA ROAD SUITE 200
AGOURA HILLS, CA 91301

MCNAIR KELLY
307 VICTORY LN
ROCKWALL, TX 75032

FALLS DAVID & TERRI
309 ROOKERY CT
MARCO ISLAND, FL 34145

AMH 2014-2 BORROWER LLC
310 VICTORYLN
ROCKWALL, TX 75032

MAY DEBRA AND RODNEY
314 VICTORY LN
ROCKWALL, TX 75032

LOREDO SARAHI
315 VICTORY LN
ROCKWALL, TX 75032

SINCLAIR SUE AND
JEREMY LEE SINCLAIR
32 LAKEWAY DRIVE
HEATH, TX 75032

LIECHTY SHIRLEY JEAN
C/O MRS AMY JENSEN
331 MOCKINGBIRD LN
AUBURN, AL 36830

RUBENSTEIN ALAN J AND
GINA L STRICKLIN
4501 YACHT CLUB DR
ROCKWALL, TX 75032

FAZELIMANESH KAREN & ARDESHIR
520 TERRY W
HEATH, TX 75032

LOGAN PAULINE K
554 VZ COUNTY ROAD 2139
CANTON, TX 75103

DWYER REX ETUX AMY
6101 VOLUNTEER PL
ROCKWALL, TX 75032

ROCKWALL PROPERTY SOLUTIONS
643 TURTLE COVE BLVD
ROCKWALL, TX 75087

HYATT FAMILY TRUST
JAMES T HYATT- TRUSTEE
6525 NORTH FLY IN LAKE RD
ATHENS, TX 75751

ALVARADO KRESHA
710 BRAZOS WAY
ROCKWALL, TX 75032

GORDON NANCY ARAKAKI
801 SIGNAL RIDGEPL
ROCKWALL, TX 75032

LONON DEBORAH J
802 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

FAZELIMANESH KAREN & ARDESHIR
803 SIGNAL RIDGEPL
ROCKWALL, TX 75032

ARMSTRONG D
804 EAGLE PASS
HEATH, TX 75032

ARMSTRONG JOHN D III AND INDIVIDUAL
804 EAGLE PASS
HEATH, TX 75032

ARMSTRONG D
804 EAGLE PASS
HEATH, TX 75032

AMHILL FINANCIAL LP
ATTN JIM PETERS
804 SIGNAL RIDGEPL
ROCKWALL, TX 75032

PATTON ROXANNE LOUISE & KURTIS LEE
805 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

WALKER RAYMOND B & PHYLLIS F REVOCABLE
TRUST
RAYMOND B & PHYLLIS F WALKER TRUSTEES
806 SIGNAL RIDGE PLACE UNIT 806
ROCKWALL, TX 75032

POPP LEILA
807 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PETERSON STEVEN R & DONNA R
808 SIGNAL RIDGE
ROCKWALL, TX 75032

HART DARIN AND RANDI
809 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RENNER BEVERLY
810 SIGNAL RIDGEPL
ROCKWALL, TX 75032

MEDINA ALEJANDRO
811 SIGNAL RIDGEPL
ROCKWALL, TX 75032

LOGAN PAULINE K
812 SIGNAL RIDGEPL
ROCKWALL, TX 75032

DUNN FAMILY LOVING TRUST
ALMA JEAN DUNN- TRUSTEE
813 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BRASHEARS KARI
814 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ANDREW JONATHON
815 SIGNAL RIDGE
ROCKWALL, TX 75032

HYATT FAMILY TRUST
JAMES T HYATT- TRUSTEE
816 SIGNAL RIDGEPL
ROCKWALL, TX 75032

SHEPHERD ADDIE
911 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

WHITE DEBORAH
912 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DISMUKE JAMIE M
913 SIGNAL RIDGE PLACE #913
ROCKWALL, TX 75032

CARTER DAVID
914 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

COLLINS FAMILY TRUST
EWELL D COLLINS AND JENNIFER R TRUSTEES
915 SIGNAL RIDGEPL
ROCKWALL, TX 75032

CARPENTER CHARLES KENNETH JR AND LIDA L
916 SIGNAL RIDGEPL
ROCKWALL, TX 75032

DEZEE CAROLE H
917 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DASILVA JOHN M
918 SIGNAL RIDGEPL
ROCKWALL, TX 75032

ROCKWALL PROPERTY SOLUTIONS
919 SIGNAL RIDGEPL
ROCKWALL, TX 75032

INZILLO FRANCA
920 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LIECHTY SHIRLEY JEAN
C/O MRS AMY JENSEN
921 SIGNAL RIDGEPL
ROCKWALL, TX 75032

MURRAY NORMA C
922 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DWA EQUITIES LLC
923 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BAILEY RONALD C ET UX
924 SIGNAL RIDGEPL
ROCKWALL, TX 75032

GREEN MAUREEN
925 SIGNAL RIDGEPL
ROCKWALL, TX 75032

PHILLIPS LOVIE
926 SIGNAL RIDGEPL
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
927 SIGNAL RIDGEPL
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
928 SIGNAL RIDGEPL
ROCKWALL, TX 75032

GREEN MAUREEN
945 BREEZY HILL LANE
ROCKWALL, TX 75087

MCKINSTRY FRITZ AND KATHY LIVING TRUST
P.O. BOX 2195
TELLURIDE, CO 81435

MCMINN KIMBERLY
PMB 239 11654 PLAZA AMERICA DR
RESTON, VA 20190

AMHILL FINANCIAL LP
ATTN JIM PETERS
PO BOX 1179
ROCKWALL, TX 75087

RENNER BEVERLY
PO BOX 2121
QUINLAN, TX 75474

MARICH ENTERPRISE CORPORATION
PO BOX 2319
ROCKWALL, TX 75087

DASILVA JOHN M
PO BOX 2601
ROWLETT, TX 75030

WHITTLE & JOHNSON CUSTOM HOMES INC
PO BOX 369
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC
PO BOX 638
ROCKWALL, TX 75087

PRICE MOLLIE L TRUST
MOLLIE PRICE TRUSTEE
PO BOX 743612
DALLAS, TX 75374

RUSH MAJOR
PO BOX 760794
GARLAND, TX 75046

HIGGINS MICHAEL R AND ANN S
PO BOX 850225
MESQUITE, TX 75185

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-029: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Ed Cavendish of Cavendish Homes for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1465-acre parcel of land identified as Lot 28, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 104 Reliance Court, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 10, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 16, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 16, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2021-029: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

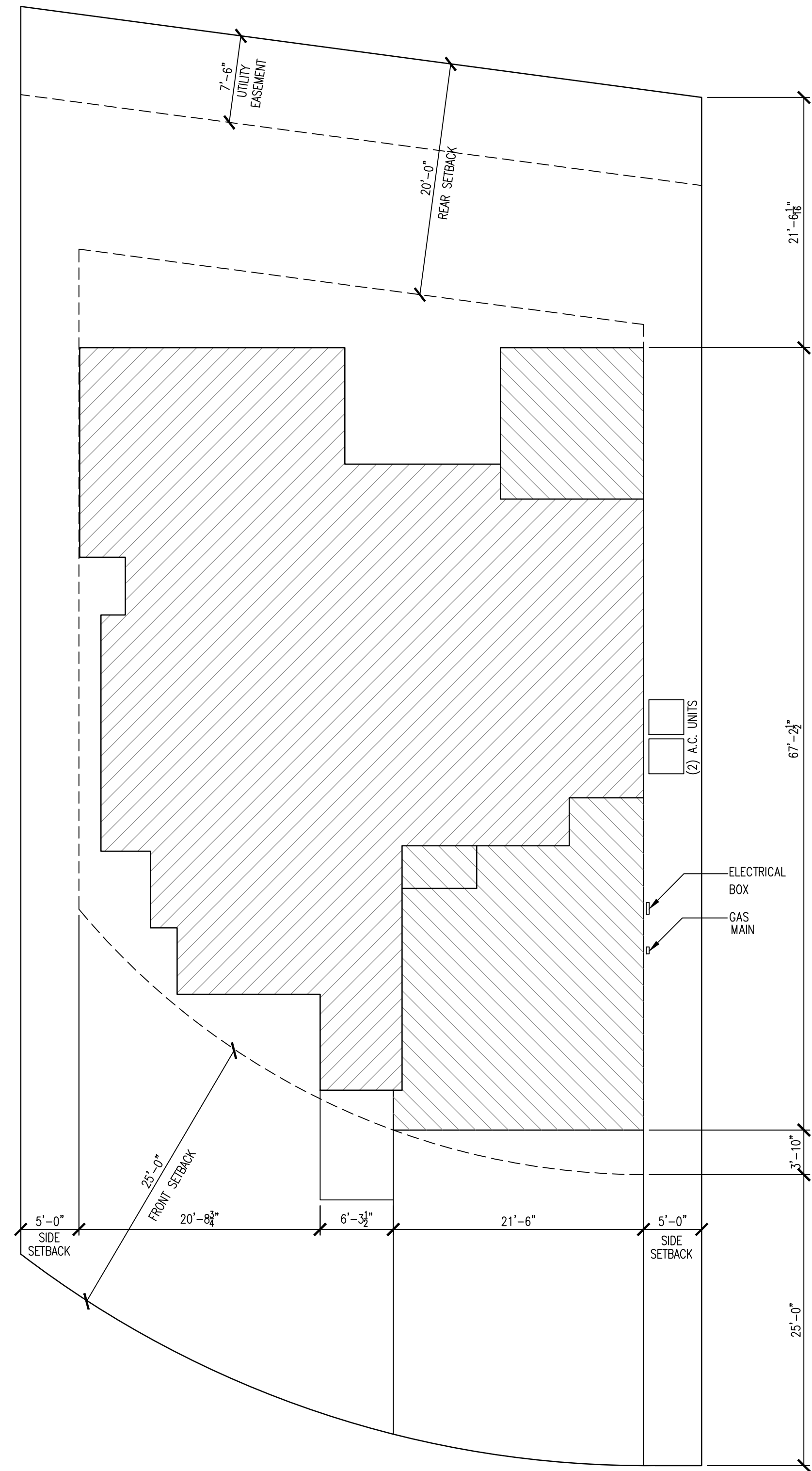
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted comment area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



SLAB PROFILE ON SITE PLAN

SCALE: 1/8"=1'-0"

- NOTES:
1. TOPO INFORMATION WAS PROVIDED BY A THIRD PARTY. ALLEN GUSTAVSON IS NOT RESPONSIBLE FOR ANY OF THE TOPO OR SITE SURVEY INFORMATION. TOPO AND BEARINGS SHOWN FOR LAYOUT PURPOSES ONLY.
 2. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING IF BUILDING MEETS ALL SETBACK AND GRADING REQUIREMENTS
 3. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING AND DESIGNING RETAINING WALLS AND STRUCTURAL STEM WALLS
 4. LOT COVERAGE CALCULATIONS:
 LOT SIZE: 6797 SQUARE FEET
 COVERAGE: 2716 SQUARE FEET (INCLUDES ONLY SLAB COVERAGE)
 TOTAL ROOF COVERAGE OF LOT IS 39.96%

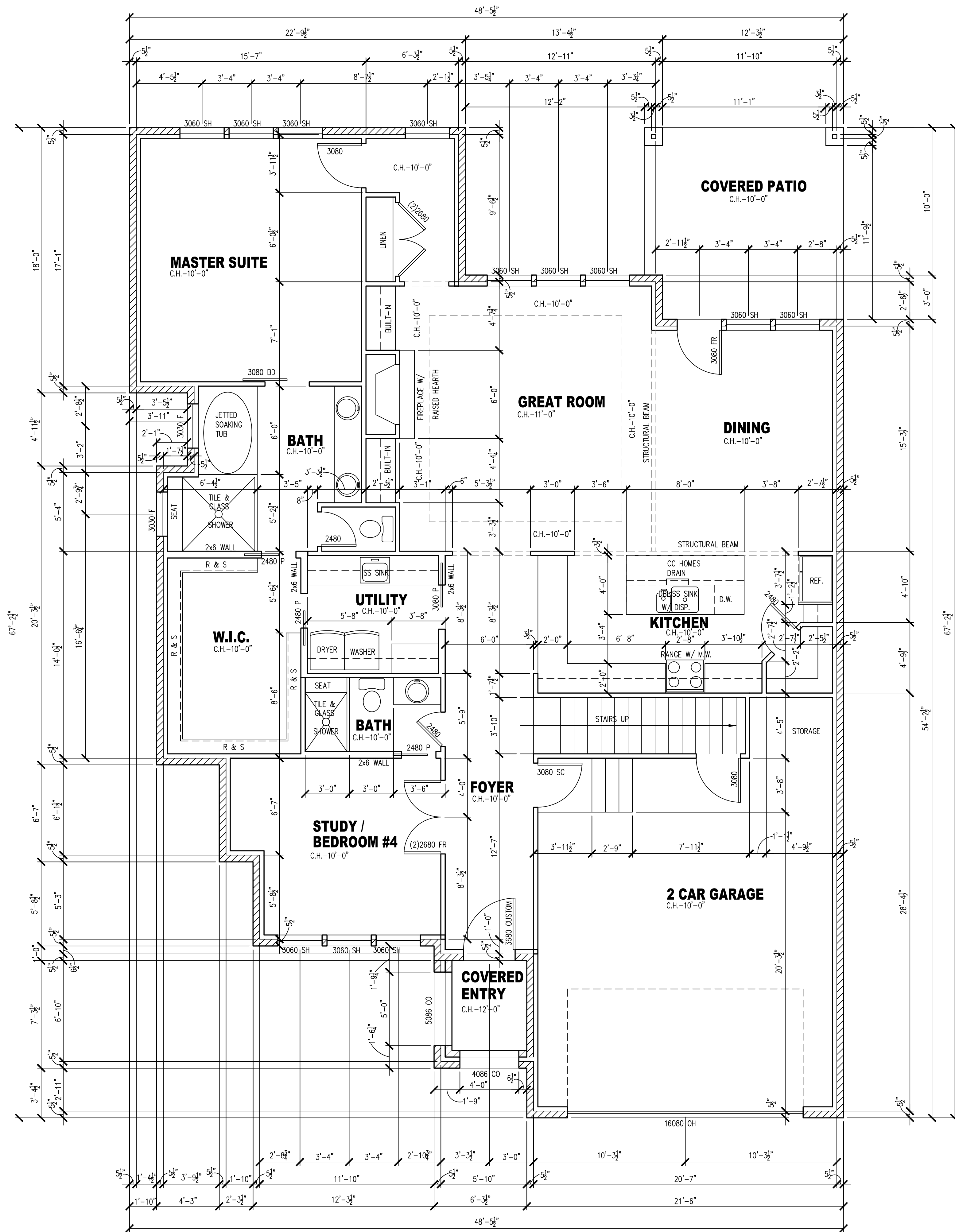
GUSTAVSON & ASSOCIATES
 113 Lantana Lane
 Wylie, TX 75098
 Phone: 214-675-3172
 Email: Allen@GusTX.com

PROJECT
LOT #21
 HEATH GOLF & YACHT CLUB
 HEATH, TEXAS

BUILDER
CAVENDISH HOMES
 ROCKWALL, TEXAS

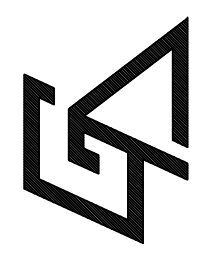
SHEET NAME
SLAB PROFILE PLAN

SCALE:
 1/8"=1'-0"
 DATE:
 7-22-2021
 DRAWN BY:
 AEG
 CHECKED BY:
 AEG
 SHEET NUMBER:
A-8



SQUARE FOOTAGE CALCULATIONS	
FIRST FLOOR A.C.:	1,926
SECOND FLOOR A.C.:	675
TOTAL A.C.:	2,601
COVERED ENTRY:	53
COVERED PATIO :	184
GARAGE :	549
MECHANICAL ROOM:	57
TOTAL S.F. UNDER ROOF: 3,444	

GUSTAVSON & ASSOCIATES
 113 Lantana Lane
 Wylie, TX 75098
 Phone: 214-675-3172
 Email: Allen@GusTX.com

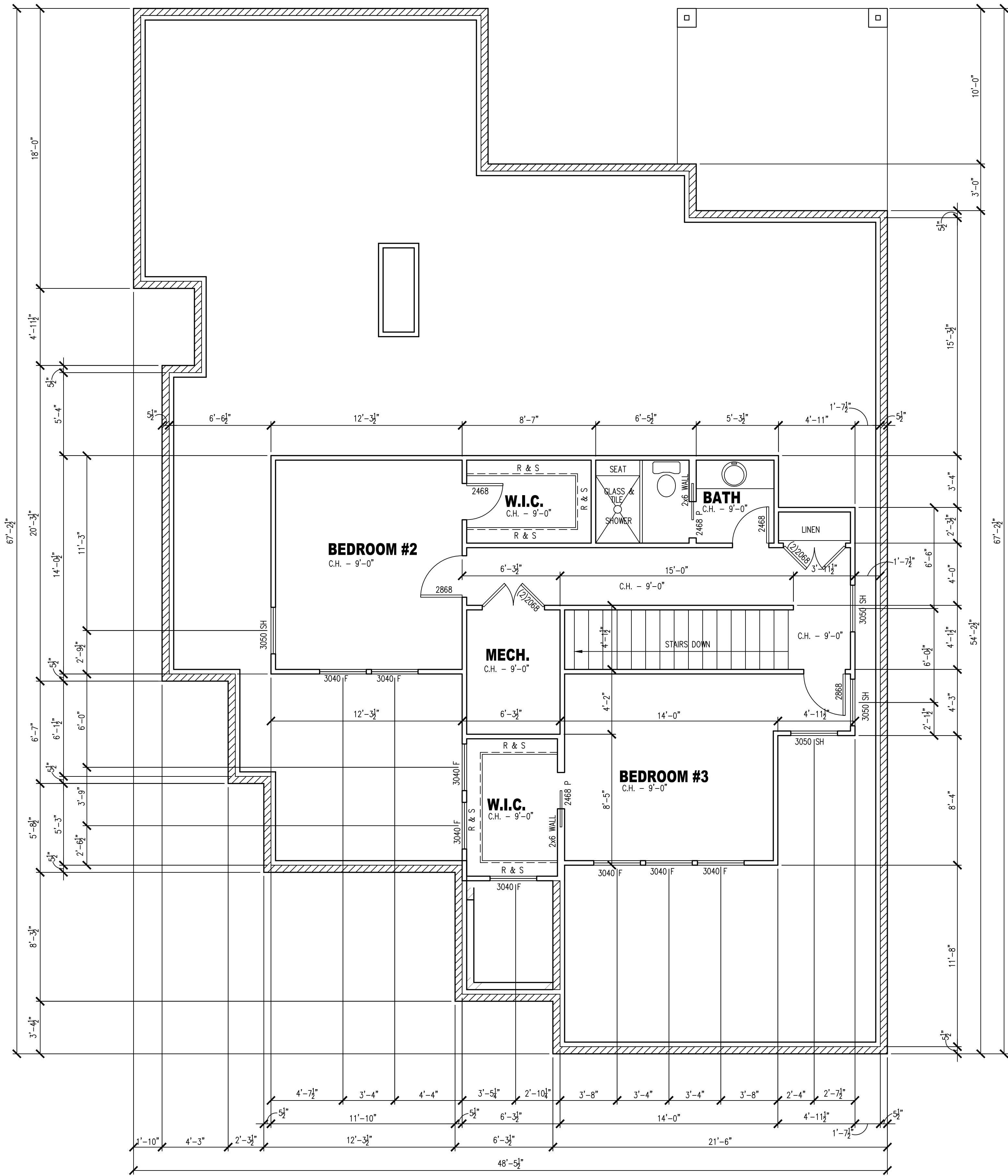


PROJECT
104 RELIANCE COURT
 CHANDLER'S LANDING
 ROCKWALL, TEXAS

BUILDER
CAVENDISH HOMES
 ROCKWALL, TEXAS

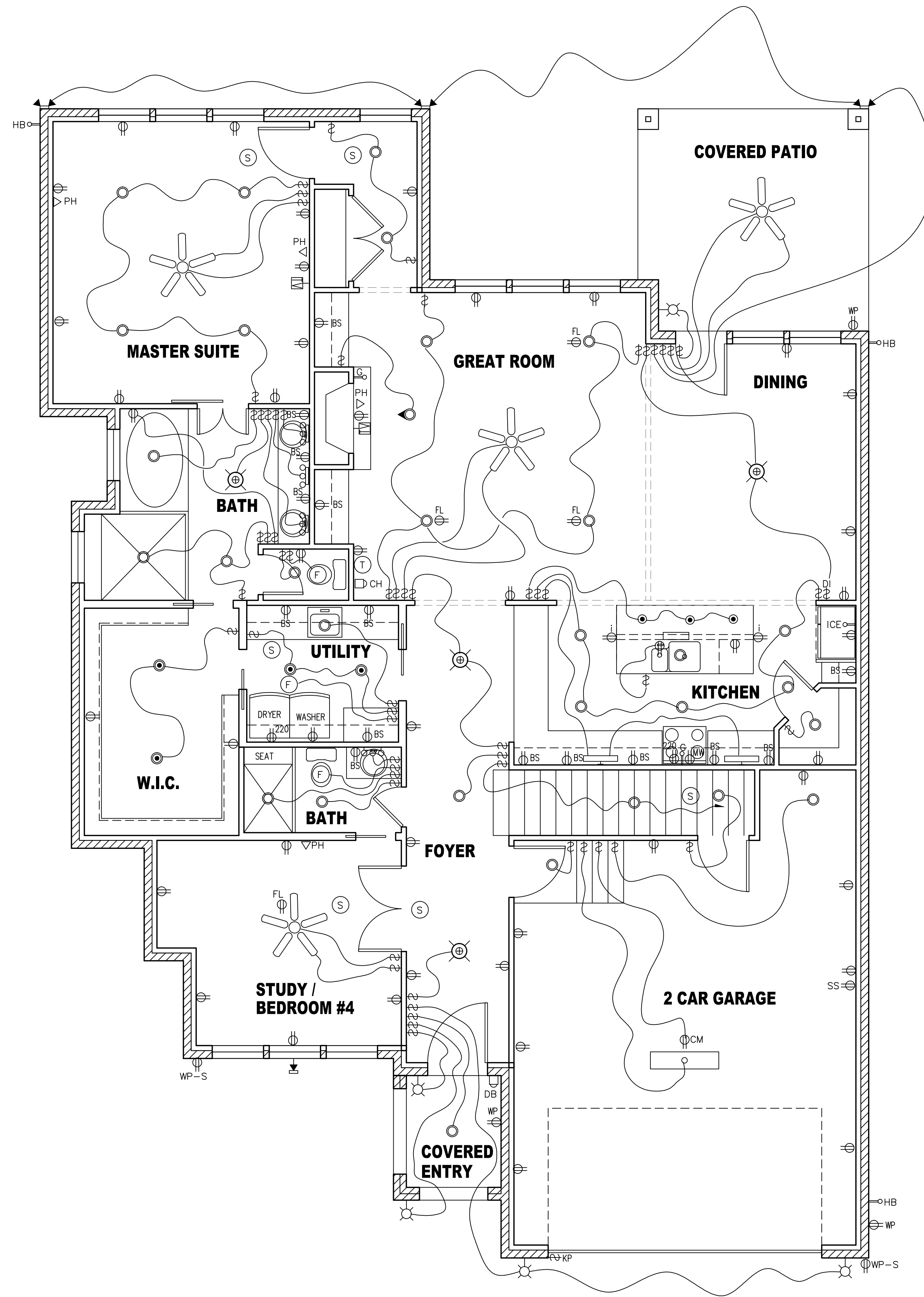
SHEET NAME
FIRST FLOOR PLAN

SCALE:
 1/4"=1'-0"
DATE:
 7-22-2021
DRAWN BY:
 AEG
CHECKED BY:
 AEG
SHEET NUMBER:
A-1



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

LEGEND	
	CHANDELIER FIXTURE
	CEILING LIGHT
	WALL MOUNTED SCONCE FIXTURE
	ROPE ACCENT LIGHTING HIDDEN IN COFFERED CEILING
	MINI-PENDANT LIGHT FIXTURE
	HANGING EXTERIOR PENDANT LIGHT FIXTURE
	RECESSED CEILING LIGHT
	RECESSED CEILING LIGHT-FLUORESCENT
	FLOOR LIGHT AT STAIRS
	CEILING MOUNTED FLUORESCENT FIXTURE
	UNDER CABINET FLUORESCENT FIXTURE
	52" CEILING FAN WITH LIGHT KIT
	POLE MOUNTED YARD LIGHT FIXTURE TO BE MOUNTED 16'-0" ABOVE FINISH GRADE
	LANDSCAPE DIRECTIONAL LIGHTS
	EXTERIOR FLOOD LIGHTS
	EXTERIOR WALL MOUNTED ACCENT LIGHT NIGHTTIME AUTO ACTIVATED
	WALL MOUNTED MAKE-UP LIGHT
	DIRECTIONAL INTERIOR SPOT LIGHT
	WALL MOUNTED EXT. FIXTURE
	WALL MOUNTED EXT. GAS FIXTURE
	110 VOLT OUTLET
	110 VOLT OUTLET-BS BACK SPLASH
	FLOOR MOUNTED OUTLET (CONTRACTOR TO COORD. LOCATION)
	220 VOLT OUTLET
	DEDICATED SPRINKLER SYSTEM OUTLET
	WP-S WATER PROOF OUTLET IN ROOF SOFFIT (HOLIDAY LIGHTING)
	WP WATER PROOF OUTLET
	CM 110 VOLT - CEILING MOUNTED OUTLET
	i 110 VOLT - MOUNTED ON ISLAND-32" A.F.F.
	v 110 VOLT - STOVE TOP VENT
	ICE ICE MAKER WATER SUPPLY
	HB FROST PROOF HOSE BIB
	G GAS OUTLET
	CH DOOR BELL CHIME
	DB DOOR BELL
	T THERMOSTAT
	S SMOKE / CARBON MONOXIDE DETECTOR
	C-5 CATEGORY 5 NETWORK JACK
	CABLE OUTLET
	PH PHONE OUTLET
	TG TOGGLE SWITCH
	NT NON-TOGGLE SWITCH
	DA DOOR ACTIVATED SWITCH
	DI DIMMER SWITCH
	KP KEY PAD SWITCH
	F EXHAUST FAN
	PCP POOL CONTROL PANEL



FIRST FLOOR UTILITY PLAN
SCALE: 1/4"=1'-0"

GUSTAVSON & ASSOCIATES
113 Lantana Lane
Wylie, TX 75098
Phone: 214-675-3172
Email: Allen@GusTX.com

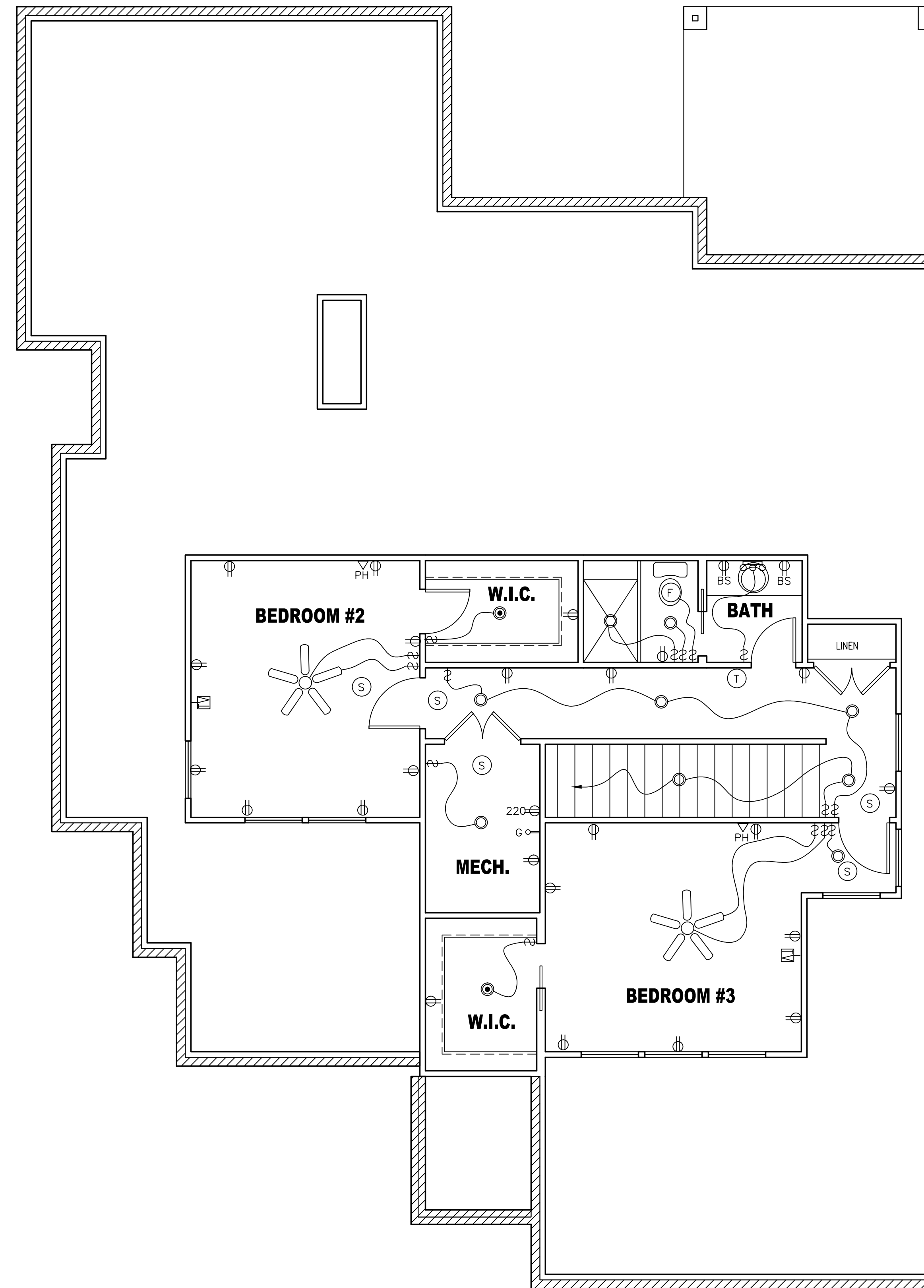
PROJECT
104 RELIANCE COURT
CHANDLER'S LANDING
ROCKWALL, TEXAS

BUILDER
CAVENDISH HOMES
ROCKWALL, TEXAS

SHEET NAME
FIRST FLOOR UTILITY PLAN

SCALE:
1/4"=1'-0"
DATE:
7-22-2021
DRAWN BY:
AEG
CHECKED BY:
AEG
SHEET NUMBER:
A-3

LEGEND	
	CHANDELIER FIXTURE
	CEILING LIGHT
	WALL MOUNTED SCONCE FIXTURE
	ROPE ACCENT LIGHTING HIDDEN IN COFFERED CEILING
	MINI-PENDANT LIGHT FIXTURE
	HANGING EXTERIOR PENDANT LIGHT FIXTURE
	RECESSED CEILING LIGHT
	RECESSED CEILING LIGHT-FLUORESCENT
FL	FLOOR LIGHT AT STAIRS
	CEILING MOUNTED FLUORESCENT FIXTURE
	UNDER CABINET FLUORESCENT FIXTURE
	52" CEILING FAN WITH LIGHT KIT
	POLE MOUNTED YARD LIGHT FIXTURE TO BE MOUNTED 16'-0" ABOVE FINISH GRADE
	LANDSCAPE DIRECTIONAL LIGHTS
	EXTERIOR FLOOD LIGHTS
	EXTERIOR WALL MOUNTED ACCENT LIGHT NIGHTTIME AUTO ACTIVATED
	WALL MOUNTED MAKE-UP LIGHT
	DIRECTIONAL INTERIOR SPOT LIGHT
	WALL MOUNTED EXT. FIXTURE
	WALL MOUNTED EXT. GAS FIXTURE
	110 VOLT OUTLET
	110 VOLT OUTLET-BS BACK SPLASH
	FLOOR MOUNTED OUTLET (CONTRACTOR TO COORD. LOCATION)
	220 VOLT OUTLET
	DEDICATED SPRINKLER SYSTEM OUTLET
	WATER PROOF OUTLET IN ROOF SOFFIT (HOLIDAY LIGHTING)
	WATER PROOF OUTLET
	110 VOLT - CEILING MOUNTED OUTLET
	110 VOLT - MOUNTED ON ISLAND-32" A.F.F.
	110 VOLT - STOVE TOP VENT
	ICE MAKER WATER SUPPLY
	FROST PROOF HOSE BIB
	GAS OUTLET
	DOOR BELL CHIME
	DOOR BELL
	THERMOSTAT
	SMOKE / CARBON MONOXIDE DETECTOR
	CATEGORY 5 NETWORK JACK
	CABLE OUTLET
	PHONE OUTLET
	TOGGLE SWITCH
	NON-TOGGLE SWITCH
	DOOR ACTIVATED SWITCH
	DIMMER SWITCH
	KEY PAD SWITCH
	EXHAUST FAN
	POOL CONTROL PANEL



SECOND FLOOR UTILITY LAYOUT PLAN
SCALE: 1/4"=1'-0"

GUSTAVSON & ASSOCIATES
113 Lantana Lane
Wylie, TX 75098
Phone: 214-675-3172
Email: Allen@GusTX.com

PROJECT
104 RELIANCE COURT
CHANDLER'S LANDING
ROCKWALL, TEXAS

BUILDER
CAVENDISH HOMES
ROCKWALL, TEXAS

SHEET NAME
SECOND FLOOR UTILITY PLAN

SCALE:
1/4"=1'-0"
DATE:
7-22-2021
DRAWN BY:
AEG
CHECKED BY:
AEG
SHEET NUMBER:
A-4



FRONT ELEVATION
1/4"=1'-0"

EXTERIOR MATERIAL SPECS
 BRICK: BILCO - GRAY MIST
 STONE: ACME-GRAY CHARCOAL LEUDERS
 STUCCO: GRAY
 SIDING: FIR - STAINED
 ROOF: GAF-TIMBERLINE HD BLACK

EXTERIOR MATERIALS CALCULATIONS
(MEASURED IN SQUARE FEET)

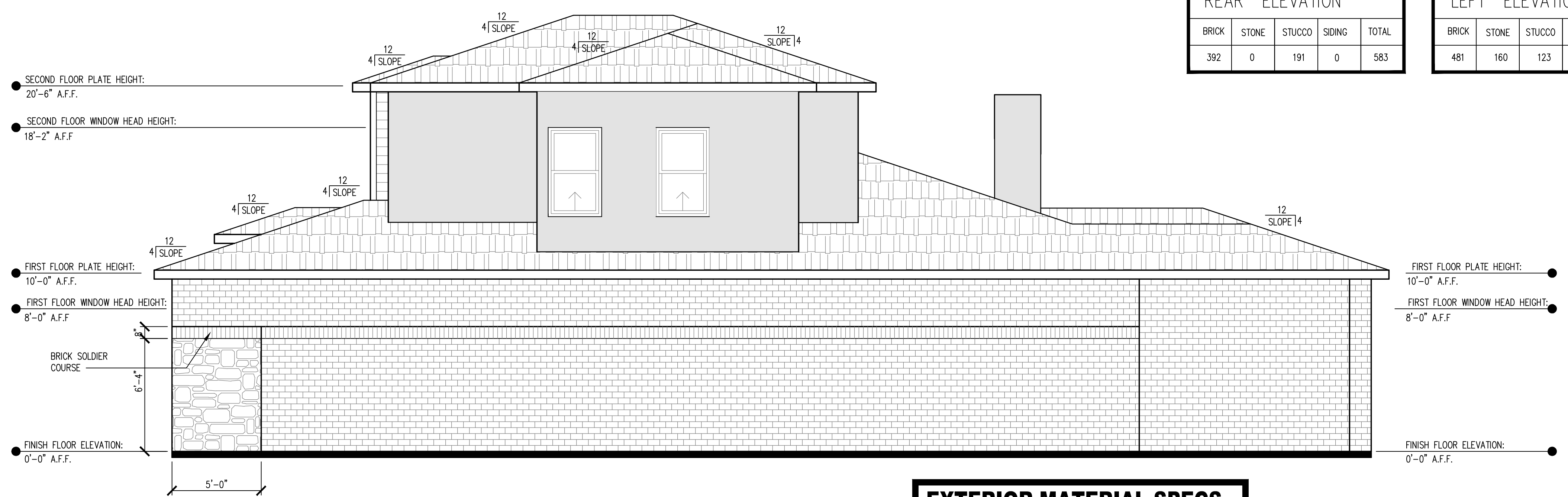
TOTAL		FROM ALL 4 ELEVATIONS		
BRICK	STONE	STUCCO	SIDING	TOTAL
1,714	334	632	157	2837
60.42	11.77%	22.28	5.53	100%

FRONT ELEVATION				
BRICK	STONE	STUCCO	SIDING	TOTAL
144	139	124	47	454

RIGHT ELEVATION				
BRICK	STONE	STUCCO	SIDING	TOTAL
697	35	194	6	932

REAR ELEVATION				
BRICK	STONE	STUCCO	SIDING	TOTAL
392	0	191	0	583

LEFT ELEVATION				
BRICK	STONE	STUCCO	SIDING	TOTAL
481	160	123	104	868



RIGHT ELEVATION
1/4"=1'-0"

EXTERIOR MATERIAL SPECS
 BRICK: BILCO - GRAY MIST
 STONE: ACME-GRAY CHARCOAL LEUDERS
 STUCCO: GRAY
 SIDING: FIR - STAINED
 ROOF: GAF-TIMBERLINE HD BLACK

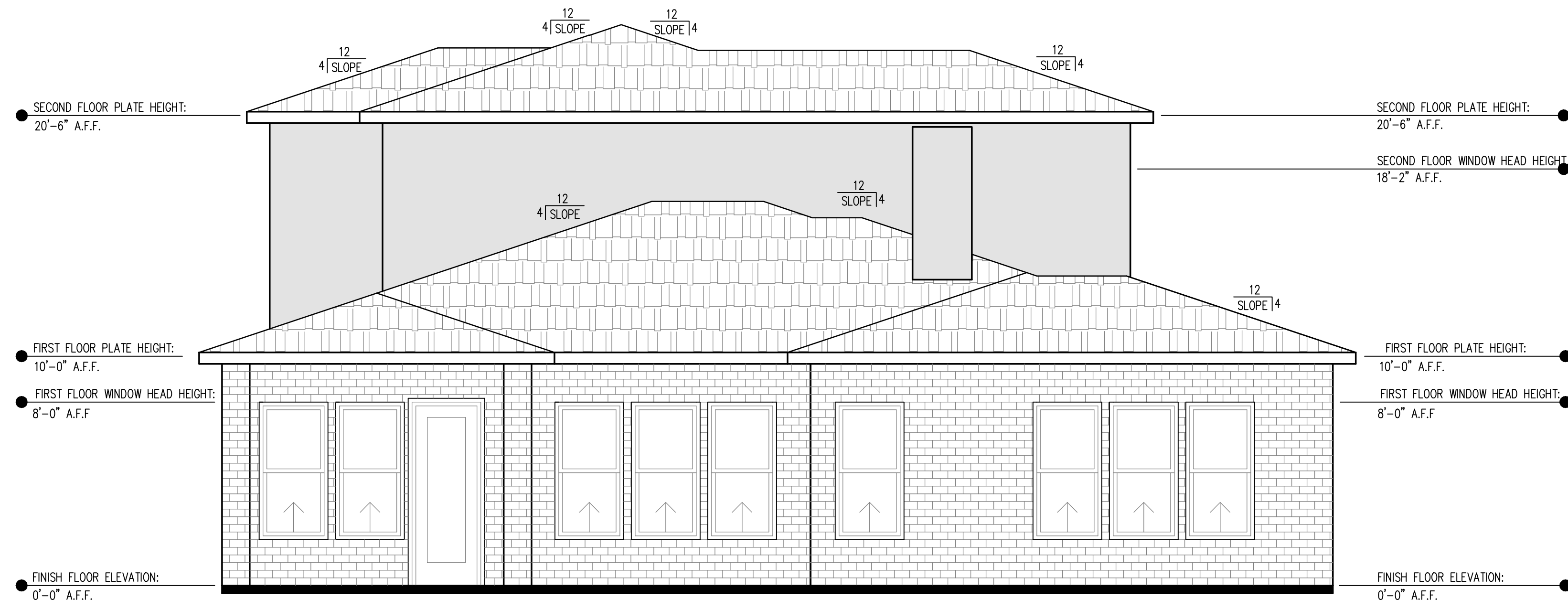
GUSTAVSON & ASSOCIATES
 113 Lantana Lane
 Wylie, TX 75098
 Phone: 214-675-3172
 Email: Allen@GusTX.com

PROJECT
104 RELIANCE COURT
 CHANDLER'S LANDING
 ROCKWALL, TEXAS

BUILDER
CAVENDISH HOMES
 ROCKWALL, TEXAS

SHEET NAME
EXTERIOR ELEVATIONS "A"

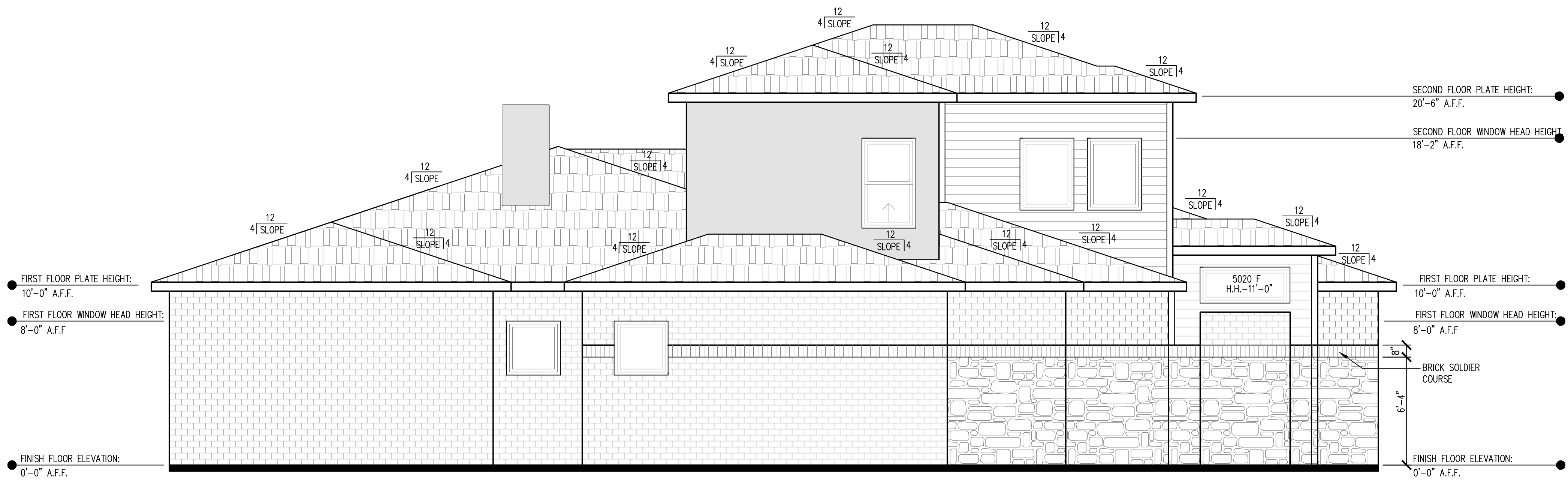
SCALE:
1/4"=1'-0"
DATE:
7-22-2021
DRAWN BY:
AEG
CHECKED BY:
AEG
SHEET NUMBER:
A-6



REAR ELEVATION

1/4"=1'-0"

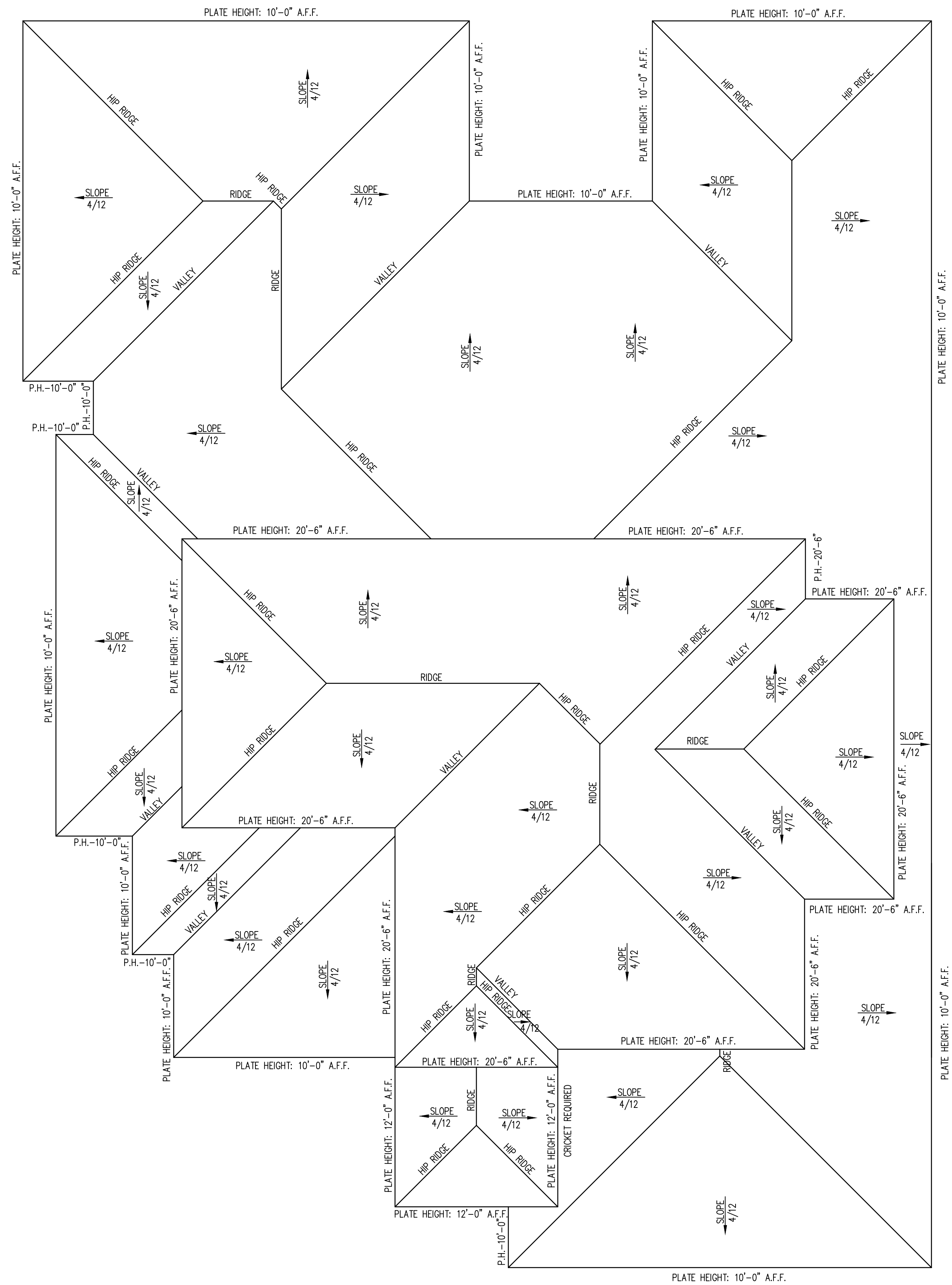
EXTERIOR MATERIAL SPECS
 BRICK: BILCO - GRAY MIST
 STONE: ACME-GRAY CHARCOAL LEUDERS
 STUCCO: GRAY
 SIDING: FIR - STAINED
 ROOF: GAF-TIMBERLINE HD BLACK



LEFT ELEVATION

1/4"=1'-0"

EXTERIOR MATERIAL SPECS
 BRICK: BILCO - GRAY MIST
 STONE: ACME-GRAY CHARCOAL LEUDERS
 STUCCO: GRAY
 SIDING: FIR - STAINED
 ROOF: GAF-TIMBERLINE HD BLACK



ROOF LINE PLAN

1/4"=1'-0"

NOTES:

1. CONTRACTOR SHALL PROVIDE FULL GUTTER AND DOWNSPOUTS.
2. ALL ROOF OVERHANGS SHALL BE 1'-0"

SHEET NAME
ROOF LINE PLAN

BUILDER
CAVENDISH HOMES
ROCKWALL, TEXAS

PROJECT
104 RELIANCE COURT
CHANDLER'S LANDING
ROCKWALL, TEXAS

GUSTAVSON & ASSOCIATES
113 Lantana Lane
Wylie, TX 75098
Phone: 214-675-3172
Email: Allen@GusTX.com

SCALE:
1/4"=1'-0"
DATE:
1-30-2021
DRAWN BY:
AEG
CHECKED BY:
AEG
SHEET NUMBER:

A-5

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
101 Reliance Court	Single-Family Home	1994	2,530	N/A	Brick
102 Reliance Court	Single-Family Home	2012	3,652	N/A	Stone
103 Reliance Court	Single-Family Home	1994	1,875	N/A	Brick
104 Reliance Court	<i>Subject Property</i>				
105 Reliance Court	Single-Family Home	1995	2,829	N/A	Brick
106 Reliance Court	Single-Family Home	2000	2,434	N/A	Stucco
107 Reliance Court	Single-Family Home	1994	3,101	N/A	Brick
108 Reliance Court	Single-Family Home	1994	2,538	N/A	Brick
Averages:		1998	2,708		



101 Reliance Court



102 Reliance Court



103 Reliance Court



105 Reliance Court



106 Reliance Court



107 Reliance Court



108 Reliance Court

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1465-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 28, BLOCK A, CHANDLER'S LANDING, PHASE 20, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Ed Cavendish for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1465-acre parcel of land being described as Lot 28, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 104 Reliance Court, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 8 (PD-8) of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 8 (PD-8) of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 8 (PD-8) -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF SEPTEMBER, 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: August 16, 2021

2nd Reading: September 7, 2021

Exhibit 'A'
Location Map and Survey

Address: 104 Reliance Court

Legal Description: Lot 28, Block A, Chandler's Landing, Phase 20

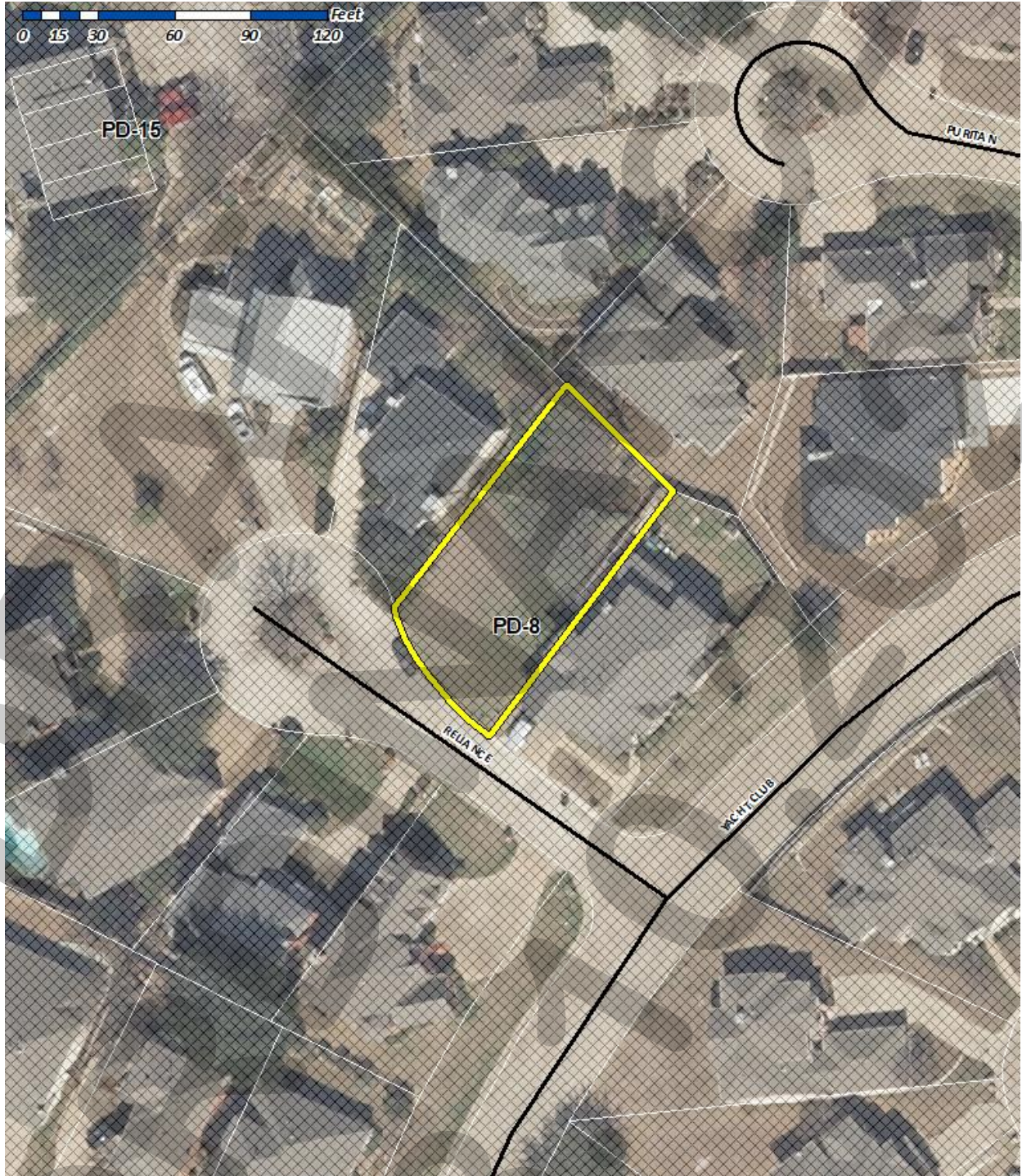


Exhibit 'B':
Residential Plot Plan

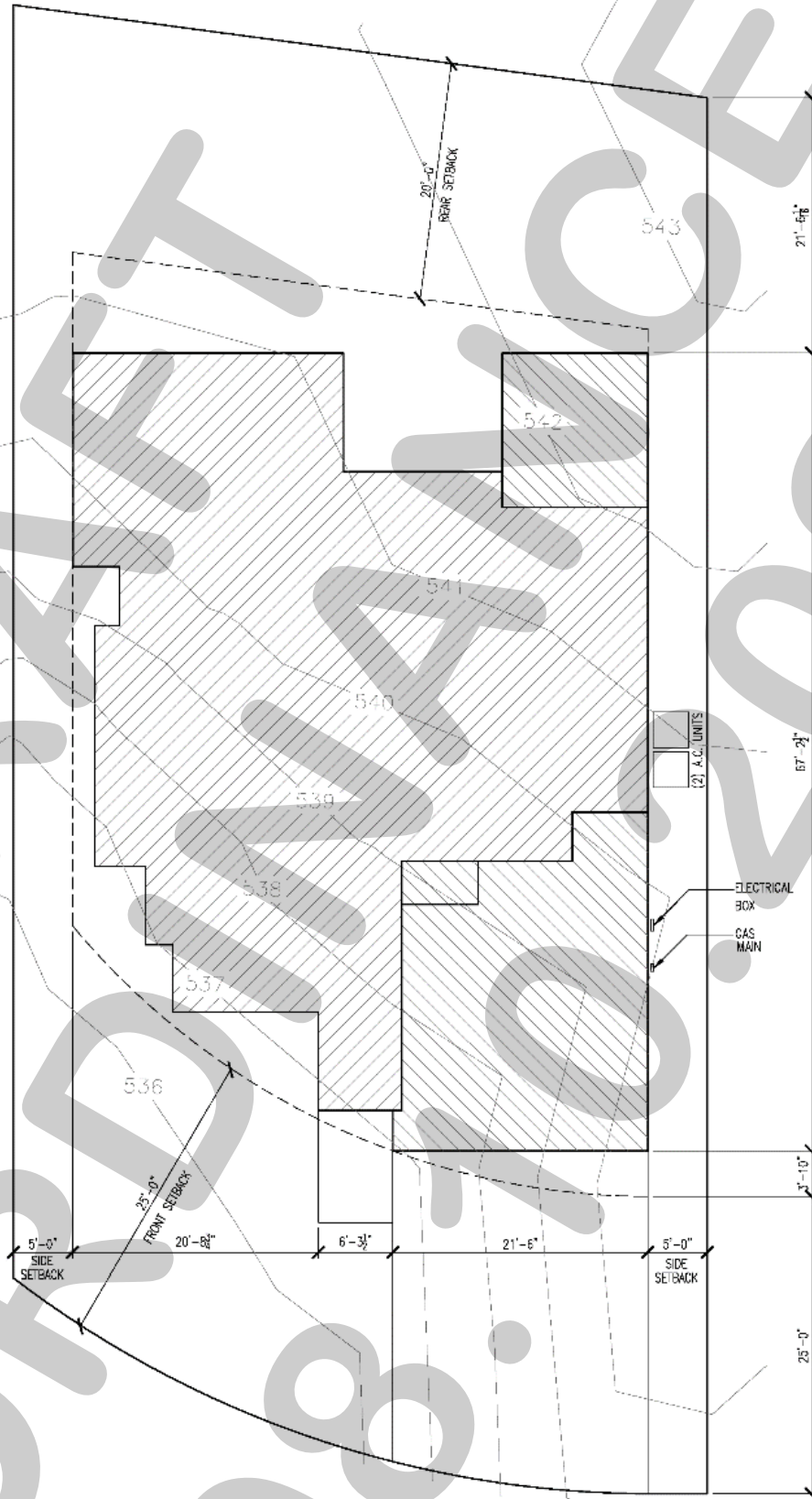


Exhibit 'C': Building Elevations

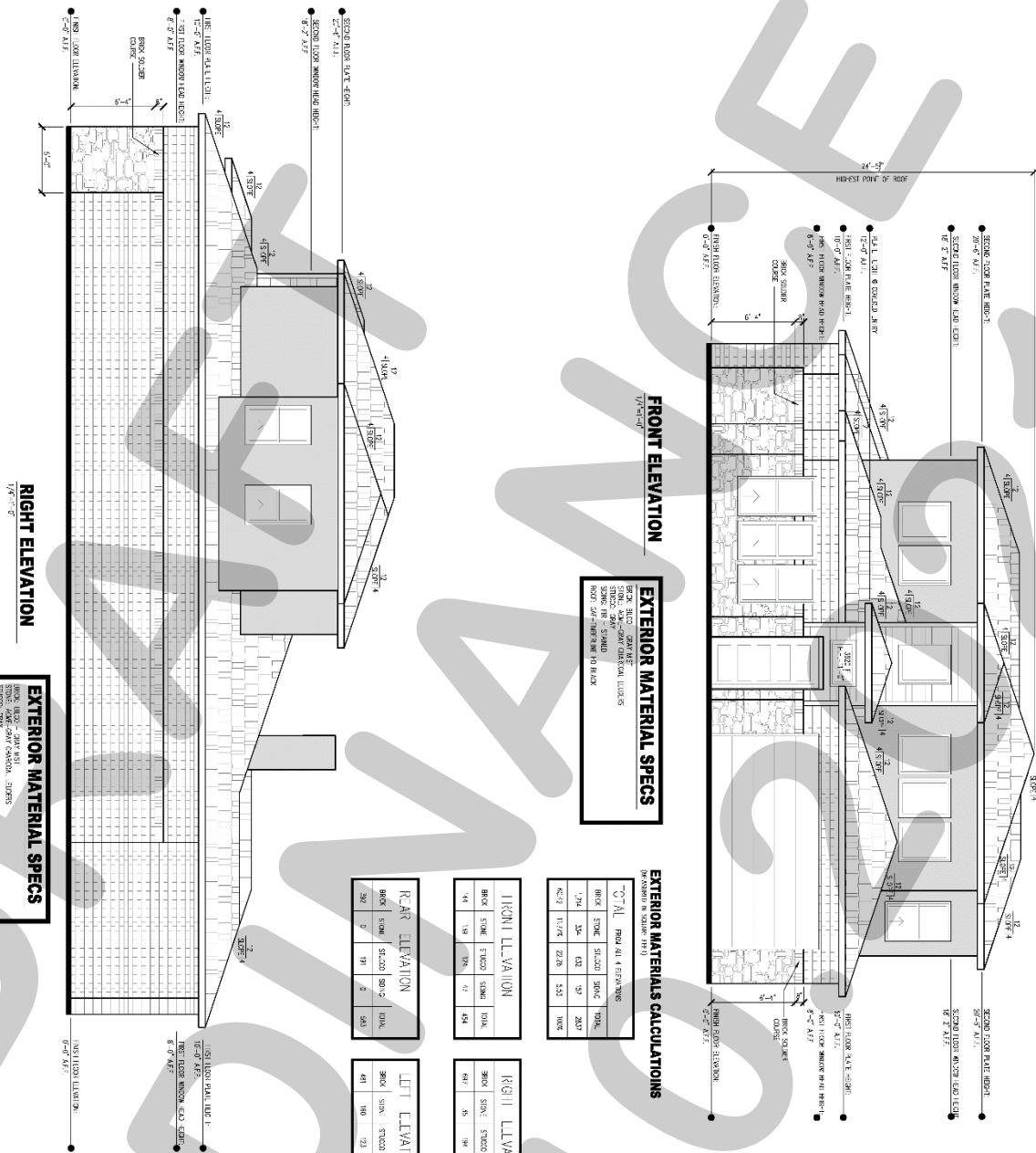
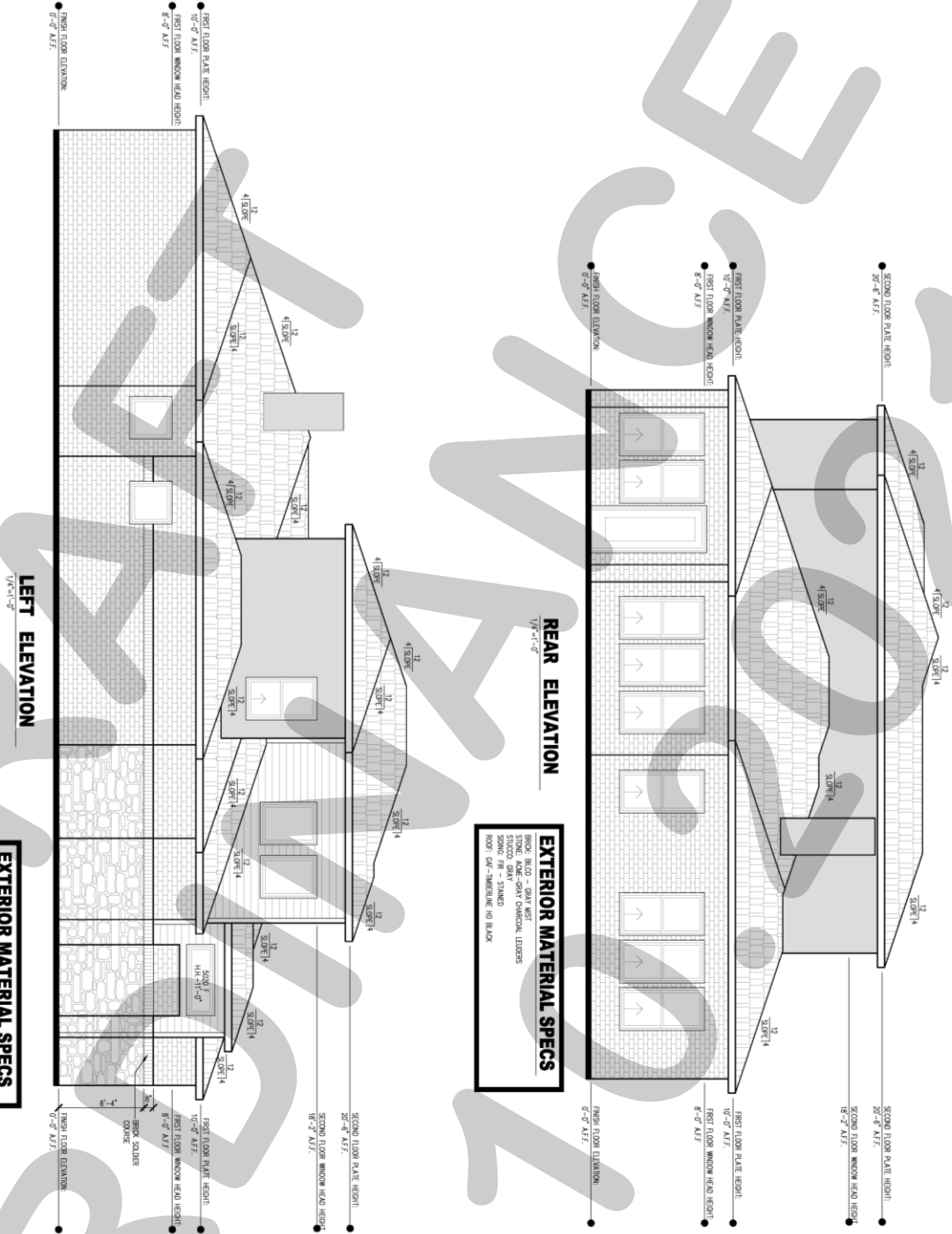


Exhibit 'C':
Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 10, 2021
APPLICANT: Ed Cavendish; *Cavendish Homes*
CASE NUMBER: Z2021-030; *Specific Use Permit (SUP) for a Residential Infill for 118 Mischief Lane*

SUMMARY

Hold a public hearing to discuss and consider a request by Ed Cavendish of Cavendish Homes for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1637- acre parcel of land identified as Lot 12, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 118 Mischief Lane, and take any action necessary..

BACKGROUND

The subject property was annexed into the City of Rockwall on October 29, 1973 by *Ordinance No. 73-42*, and rezoned to Planned Development District 8 (PD-8) by *Ordinance No. 73-48*. Phase 20 was later amended by *Ordinance No. 85-43* on August 26, 1985. A preliminary plat (*Case No. PZ1985-049-01*) and a final plat (*Case No. PZ1985-051-01*) for Phase 20 of the Chandler's Landing Subdivision were later approved on July 2, 1985. This established the subject property as Lot 12, Block A, Chandler's Landing, Phase 20. The subject property remains zoned Planned Development District 8 (PD-8) and has been vacant since it was originally platted.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 118 Mischief Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are Phases 2 & 3 of the Signal Ridge subdivision. Phase 2 of the Signal Ridge subdivision consists of 57 townhomes on 3.98-acres, and Phase 3 of the Signal Ridge subdivision consists of 113 townhomes on 8.88-acres. Beyond this is Phase 4 of the Signal Ridge subdivision, which consists of 125 townhomes on 6.78-acres. All of these phases of the Signal Ridge Subdivision are zoned Planned Development District 15 (PD-15) for *condominium* land uses.

South: Directly south of the subject property is Mischief Lane, which is identified as a *R2 (i.e. residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the remainder of Phase 20 of the Chandler's Landing Subdivision, which consists of 63 single-family residential lots on 12.11-acres. This property is zoned Planned Development District 8 (PD-8) for single-family residential land uses. South of this is Yacht Club Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is Mischief Lane, which is identified as a *R2 (i.e. residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

Comprehensive Plan. Beyond this is the remainder of Phase 20 of the Chandler's Landing Subdivision, which consists of 63 single-family residential lots on 12.11-acres. This property is zoned Planned Development District 8 (PD-8) for single-family residential land uses. East of this is Yacht Club Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is 120 Mischief Lane, followed by Phase 3 of the Signal Ridge subdivision. Phase 3 of the Signal Ridge subdivision consists of 113 townhomes on 8.88-acres. 120 Mischief Lane is zoned Planned Development District 8 (PD-8) for single-family residential land uses, and Phase 3 of the Signal Ridge subdivision is zoned Planned Development District 15 (PD-15) for *condominium* land uses.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." The subject property is part of the Phase 20 of the Chandler's Landing Subdivision, which has been in existence since 1985 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Mischief Lane compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Mischief Lane	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes located along Mischief Lane are oriented towards Mischief Lane, with the exception of 132 Mischief Lane. This house is oriented towards Yacht Club Drive	The front elevation of the home will face onto Mischief Lane.
Year Built	1990-2016	N/A
Building SF on Property	2,097 SF – 4,000 SF	2,417 SF
Building Architecture	Traditional Brick/Stone Suburban Residential with One (1) Modern Home	Comparable Architecture to the Existing Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	25-Feet
Side	The side yard setbacks appear to conform to the required five (5) foot side yard setback.	5-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	20-Feet
Building Materials	HardiBoard/HardiePlank, Brick, Stone and Stucco.	Combination of HardiPlank Siding and Brick
Paint and Color	White, Cream, Red, Pink, Beige, Grey, and Brown	<i>Undefined by the Applicant</i>
Roofs	Composite Shingles	Composite Shingle
Driveways	Driveways are all in the front and visible from Mischief Lane with the orientations being <i>flat front entry, garage forward entry, side entry, and 'J' or traditional swing entry.</i>	The garage will be situated 8.6-feet in front of the front façade of the home.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to orient the garage so that it projects in front of the front façade of the single-family home by 8.6-feet. Staff should point out that since the construction range for housing in this area extends from 1990-2016, the houses in this area already have several garage configurations that would be deemed to be legally non-conforming (*i.e. they were conforming when they were constructed; however, due to changes in the code they are no longer conforming and would not be permitted to be built in this configuration today*). In addition, there is one (1) other home (*i.e. 116 Mischief Lane*) that appears to have a similar garage configuration as to what is being proposed by the applicant; however, this aspect is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the Planning and Zoning Commission and City Council will be waiving the garage orientation requirement. With this being said, staff should point out -- *that with the exception of the garage orientation* -- the proposed single-family home meets all of the density and dimensional requirements stipulated by Planned Development District 8 [*Ordinance No. 85-43*] and the Unified Development Code (UDC).

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Mischief Lane and the proposed building elevations in the attached packet.

NOTIFICATIONS

On July 27, 2021, staff mailed 284 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Water’s Edge at Lake Ray Hubbard, Signal Ridge, Signal Ridge Phase 4, Lago Vista, and Chandler’s Landing Homeowner’s Associations (HOAs), which are the only HOA’s or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any returned notices.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant’s request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit ‘B’* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit ‘C’* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

118 MASCHER LN

SUBDIVISION

CHANDLER LAUNDRY

LOT

12

BLOCK

20A

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

CAVENDISH HOMES

ED CAVENDISH

1017 NATIVE TRL

HEATH TX 75032

214-202-4607

ED.CAVENDISH@celibros.net

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ed Cavendish [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

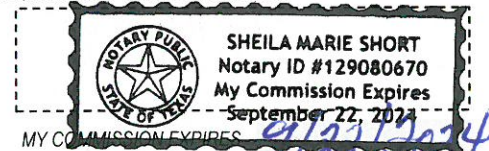
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF July 2021

OWNER'S SIGNATURE

Ed Cavendish
Sheila Marie Short

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2021-030- SUP FOR RESIDENTIAL INFILL
AT 118 MISCHIEF LANE
ZONING - LOCATION MAP = [icon]



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

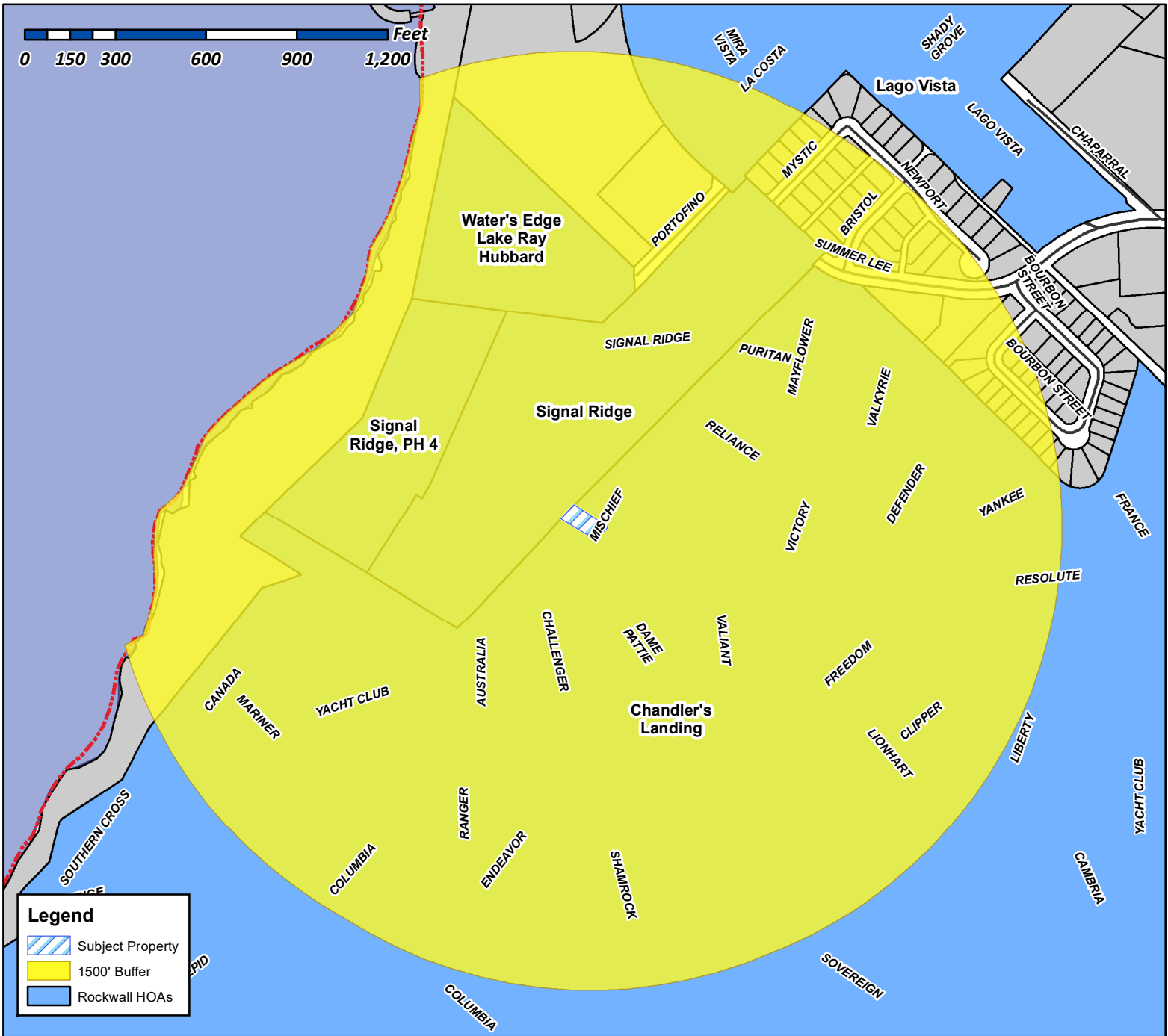




City of Rockwall

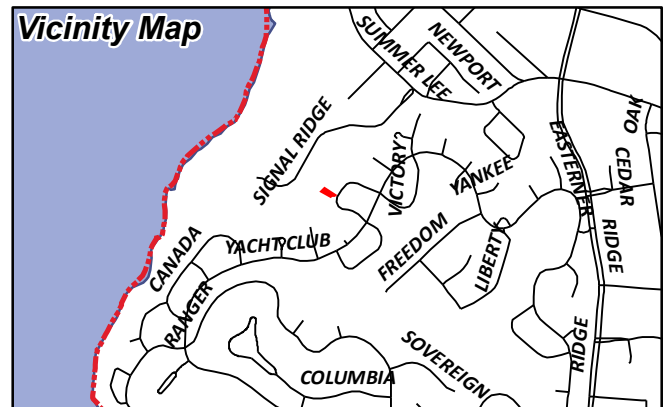
Planning & Zoning Department
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Case Number: Z2021-030
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 118 Mischief Lane

Date Created: 7/16/2021
 For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Gamez, Angelica
Sent: Monday, July 26, 2021 11:52 AM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program [Z2021-030]
Attachments: PON Map Z2021-030.pdf; Public Notice (07.26.2021).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *July 23, 2021*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, August 10, 2021 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, August 16, 2021 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-030 Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Ed Cavendish of Cavendish Homes for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1637-acre parcel of land identified as Lot 12, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 118 Mischief Lane, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

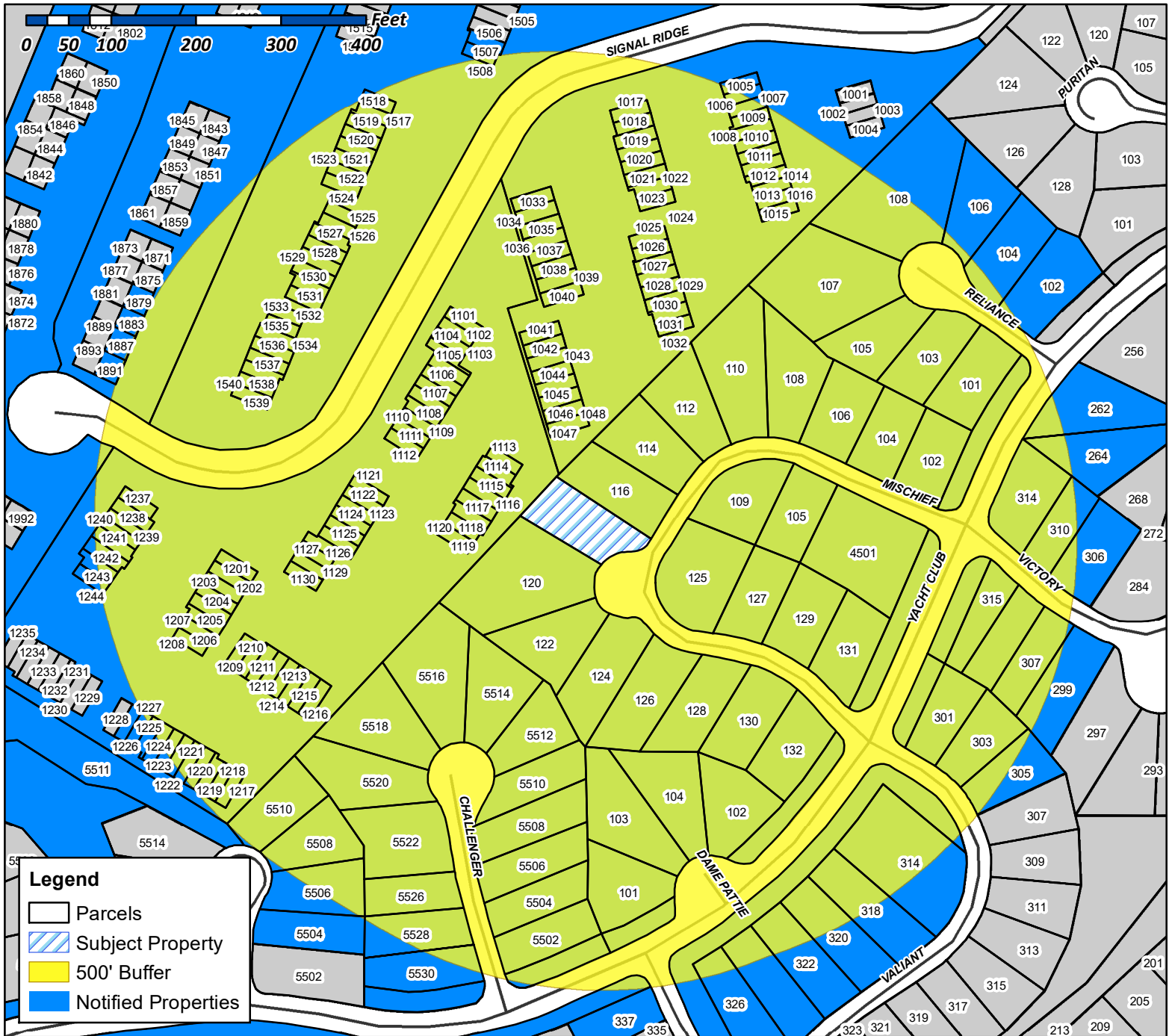
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City of Rockwall

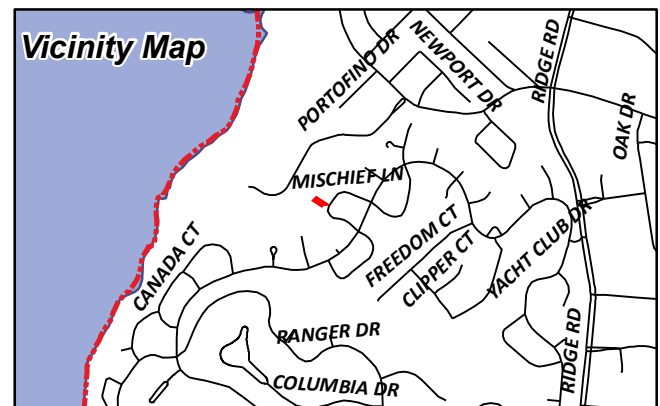
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Case Number: Z2021-030
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SIGNAL RIDGE OWNERS ASSOCIATION
1000 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MARICH ENTERPRISE CORPORATION
1005 SIGNAL RIDGE PL
ROCKWALL, TX 75032

SEPEHRI SUSAN M
1006 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BROYLES STEPHANIE
1007 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CHAPMAN PAMELA JEAN
1008 SIGNAL RIDGE
ROCKWALL, TX 75032

MIEROW SHARON A
1009 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MAFFEI DIEGO R & GERTRAUD A
101 DAME PATTIE DR
ROCKWALL, TX 75032

GOODSON JOSEPH F & SONJA R
101 RELIANCE CT
ROCKWALL, TX 75032

HIGGINS MICHAEL R AND ANN S
1010 SIGNAL RIDGE PL
ROCKWALL, TX 75032

FOREMAN JANET
1011 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ESTILL KENNETH W & CONNIE R
1012 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ESTILL KENNETH W & CONNIE R
1012 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MOORE GREGORY J
1013 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOHNSON ASHLEY
1014 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1015 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GRAGG CAROL
1016 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC
1017 NATIVE TR
HEATH, TX 75032

GARDNER DAVID L REV LIV TR
1017 SIGNAL RIDGE PL
ROCKWALL, TX 75032

TROTTER STEVEN D
1018 SIGNAL RIDGE PL
ROCKWALL, TX 75032

AMHILL FINANCIAL LP
ATTN JIM PETERS
1019 SIGNAL RIDGE PL
ROCKWALL, TX 75032

HUNTER STEVEN R AND KAREN J
102 DAME PATTIE DRIVE
ROCKWALL, TX 75032

HALL JASON & CORI
102 MISCHIEFLN
ROCKWALL, TX 75032

CHENAULT JOSH & NATHALIE
102 RELIANCE COURT
ROCKWALL, TX 75032

WAGNER JULIE A
1020 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

CHAMBERLIN PROPERTIES LLC
1021 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DAFFRON JAMES R SR & ANDREA
1022 SIGNAL RIDGE PL
ROCKWALL, TX 75032

HAIL CHRIS & MELODY
1023 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VAIL SYDNEY
1024 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MCMURTRE DREW
1025 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WHITE RANDY
1026 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MCPARTLAND MARY C
1027 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ALVARADO KRESHA
1028 SIGNAL RIDGEPL
ROCKWALL, TX 75032

PRESTON DEWEY D & NANNETTE
1029 SIGNAL RIDGEPL
ROCKWALL, TX 75032

THOMAS VELIA
103 DAME PATTIE
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
103 GROSS RD
MESQUITE, TX 75149

SINCLAIR SUE AND
JEREMY LEE SINCLAIR
103 RELIANCET
ROCKWALL, TX 75032

MILLENNIUM TRUST COMPANY LLC
CUSTODIAN FBO WILLIAM COMPTON
1030 SIGNAL RIDGEPL
ROCKWALL, TX 75032

MILLENNIUM TRUST COMPANY LLC
CUSTODIAN FBO WILLIAM COMPTON
1031 SIGNAL RIDGEPL
ROCKWALL, TX 75032

PERROTTA SHARON
1032 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOHNSTON SHARRON
1033 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BURKETT MARY REBECCA EASON
1034 SIGNAL RIDGEPL
ROCKWALL, TX 75032

FALLS DAVID & TERRI
1035 SIGNAL RIDGEPL
ROCKWALL, TX 75032

PRYOR MICA MALONEY
1036 SIGNAL RIDGE PLACE #1036
ROCKWALL, TX 75032

GORDON NANCY ARAKAKI
1037 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BEVILL HELEN M AND
CHANDRA KARLEN
1038 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
ATTN:TOM LORENZ
1039 SIGNAL RIDGEPL
ROCKWALL, TX 75032

FAYAD HUSSAIN
104 DAME PATTIE DRIVE
ROCKWALL, TX 75032

CARR LORI
104 MISCHIEF LN
ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC
104 RELIANCET
ROCKWALL, TX 75032

ARMSTRONG D
1040 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BREZ RAYMOND C & M LYNNE TRUSTEES
BREZ FAMILY TRUST
1041 SIGNAL RIDGEPL
ROCKWALL, TX 75032

ARMSTRONG D
1042 SIGNAL RIDGEPL
ROCKWALL, TX 75032

NICHOLS JANET
1043 SIGNAL RIDGE PL
ROCKWALL, TX 75032

TRINGALI CAHTERINE
1044 SIGNAL RIDGE PL
ROCKWALL, TX 75032

KILGORE MADISON
1045 SIGNAL RIDGE PL
ROCKWALL, TX 75032

YANGER LISA
1046 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ARMSTRONG JOHN D III AND INDIVIDUAL
1047 SIGNAL RIDGEPL
ROCKWALL, TX 75032

ZAIDL SALLY A
1048 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOHNSON ROBERT & DOLORES
105 MISCHIEF LN
ROCKWALL, TX 75032

HAYES BRANDON
105 RELIANCE CT
ROCKWALL, TX 75032

GRAF DANIEL & JESSICA
106 MISCHIEF LANE
ROCKWALL, TX 75032

CHRISTIAN ANGELA LEE
106 RELIANCE CT
ROCKWALL, TX 75032

TOVAR ADAN AND CAROLYNN JEWELL MALICK-
GILBREATH
107 RELIANCE CT
ROCKWALL, TX 75032

CARRILLO VICTOR G
108 MISCHIEF LN
ROCKWALL, TX 75032

PETERSEN CARL S & WENDY
108 RELIANCE CT
ROCKWALL, TX 75032

HAGIN GARY L & W ANNE
109 MISCHIEF LN
ROCKWALL, TX 75032

DILOV VANIO
110 MISCHIEFLN
ROCKWALL, TX 75032

FULTZ PEGGY J & TOMMY G
1101 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1102 SIGNAL RIDGEPL
ROCKWALL, TX 75032

HARRIS SUSAN
1103 SIGNAL RIDGEPL
ROCKWALL, TX 75032

GARZA OLIVIA L AND FIDENCIO
1104 SIGNAL RIDGE #1104
ROCKWALL, TX 75032

GARDNER DAVID L REVOCABLE LIVING TRUST
DAVID L GARDNER TRUSTEE
1105 51ST ST W
BRADENTON, FL 34209

DAVIS ROBERT NEAL
1105 MELISSA LN
GARLAND, TX 75040

LARAPINTA LLC
1105 SIGNAL RIDGEPL
ROCKWALL, TX 75032

OGLIN THOMAS J & JOYCE L
1106 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PARNES DROR & ALEXANDRA
1107 SIGNAL RIDGEPL
ROCKWALL, TX 75032

CHAMBERLIN PROPERTIES LLC
1108 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1109 SIGNAL RIDGEPL
ROCKWALL, TX 75032

DAVID L GARDNER REVOCABLE LIVING TRUST
1110 SIGNAL RIDGEPL
ROCKWALL, TX 75032

HERNANDEZ REBECCA SHANNON BURKETT
1111 SIGNAL RIDGEPL
ROCKWALL, TX 75032

TWOMEY ELIZABETH A
1112 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1113 SIGNAL RIDGEPL
ROCKWALL, TX 75032

OLSEN CATHERINE A
1114 SIGNAL RIDGEPL
ROCKWALL, TX 75032

MATHERNE JUDITH L
1115 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MAKE READY RENOVATIONS LLC
1116 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DAVID L GARDNER REVOCABLE LIVING TRUST
1117 SIGNAL RIDGEPL
ROCKWALL, TX 75032

LEVENTHAL PATRICK J
1118 SIGNAL RIDGE PL
ROCKWALL, TX 75032

METZGER JACQUELINE
1119 SIGNAL RIDGE PL
ROCKWALL, TX 75032

TAN DAVID L AND SHANNON K
112 MISCHIEF LANE
ROCKWALL, TX 75032

LAMAN FRANCES ANN
1120 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BURKETT BENJAMIN HERRINGTON E
MARY R BURKETT CUSTODIAN
1121 SIGNAL RIDGEPL
ROCKWALL, TX 75032

LAWRENCE ALAN
1122 SIGNAL RIDGE PLACE # 1122
ROCKWALL, TX 75032

AMHILL FINANCIAL, LP
1123 SIGNAL RIDGEPL
ROCKWALL, TX 75032

PAIGE RYAN PROPERTIES LLC
1124 SIGNAL RIDGEPL
ROCKWALL, TX 75032

CROW BILL CHARLES & RUTH ELIZABETH
1125 SIGNAL RIDGEPL
ROCKWALL, TX 75032

GUERRA CHRISTOPHER
1126 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1127 SIGNAL RIDGEPL
ROCKWALL, TX 75032

VAUGHAN CULLY & SARA
1128 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1129 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1130 SIGNAL RIDGEPL
ROCKWALL, TX 75032

GEORGE ELIZABETH M AND ROBIN J
114 MISCHIEF LANE
ROCKWALL, TX 75032

LETT LORNA
116 MISCHIEF LN
ROCKWALL, TX 75032

COOK NATHAN & COURTNEY
120 MISCHIEF LN
ROCKWALL, TX 75032

BURKETT MARY REBECCA EASON
1201 SIGNAL RIDGEPL
ROCKWALL, TX 75032

DAVIS ROBERT NEAL
1202 SIGNAL RIDGEPL
ROCKWALL, TX 75032

CLARKE BEVERLY ANN
1203 SIGNAL RIDGE PL #3
ROCKWALL, TX 75032

DAVID L GARDNER REVOCABLE LIVING TRUST
1204 SIGNAL RIDGEPL
ROCKWALL, TX 75032

SELZER DEANNA
1205 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
ATTN:TOM LORENZ
1206 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BURKETT MARY REBECCA
1207 SIGNAL RIDGEPL
ROCKWALL, TX 75032

ADAMS LINDA RUTH
1208 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BUNYASAI PARIYADA
1209 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BURKETT MARY REBECCA EASON
1210 SIGNAL RIDGEPL
ROCKWALL, TX 75032

LANE DEBRA
1211 SIGNAL RIDGE
ROCKWALL, TX 75032

RICHMOND JANET M & TOM R
1212 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BROWNE STANLEY H & SANDRA R
1213 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CHAMBERLIN PROPERTIES LLC
1213 STONEWALL TRL
ROCKWALL, TX 75032

DAVID L GARDNER REVOCABLE LIVING TRUST
1214 SIGNAL RIDGEPL
ROCKWALL, TX 75032

HERNANDEZ REBECCA SHANNON BURKETT
1215 SIGNAL RIDGEPL
ROCKWALL, TX 75032

DALE ROBERT WAYNE
1216 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BURKETT MARY R
CUSTODIAN F/BENJAMIN HERRINGTON E
BURKETT
1217 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BURKETT MARY REBECCA EASON
1218 SIGNAL RIDGEPL
ROCKWALL, TX 75032

HERNANDEZ REBECCA SHANNON BURKETT
1219 SIGNAL RIDGEPL
ROCKWALL, TX 75032

LOWREY COLT A AND
LEO WISE
122 MISCHIEF LN
ROCKWALL, TX 75032

BURKETT MARY REBECCA EASON
1220 SIGNAL RIDGEPL
ROCKWALL, TX 75032

LASAGE TAMMY
1221 SIGNAL RIDGE PL #1221
ROCKWALL, TX 75032

CHAMBERLIN PROPERTIES LLC
1222 SIGNAL RIDGEPL
ROCKWALL, TX 75032

DWYER AMY SUZANNE
1223 SIGNAL RIDGEPL
ROCKWALL, TX 75032

MEYRAT JULIEN BALDRIDGE
1224 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BURKETT BENJAMIN HERRINGTON E
MARY R BURKETT CUSTODIAN
1225 SIGNAL RIDGEPL
ROCKWALL, TX 75032

RUSSELL VIRGINIA C
1226 SIGNAL RIDGE PL
ROCKWALL, TX 75032

COGBURN DEWAYNE AND GLENNA
1227 SIGNAL RIDGEPL
ROCKWALL, TX 75032

STEWART BEVERLY
1237 SIGNAL RIDGEPL
ROCKWALL, TX 75032

MILLS DONNA
1238 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

TULK SHARON KAYE
1239 SIGNAL RIDGEPL
ROCKWALL, TX 75032

MONTOYA ASHLEY R & JOSE L
124 MISCHIEF LANE
ROCKWALL, TX 75032

NGUYEN KIM LOAN
1240 SIGNAL RIDGE PL
ROCKWALL, TX 75032

INDRA SUSANNA
1241 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

INDRA SUSANNA
1241 SIGNAL RIDGEPL
ROCKWALL, TX 75032

COCANOUGH T TODD M
1242 SIGNAL RIDGEPL
ROCKWALL, TX 75032

JDM RENTALS I LLC
1243 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BUNYASAI PARIYADA
1244 SIGNAL RIDGEPL
ROCKWALL, TX 75032

ODOM LACEY AND JOSH
125 MISCHIEFLN
ROCKWALL, TX 75032

STEWART BEVERLY
125 SHEPHERDS GLEN RD
ROCKWALL, TX 75032

HUIE LONDON DARNELL AND KRISTIN NOEL
126 MISCHIEF LANE
ROCKWALL, TX 75032

MARTIN NAN YI
127 MICHIEF LANE
ROCKWALL, TX 75032

HALAMA STEVEN
128 MISCHIEF LN
ROCKWALL, TX 75032

MANSFIELD PHYLLIS J
129 MISCHIEF LANE
ROCKWALL, TX 75032

HARGROVE PATRICIA ANN
130 MISCHIEF LANE
ROCKWALL, TX 75032

CHURY JENNIFER LEIGH & BRIAN D
131 MISCHIEF LANE
ROCKWALL, TX 75032

ROSHAN KC
132 MISCHIEFLN
ROCKWALL, TX 75032

SCHUERENBERG CHARLES AND PENNIE
138 OXBOW CV
HOLLY LAKE RANCH, TX 75765

LANIGAN TIFFANY LEE
143 STEVENSON DR
FATE, TX 75087

HAIL CHRIS & MELODY
145 WESTON CT
ROCKWALL, TX 75032

JOHNSON TIFFANY MICHELLE
148 OXFORD
HEATH, TX 75032

JOHNSON TIFFANY MICHELLE
148 OXFORD DR
HEATH, TX 75032

PARNES DROR & ALEXANDRA
15 KESTREL COURT
ROCKWALL, TX 75032

PRESTON DEWEY D & NANNETTE
1501 S LAKESHORE DR
ROCKWALL, TX 75087

WOOD BARBARA E
1507 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
1508 SIGNAL RIDGEPL
ROCKWALL, TX 75032

GIFFORD JIM L & PAMELA
1517 SIGNAL RIDGEPL
ROCKWALL, TX 75032

GARDNER DAVID L REVOCABLE LIVING TRUST
DAVID L GARDNER TRUSTEE
1518 SIGNAL RIDGEPL
ROCKWALL, TX 75032

YANGER MORRIS & DORIS
1519 SIGNAL RIDGEPL
ROCKWALL, TX 75032

DECKER SARAH E
1520 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MCCLENDON JAMIE
1521 SIGNAL RIDGE PL
ROCKWALL, TX 75032

KUMAR ANVITA
1522 SIGNAL RIDGEPL
ROCKWALL, TX 75032

MORTGAGE EQUITY CONVERSION ASSET TRUST
2011-1
1523 SIGNAL RIDGEPL
ROCKWALL, TX 75032

TABOR MARILYN W
1524 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MILLENNIUM TRUST COMPANY LLC
CUSTODIAN FBO WILLIAM COMPTON
1525 SIGNAL RIDGEPL
ROCKWALL, TX 75032

SEVILLA ELIZABETH
1526 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PALERMO JAMES ALBERT
1527 SIGNAL RIDGEPL
ROCKWALL, TX 75032

COLLINS KATHY
1528 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PRICE MOLLIE L TRUST
MOLLIE L PRICE TRUSTEE
1529 SIGNAL RIDGEPL
ROCKWALL, TX 75032

AMHILL FINANCIAL LLP
1530 SIGNAL RIDGEPL
ROCKWALL, TX 75032

PRICE MOLLIE L TRUST
MOLLIE PRICE TRUSTEE
1531 SIGNAL RIDGEPL
ROCKWALL, TX 75032

SRYGLEY JAMES
1532 SIGNAL RIDGEPL
ROCKWALL, TX 75032

YANGER MORRIS & DORIS
1533 SIGNAL RIDGEPL
ROCKWALL, TX 75032

CURRENS WAYNE AND ARLENE
1534 SIGNAL RIDGE PLACE
HEATH, TX 75032

SCHUERENBERG CHARLES AND PENNIE
1535 SIGNAL RIDGEPL
ROCKWALL, TX 75032

AMHILL FINANCIAL L.P.
1536 SIGNAL RIDGEPL
ROCKWALL, TX 75032

LANIGAN TIFFANY LEE
1537 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BALDWIN GLENN RAY
1538 SIGNAL RIDGEPL
ROCKWALL, TX 75032

CURRENS WAYNE AND ARLENE
1539 SIGNAL RIDGEPL
ROCKWALL, TX 75032

MCCROSKIE ADAM
1540 SIGNAL RIDGEPL
ROCKWALL, TX 75032

CURRENS WAYNE AND ARLENE
16 LAKEWAY DRIVE
ROCKWALL, TX 75032

MILLER LYNETTE LIFE ESTATE
ALISON LYN FOX
1601 BAYCREST TRAIL
HEATH, TX 75032

2019-1 IH BORROWER LP
1717 MAIN SST SUITE 2000
DALLAS, TX 75201

COCANOUGH T TODD M
1810 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

1879 ROCKETEER HOLDINGS LLC
1879 SIGNAL RIDGEPL
ROCKWALL, TX 75032

NAGEL CHARLES I
1883 SIGNAL RIDGEPL
ROCKWALL, TX 75032

RUBLE ROLAND E AND BARBARA R
1887 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

MILLER LYNETTE LIFE ESTATE
ALISON LYN FOX
1891 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BREZ RAYMOND C & M LYNNE TRUSTEES
BREZ FAMILY TRUST
1910 SIGNAL RIDGE
ROCKWALL, TX 75032

OLSEN CATHERINE A
1920 KINGS PASS
HEATH, TX 75032

MILLENNIUM TRUST COMPANY LLC
CUSTODIAN FBO WILLIAM COMPTON
2001 SPRING RD SUITE 700
OAK BROOK, IL 60523

LARAPINTA LLC
2028 E. BEN WHITE BLVD # 240-5820
AUSTIN, TX 75741

MOORE GREGORY J
2140 PORTOFINO DR
ROCKWALL, TX 75032

BALDWIN GLENN RAY
216 STANFORD CT
HEATH, TX 75032

1879 ROCKETEER HOLDINGS LLC
2200 ROSS AVE 3600
DALLAS, TX 75201

GORDON NANCY ARAKAKI
2215 ARRINGTON ST
DURHAM, NC 27707

COGBURN DEWAYNE AND GLENNA
2400 TRINITY COURT
HEATH, TX 75032

ODOM LACEY AND JOSH
2402 YACHT CLUB DR
ROCKWALL, TX 75032

THOMAS VELIA
2612 GULL LAKE DRIVE
PLANO, TX 75025

HANSEN J D & PATRICIA
262 VICTORY LN
ROCKWALL, TX 75032

2019-1 IH BORROWER LP
264 VICTORYLN
ROCKWALL, TX 75032

DILOV VANIO
2717 LAKEWOOD DR
ROWLETT, TX 75088

BURKETT BENJAMIN HERRINGTON E
MARY R BURKETT CUSTODIAN
277 TERRY LANE
HEATH, TX 75032

HALL JASON & CORI
284 VICTORY LN
ROCKWALL, TX 75032

SEEDS DAVID R
2961 S CHERRY WAY
DENVER, CO 80222

BEVILL HELEN M AND
CHANDRA KARLEN
2977 OAK DR
ROCKWALL, TX 75032

PERRY GEORGE DAVID & SANDRA SUE
299 VICTORY LN
ROCKWALL, TX 75032

MCMURTRE DREW
3000 TWIN LAKES DR
PROSPER, TX 75078

STOUFFER AMY JACKSON AND MITCH
301 VALIANT
ROCKWALL, TX 75032

WARD ANDREA N
303 VALIANT DRIVE
ROCKWALL, TX 75032

HERNANDEZ REBECCA SHANNON BURKETT
3048 CANDLEWICK LANE
FARMERS BRANCH, TX 75234

DEAL ROBERT
305 VALIANT DRIVE
ROCKWALL, TX 75032

MCMINN KIMBERLY
306 VICTORYLN
ROCKWALL, TX 75032

AMH 2014-2 BORROWER LLC
30601 AGOURA RD SUITE 200
AGOURA HILLS, CA 91301

MCNAIR KELLY
307 VICTORY LN
ROCKWALL, TX 75032

FALLS DAVID & TERRI
309 ROOKERY CT
MARCO ISLAND, FL 34145

AMH 2014-2 BORROWER LLC
310 VICTORYLN
ROCKWALL, TX 75032

NAGEL CHARLES I
314 PINECREST DRIVE
GERMANTOWN HILLS, IL 61548

SMITH JOSHUA AND
MAEGAN HOLLOWAY
314 VALIANT DR
ROCKWALL, TX 75032

MAY DEBRA AND RODNEY
314 VICTORY LN
ROCKWALL, TX 75032

LOREDO SARAHI
315 VICTORY LN
ROCKWALL, TX 75032

MURPHY CASEY D AND BRIANNA
318 VALIANT DRIVE
ROCKWALL, TX 75032

SINCLAIR SUE AND
JEREMY LEE SINCLAIR
32 LAKEWAY DRIVE
HEATH, TX 75032

HANSEN JOSH AND
RACHEL THORNQUIST
320 VALIANT DRIVE
ROCKWALL, TX 75032

CONDIT TINA
322 VALIANT DRIVE
ROCKWALL, TX 75032

JOHNSON TIFFANY MICHELLE
326 VALIANTDR
ROCKWALL, TX 75032

HARMON H VICTOR
337 VALIANTDR
ROCKWALL, TX 75032

BUNYASAI PARIYADA
3416 CAMPUS AVE
CLAREMONT, CA 91711

TULK SHARON KAYE
408 COLUMBIA DR
ROCKWALL, TX 75032

PALERMO JAMES ALBERT
411 DRIFTWOOD ST
ROCKWALL, TX 75087

YANGER MORRIS & DORIS
427 COLUMBIA DR
ROCKWALL, TX 75032

YANGER MORRIS & DORIS
427 COLUMBIA DR
ROCKWALL, TX 75032

RUBENSTEIN ALAN J AND
GINA L STRICKLIN
4501 YACHT CLUB DR
ROCKWALL, TX 75032

KUMAR ANVITA
4701 COPPER MOUNTAIN LANE
RICHARDSON, TX 75082

SELZER DEANNA
510 TURTLE COVE BLVD STE 109
ROCKWALL, TX 75087

HARMON H VICTOR
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

ROSHAN KC
5335 BROADWAY BLVD #210
GARLAND, TX 75043

MARSHALL SAMUEL AND DIANA
5502 CHALLENGER CT
ROCKWALL, TX 75032

LINLEY ZACHARY AND ELIZABETH HOLLAND-
5504 AUSTRALIA COURT
ROCKWALL, TX 75032

MCKAY ADRIAN AND ROBERTA
5504 CHALLENGER CT
ROCKWALL, TX 75032

WILSON STEPHEN L & JANPRAPHA T
5506 AUSTRALIA CT
ROCKWALL, TX 75032

KJT FLYING PROPERTIES LLC
5506 CHALLENGERCT
ROCKWALL, TX 75032

YOUNG SHERRY WHITE
5508 AUSTRALIA CT
ROCKWALL, TX 75032

NORTON ANGELA
5508 CHALLENGER CT
ROCKWALL, TX 75032

DESROSIERS RONALD J
5510 AUSTRALIA CT
HEATH, TX 75032

BRADSHAW ADRIAN & ANDRIELLE JONES
5510 CHALLENGER COURT
ROCKWALL, TX 75032

TAYLOR JOE & CINDY
5511 AUSTRALIA CT
ROCKWALL, TX 75032

BEST JAMES AND DEBRA
5512 CHALLENGER CT
ROCKWALL, TX 75032

STARBIRD RYAN D AND LAUREN
5514 CHALLENGER CT
ROCKWALL, TX 75032

CABANISS CHAR CHERICE
DAVID R DE LA CERDA
5516 CHALLENGER CT
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
5518 CHALLENGER CT
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
5520 CHALLENGERCT
ROCKWALL, TX 75032

BUTLER MARY DELINA
5522 CHALLENGER COURT
ROCKWALL, TX 75032

CONFIDENTIAL
5526 CHALLENGER COURT
ROCKWALL, TX 75032

SHELTON ROBERT M
5528 CHALLENGER CT
ROCKWALL, TX 75032

WATKINS JAMES & ELLEN
5530 CHALLENGER CT
ROCKWALL, TX 75032

DWYER AMY SUZANNE
6101 VOLUNTEER PL
ROCKWALL, TX 75032

MCCROSKIE ADAM
620 TRIPP TRL
ROYSE CITY, TX 75189

GIFFORD JIM L & PAMELA
636 CALVIN DR
HEATH, TX 75032

ALVARADO KRESHA
710 BRAZOS WAY
ROCKWALL, TX 75032

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
782 HANOVER DR
ROCKWALL, TX 75087

ARMSTRONG JOHN D III AND INDIVIDUAL
804 EAGLE PASS
HEATH, TX 75032

CROW BILL CHARLES & RUTH ELIZABETH
828 CR 1035
COOPER, TX 75432

MORTGAGE EQUITY CONVERSION ASSET TRUST
2011-1
8950 CYPRESS WATERS BLVD
COPPELL, TX 75019

HARRIS SUSAN
9660 ALPHA LN
QUINLAN, TX 75474

PRICE MOLLIE L TRUST
MOLLIE L PRICE TRUSTEE
C/O CHARLES LINEVILLE P O BOX 743612
DALLAS, TX 75374

AMHILL FINANCIAL, LP
P. O. BOX 1179
ROCKWALL, TX 75087

PAIGE RYAN PROPERTIES LLC
P. O. BOX 853
WYLIE, TX 75098

MCMINN KIMBERLY
PMB 239 11654 PLAZA AMERICA DR
RESTON, VA 20190

RICHMOND JANET M & TOM R
PO BOX 1145
ROCKWALL, TX 75087

AMHILL FINANCIAL LP
ATTN JIM PETERS
PO BOX 1179
ROCKWALL, TX 75087

AMHILL FINANCIAL LLP
PO BOX 1179
ROCKWALL, TX 75087

KJT FLYING PROPERTIES LLC
PO BOX 1476
ROCKWALL, TX 75087

SRYGLEY JAMES
PO BOX 1928
ROCKWALL, TX 75087

JDM RENTALS I LLC
PO BOX 2110
ROCKWALL, TX 75087

MARICH ENTERPRISE CORPORATION
PO BOX 2319
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC
PO BOX 638
ROCKWALL, TX 75087

PRICE MOLLIE L TRUST
MOLLIE PRICE TRUSTEE
PO BOX 743612
DALLAS, TX 75374

RUSH MAJOR
PO BOX 760794
GARLAND, TX 75046

HIGGINS MICHAEL R AND ANN S
PO BOX 850225
MESQUITE, TX 75185

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-030: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Ed Cavendish of Cavendish Homes for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1637-acre parcel of land identified as Lot 12, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 118 Mischief Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 10, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 16, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 16, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2021-030: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

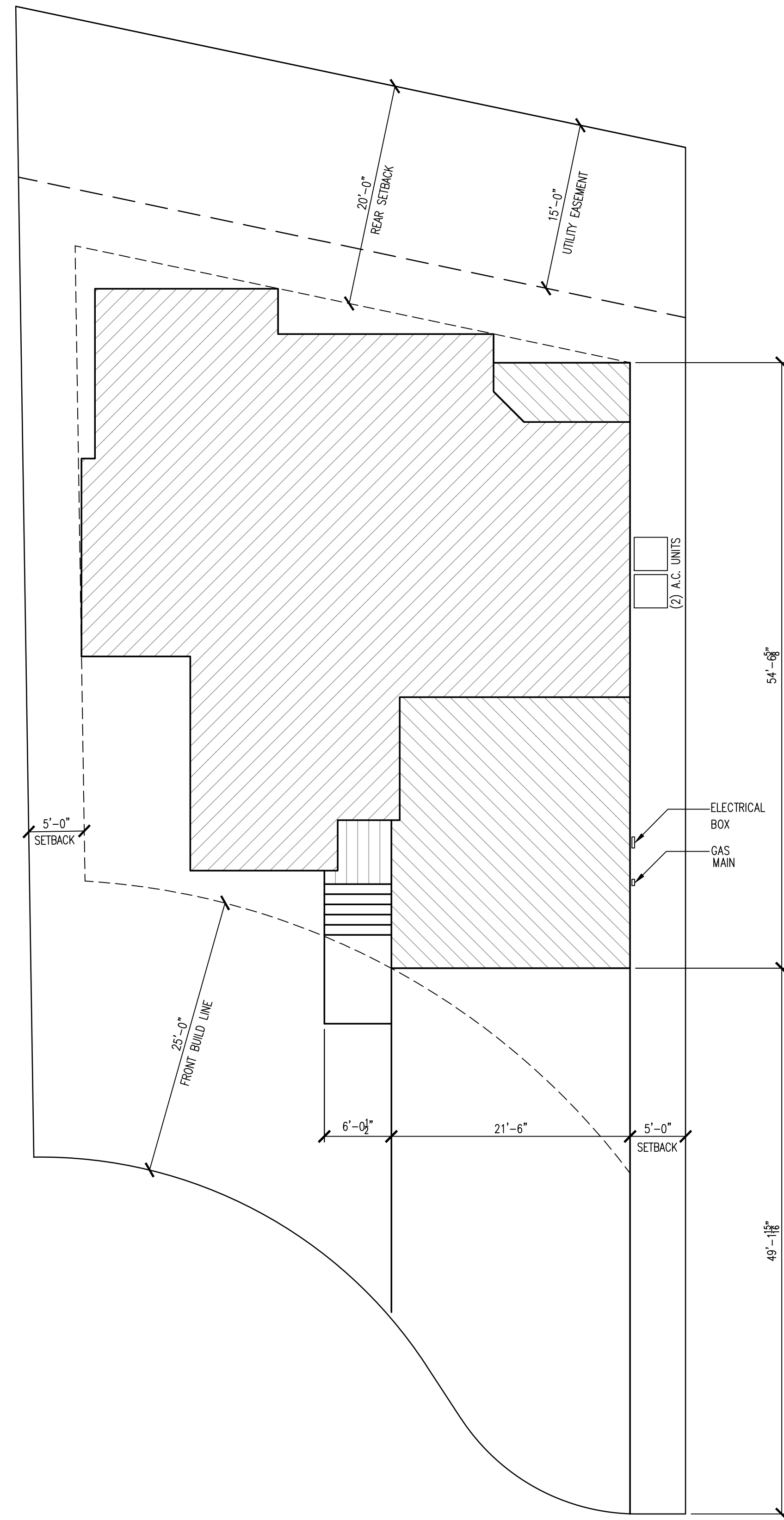
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



SLAB PROFILE ON SITE PLAN

SCALE: 1/8"=1'-0"

- NOTES:
1. TOPO INFORMATION WAS PROVIDED BY A THIRD PARTY. ALLEN GUSTAVSON IS NOT RESPONSIBLE FOR ANY OF THE TOPO OR SITE SURVEY INFORMATION. TOPO AND BEARINGS SHOWN FOR LAYOUT PURPOSES ONLY.
 2. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING IF BUILDING MEETS ALL SETBACK AND GRADING REQUIREMENTS
 3. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING AND DESIGNING RETAINING WALLS AND STRUCTURAL STEM WALLS
 4. LOT COVERAGE CALCULATIONS:
 LOT SIZE: 6656 SQUARE FEET
 COVERAGE: 2417 SQUARE FEET
 (INCLUDES ONLY SLAB COVERAGE)
 TOTAL ROOF COVERAGE OF LOT IS 37%

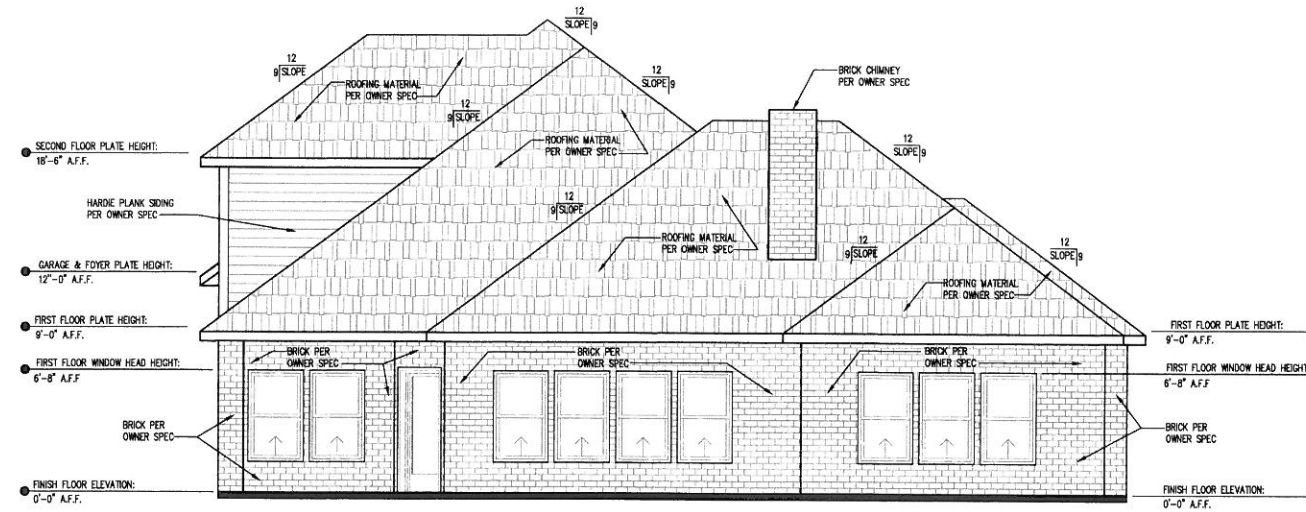
GUSTAVSON & ASSOCIATES
 113 Lantana Lane
 Wylie, TX 75098
 Phone: 214-675-3172
 Email: Allen@GusTX.com

PROJECT
118 MISCHIEF LANE
 CHANDLER'S LANDING
 ROCKWALL, TEXAS

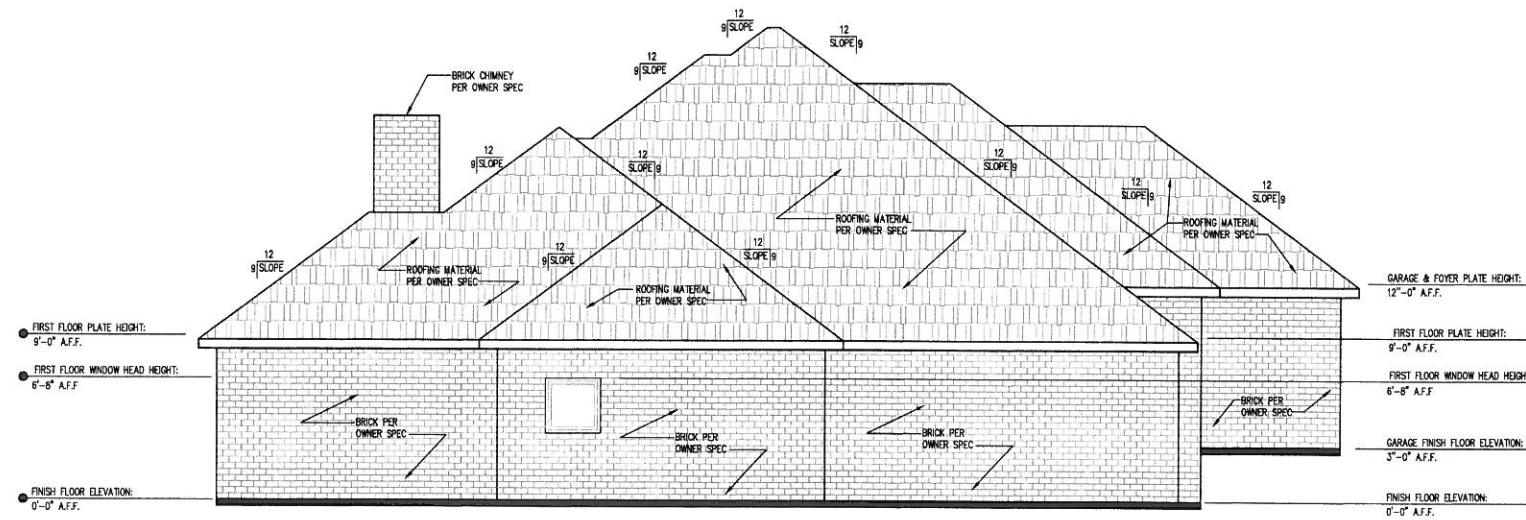
BUILDER
CAVENDISH HOMES
 ROCKWALL, TEXAS

SHEET NAME
SLAB PROFILE PLAN

SCALE:
 1/8"=1'-0"
 DATE:
 7-26-2021
 DRAWN BY:
 AEG
 CHECKED BY:
 AEG
 SHEET NUMBER:
A-8



REAR ELEVATION
SCALE: 1/4"=1'-0"



LEFT ELEVATION
SCALE: 1/4"=1'-0"

GUSTAVSON & ASSOCIATES
113 Lantana Lane
Wylie, TX 75098
Phone: 214-675-3172
Email: Allen@GustTX.com

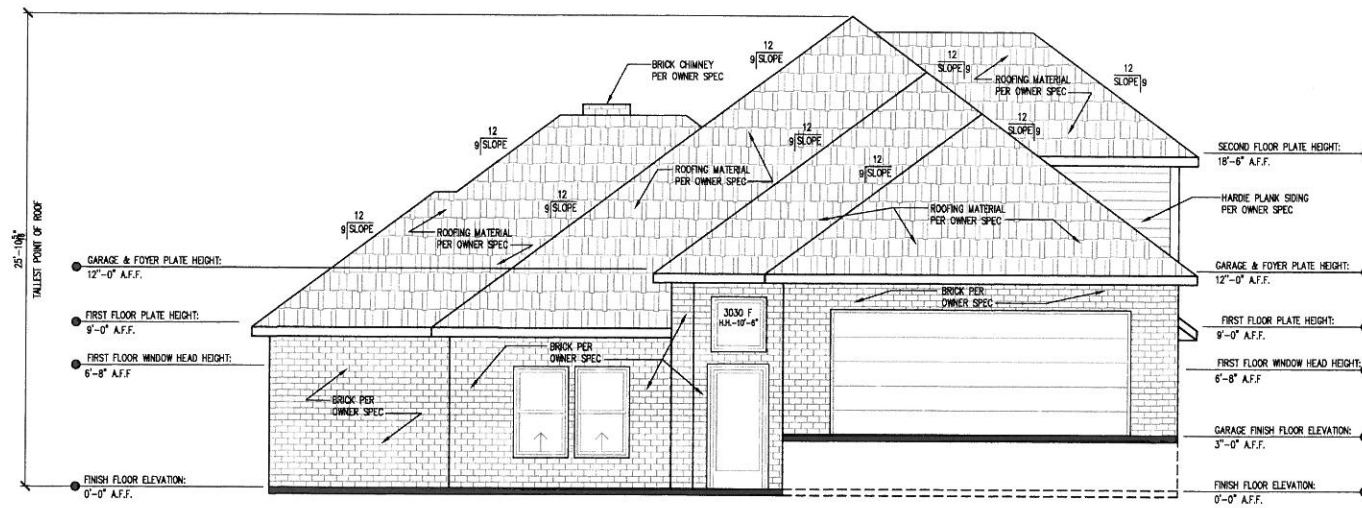


PROJECT
118 MISCHIEF LANE
CHANDLER'S LANDING
ROCKWALL, TEXAS

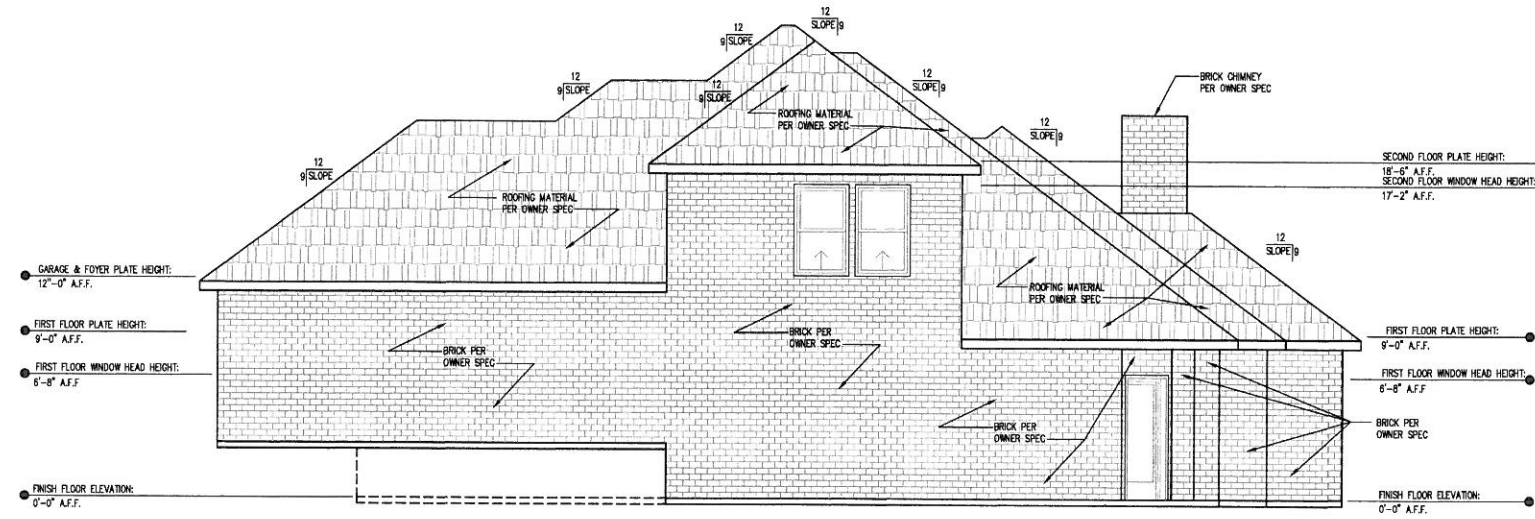
BUILDER
CAVENDISH HOMES
ROCKWALL, TEXAS

SHEET NAME
EXTERIOR ELEVATIONS "B"

SCALE:
1/4"=1'-0"
DATE:
6-28-2021
DRAWN BY:
AEG
CHECKED BY:
AEG
SHEET NUMBER:
A-7



FRONT ELEVATION
SCALE: 1/4"=1'-0"



RIGHT ELEVATION
SCALE: 1/4"=1'-0"

GUSTAVSON & ASSOCIATES
113 Lantana Lane
Wylie, TX 75098
Phone: 214-675-3172
Email: Allen@GusTX.com

PROJECT
118 MISCHIEF LANE
CHANDLER'S LANDING
ROCKWALL, TEXAS

BUILDER
CAVENDISH HOMES
ROCKWALL, TEXAS

SHEET NAME
EXTERIOR ELEVATIONS "A"

SCALE:
1/4"=1'-0"
DATE:
6-28-2021
DRAWN BY:
AEG
CHECKED BY:
AEG
SHEET NUMBER:
A-6

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
102 Mischief Lane	Single-Family Home	2000	3,264	N/A	Vinyl Siding
104 Mischief Lane	Single-Family Home	1990	2,097	N/A	Brick
105 Mischief Lane	Single-Family Home	2001	2,063	N/A	Brick
106 Mischief Lane	Single-Family Home	1995	2,295	N/A	Brick
108 Mischief Lane	Single-Family Home	2003	4,000	N/A	Brick
109 Mischief Lane	Single-Family Home	1994	2,549	N/A	Brick
110 Mischief Lane	Vacant				
112 Mischief Lane	Single-Family Home	2015	3,612	N/A	Brick
114 Mischief Lane	Single-Family Home	2005	3,120	N/A	Brick
116 Mischief Lane	Single-Family Home	2003	2,302	160	Brick
118 Mischief Lane	<i>Subject Property</i>			<i>RCAD Vacant</i>	
120 Mischief Lane	Single-Family Home	2012	2,592	N/A	Brick
122 Mischief Lane	Single-Family Home	2006	2,325	N/A	Brick
124 Mischief Lane	Single-Family Home	2006	2,854	N/A	Brick
125 Mischief Lane	Single-Family Home	2016	3,405	N/A	Stone
126 Mischief Lane	Single-Family Home	1995	3,124	N/A	Brick
127 Mischief Lane	Single-Family Home	2000	2,004	N/A	Brick
128 Mischief Lane	Single-Family Home	2002	2,375	N/A	Brick
129 Mischief Lane	Single-Family Home	1995	2,246	N/A	Brick
130 Mischief Lane	Single-Family Home	2015	3,146	N/A	Stone



102 Mischief Lane



104 Mischief Lane



105 Mischief Lane



106 Mischief Lane



108 Mischief Lane



109 Mischief Lane



110 Mischief Lane



112 Mischief Lane



114 Mischief Lane



116 Mischief Lane



118 Mischief Lane



120 Mischief Lane



122 Mischief Lane



124 Mischief Lane



125 Mischief Lane



126 Mischief Lane



127 Mischief Lane



128 Mischief Lane



129 Mischief Lane



130 Mischief Lane



131 Mischief Lane



132 Mischief Lane

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1637-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 12, BLOCK A, CHANDLER'S LANDING, PHASE 20, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Ed Cavendish for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1637-acre parcel of land being described as Lot 12, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 118 Mischief Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 8 (PD-8) of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 8 (PD-8) of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 8 (PD-8) -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF SEPTEMBER, 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: August 16, 2021

2nd Reading: September 7, 2021

Exhibit 'A'
Location Map and Survey

Address: 118 Mischief Lane

Legal Description: Lot 12, Block A, Chandler's Landing, Phase 20



Exhibit 'B':
Residential Plot Plan

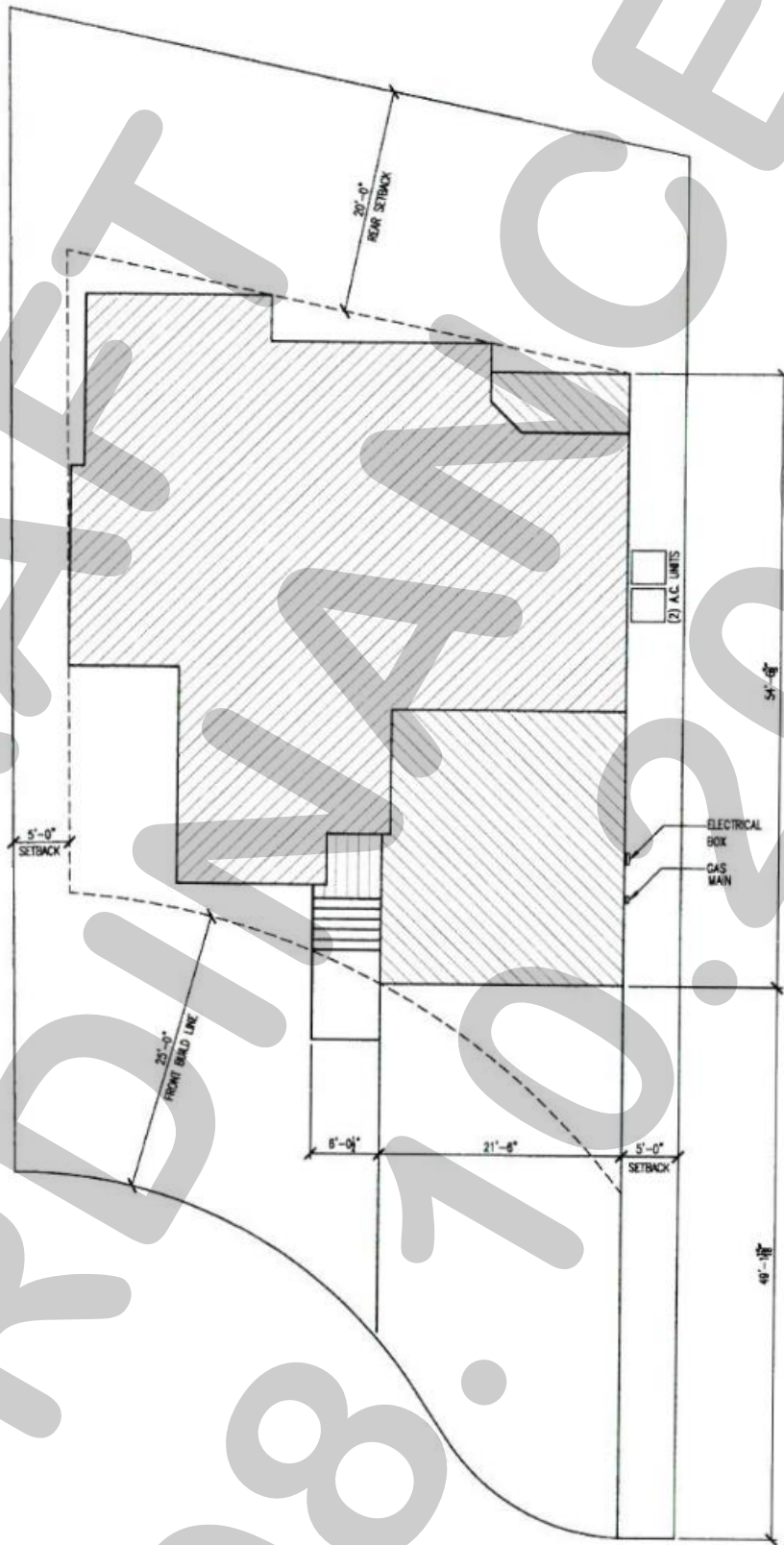
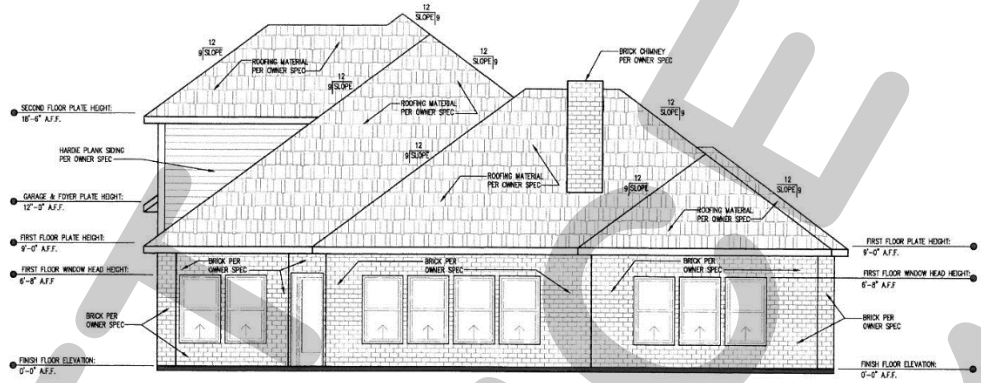
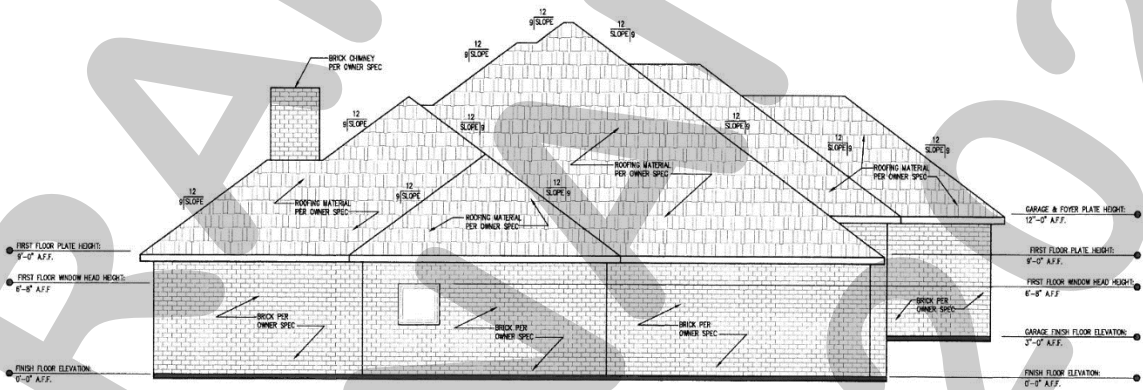


Exhibit 'C': Building Elevations

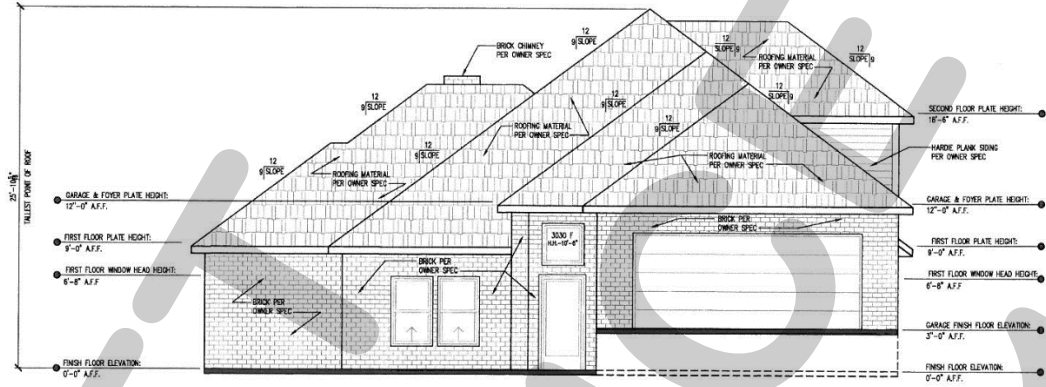


REAR ELEVATION
SCALE: 1/4"=1'-0"

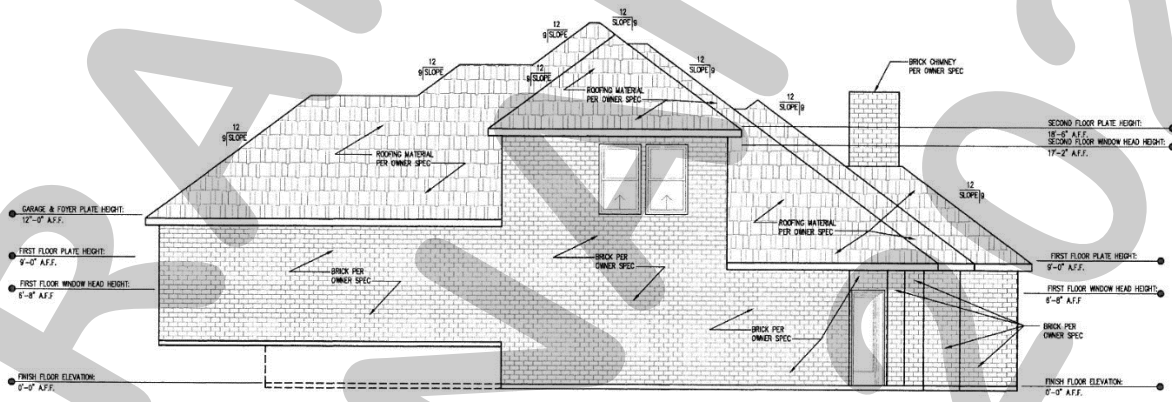


LEFT ELEVATION
SCALE: 1/4"=1'-0"

Exhibit 'C': Building Elevations



FRONT ELEVATION
SCALE: 1/4"=1'-0"



RIGHT ELEVATION
SCALE: 1/4"=1'-0"



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 10, 2021
APPLICANT: Tino & Judy Liscano
CASE NUMBER: Z2021-031; *Zoning Change from Agricultural (AG) District and Single-Family 1 (SF-1) District*

SUMMARY

Hold a public hearing to discuss and consider a request by Tino and Judy Liscano on behalf of Jeremy Lance Epton for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a 4.95-acre parcel of land identified as Lot 1, Block A, Epton Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 2065 & 2075 Airport Road, and take any action necessary.

BACKGROUND

The subject property is a 4.95-acre parcel of land identified as Lot 1, Block A, Epton Addition, and is addressed as 2065 & 2075 Airport Road. The City Council approved *Ordinance No. 98-10* annexing the subject property on March 16, 1998. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the Rockwall Central Appraisal District (RCAD), an ~1,863 SF home was constructed on the subject property in 1975. A 920 SF addition was added to the subject property in 2020. According to the City's records this addition was completed under BLD2017-3435. No other improvements or changes have been made to the subject property since its annexation.

PURPOSE

On July 16, 2021, the applicants -- *Tino and Judy Liscano* -- submitted an application requesting to change the zoning of the *subject property* from an Agricultural (AG) District to a Single-Family 1 (SF-1) District.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 2065 & 2075 Airport Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 7.03-acre parcel of land (*i.e. Lot 1, Block A, Devoll Place Addition*) that is zoned for Single-Family Estate 1.5 (SFE-1.5) District land uses. Continuing north is the Rolling Meadows Subdivision, which is zoned for Single-Family Estate 4.0 (SFE-4.0) District land uses. Continuing north are several large tracts of land (*i.e. Tract 9, 29, 29-2, 29-3, and etc., of the E. M. Elliott Survey, Abstract No. 77*) zoned Agricultural (AG) District. Beyond this is SH-66, which is identified as a TXDOT4D (*i.e. a Texas Department of Transportation [TXDOT], four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is Airport Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Continuing south are several single-family homes on approximately one (1)-acre tracts of land or larger that are zoned Agricultural (AG) District. Beyond this is the right-of-way for the *Union Pacific Dallas/Garland Northeast Railroad*. Continuing south, and adjacent to the *Union Pacific Dallas/Garland Northeast Railroad*, is a 36.56-acre tract of land (*i.e. Lot 1, Block A, Rockwall Commercial Addition*) that is vacant and is zoned Agricultural (AG) District.

East: Directly east of the subject property are several properties zoned Agricultural (AG) District that have single-family homes situated on them, and a 7.03-acre parcel of land (*i.e. Lot 1, Block A, Devoll Place Addition*) that is zoned for Single-Family Estate 1.5 (SFE-1.5) District land uses. Beyond this is N. Stodghill Road, which is identified as a TXDOT4D (*i.e. a Texas Department of Transportation [TXDOT], four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. This thoroughfare is adjacent to the corporate limits of the City of Rockwall.

West: Directly west of the subject property are three (3) subdivisions (*i.e. Ridgecrest, Greenlee, and Airport Acres*) that are zoned for single-family land uses (*i.e. PD-81 [Ridgecrest Subdivision] & SF-10*). The Ridgecrest Addition is comprised of 45 single-family lots, Greenlee has 22 single-family lots, and Airport Acres has 20 single-family lots. Continuing west are several large tracts of land (*i.e. Tract 15, 21, and 22, of the D. Harr Survey, Abstract No. 102*) that are zoned Agricultural (AG) District. Beyond this is John King Boulevard, which is identified as a P6D (*i.e. principle arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST

The applicant is requesting to rezone the 4.95-acre parcel of land from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for the purpose of subdividing the property into two (2) lots and constructing a single-family residential home on a ~1.06-acre portion of the larger tract. It should be noted, that if this zoning change is approved, the applicant will be required to subdivide the subject property into two (2) buildable lots that are a minimum of one (1) acre each in order to construct the home.

INFRASTRUCTURE

Based on the applicant's submittal the following infrastructure is required:

Water Improvements

The applicant will be required to tie to the existing 12-inch waterline that is located on the north side of Airport Road.

Sewer Improvements

The applicant will be required to tie to the existing eight (8) inch sanitary sewer line located along the southern property line of the subject property.

Roadways

The Master Thoroughfare Plan contained in the Comprehensive Plan indicates Airport Road is identified as a *Minor Collector*, which requires a minimum of a 60-foot right-of-way with a 41-foot, *back-to-back* roadway. The applicant is responsible dedicating any additional right-of-way (*i.e. as measured 30-feet from the centerline of the roadway*) necessary for this roadway at the time final plat.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 03.05, *Single-Family 1 (SF-1) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he Single-Family 1 (SF-1) District is the proper zoning classification for larger, single-family lots that are a minimum of one (1) acre in size... (t)hese lots are typically in the City's hinterland, away from higher density residential developments and non-residential developments; however, they may be used in areas closer to the periphery of the City's developed areas, where they will serve as a logical transition to an estate or rural area." In this case, it should be known that the majority of the properties adjacent to Airport Road are zoned Agricultural (AG) District, with the exception of three (3) subdivisions west of the subject property (*i.e. Ridgecrest, Greenlee, and Airport Acres*) that are zoned for single-family land uses (*i.e. PD-81 [Ridgecrest Subdivision] & SF-10*). If the applicant's zoning request is approved, the subject property will be required to conform to all of the requirements stipulated for properties in a Single-Family 1 (SF-1) District, which are summarized as follows:

TABLE 1: SINGLE-FAMILY ESTATE 1.5 (SFE-1.5) DISTRICT DEVELOPMENT STANDARDS

Number of Dwelling Units/Lot	1.0
Number of Dwelling Units/Acre	1.0
Minimum Dwelling Unit	2,500 SF
Minimum Lot Area	8,400 SF
Minimum Lot Width	70-Feet
Minimum Lot Depth	100-Feet
Minimum Front Yard Setback	20-Feet
Minimum Rear Yard Setback	10-Feet
Minimum Side Yard Setback	6-Feet
Between Buildings	10-Feet
Building Height	36-Feet
Maximum Lot Coverage	45%
Required Parking Spaces	2

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the *Central District* and is designated for Low Density Residential land uses. The applicant’s request, to change the zoning of the subject property from an Agricultural (AG) District to a Single-Family 1 (SF-1) District, is in conformance with the Low Density Residential designation. In addition, the OURHometown Vision 2040 Comprehensive Plan seeks to “...(p)reserve the City’s current residential to non-residential land use ratio (i.e. 80% Residential; 20% Commercial) in order to maintain a balance mix of land uses for fiscal sustainability ...” [Section 02.01; CH. 1; Page 1-1]. The *Land Use Plan* contained in the Comprehensive Plan was created to guide the City toward the desired 80% residential to 20% non-residential land use balance. Currently, the land use balance is at 75.90% residential land uses to 24.10% non-residential land uses. Since this request is in conformance with the *Land Use Plan*, the land use ratio will remain unchanged if approved.

NOTIFICATIONS

On July 26, 2021, staff notified 43 property owners and occupants within 500-feet of the subject property. Staff also notified the Rolling Meadow Estates Homeowner’s Association (HOA), which is the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff had not received any notices regarding the applicant’s request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an *Agricultural (AG) District* to a *Single-Family Estate 1 (SF-1) District*, then staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-037

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2075 Airport Rd.

SUBDIVISION

LOT

BLOCK

1

A

GENERAL LOCATION Approx. 1 block west of FM 3549 on Airport Rd. North side

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

Ag

CURRENT USE

Residential

PROPOSED ZONING

Ag . Res.

PROPOSED USE

Residential

ACREAGE

4.95

LOTS [CURRENT]

1

LOTS [PROPOSED]

Approx. 46,480 sq ft

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Jeremy Lance Epton

APPLICANT

CONTACT PERSON

Jeremy Epton

CONTACT PERSON

TINO & JUDY LISCANO

ADDRESS

2075 Airport Rd.

ADDRESS

2316 ANITA

CITY, STATE & ZIP

Rockwell, TX 75087

CITY, STATE & ZIP

MESQUITE TX 75149

PHONE

214-490-4047

PHONE

214-796-2043

E-MAIL

jeremy.epton@cbdfw.com

E-MAIL

TINOTJUDY@YMAIL.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Tino & Judy Liscano [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

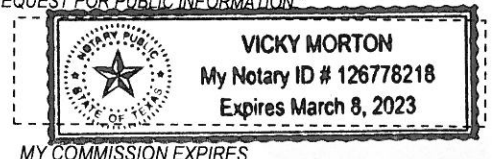
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 274.25 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF July, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

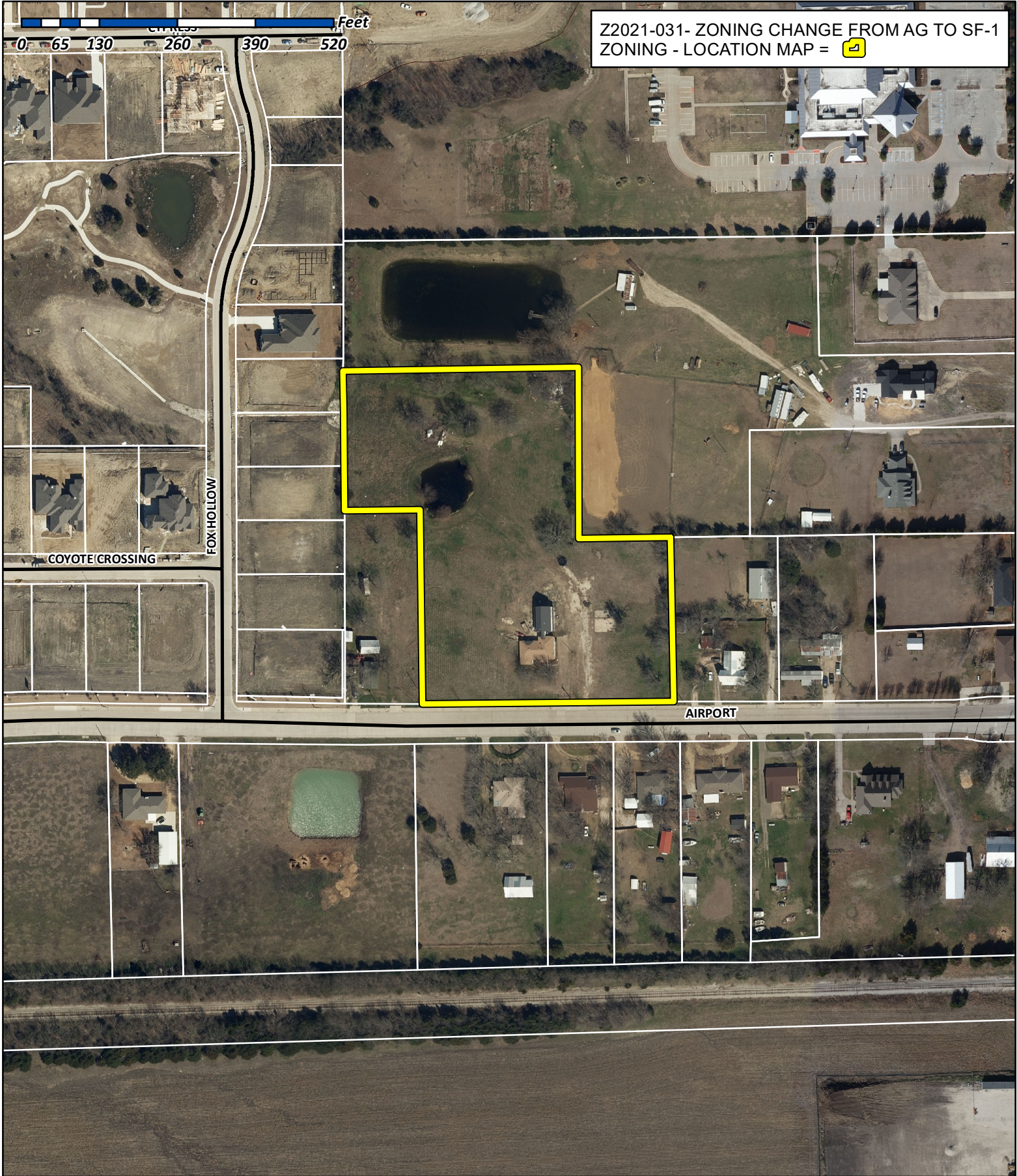
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF July, 2021


OWNER'S SIGNATURE

Jeremy Epton
Tino & Judy Liscano

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





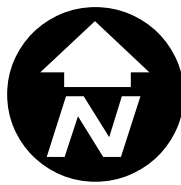
Z2021-031- ZONING CHANGE FROM AG TO SF-1
 ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

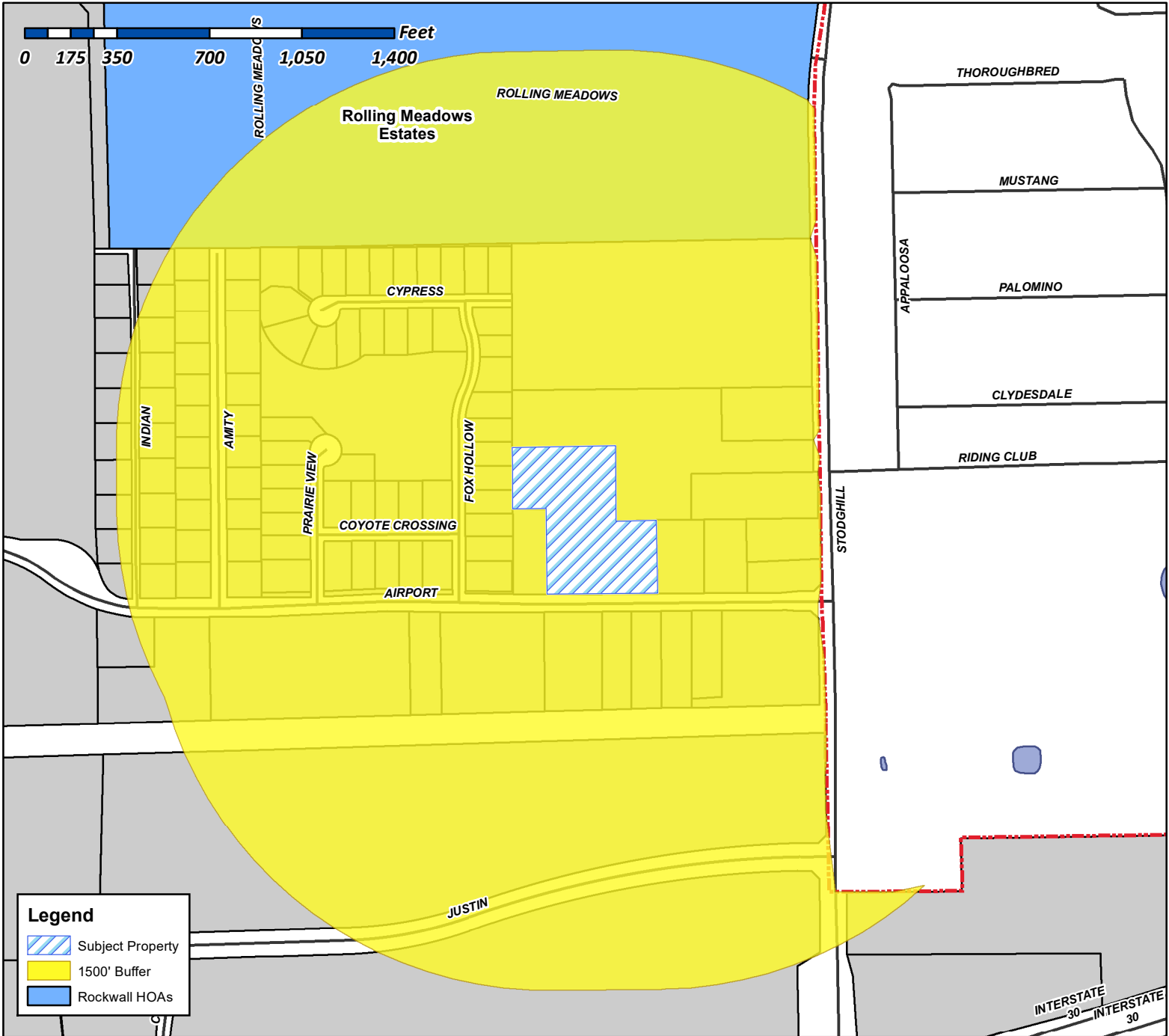




City of Rockwall

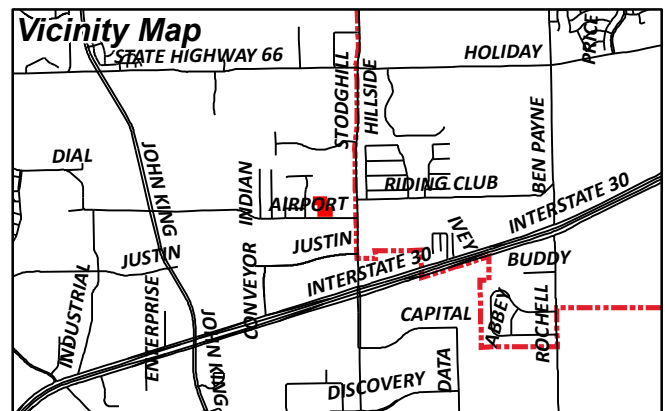
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Case Number: Z2021-031
Case Name: Zoning Change from AG to SF-1
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 2075 Airport Road

Date Created: 7/16/2021
For Questions on this Case Call (972) 771-7745

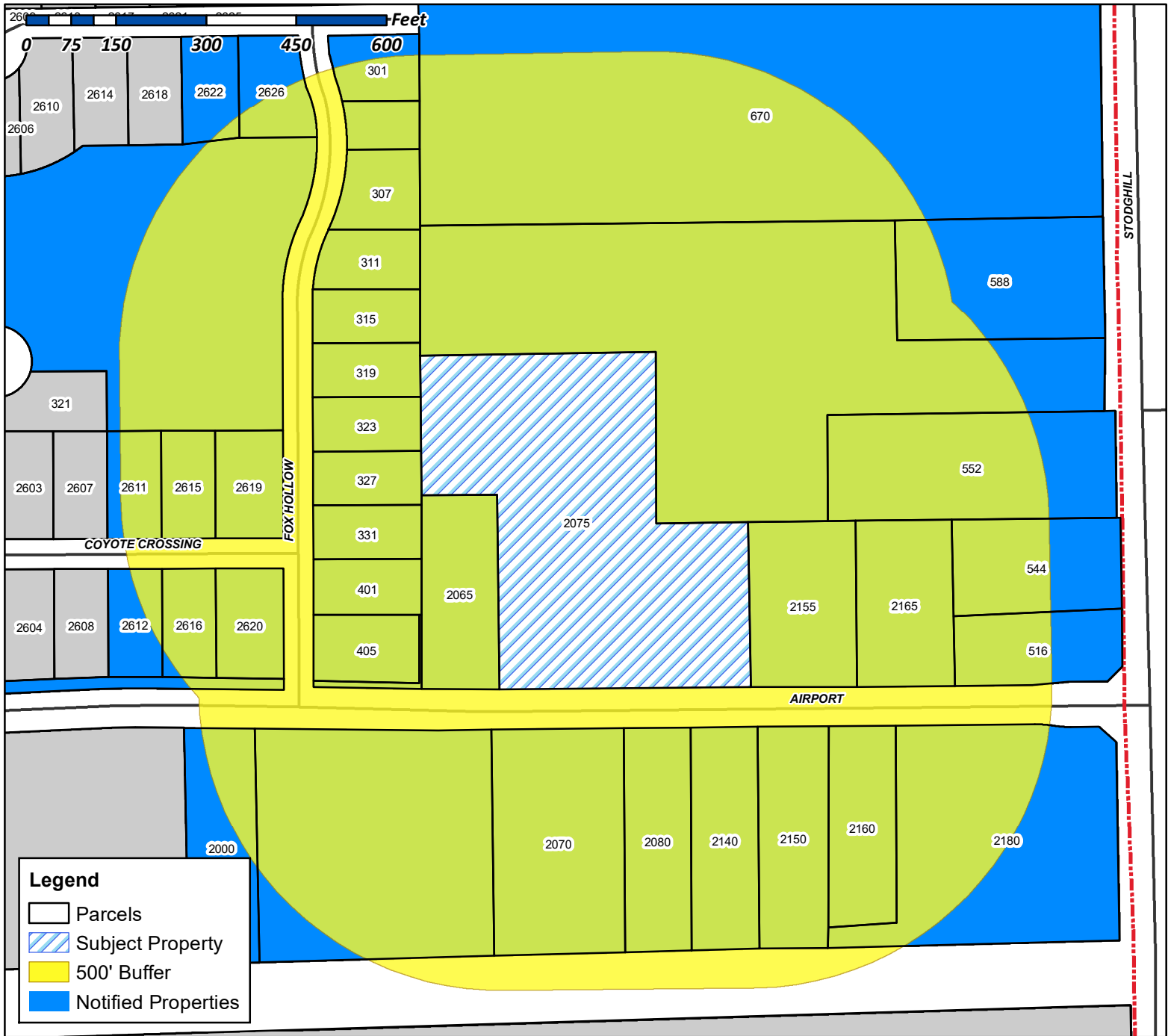




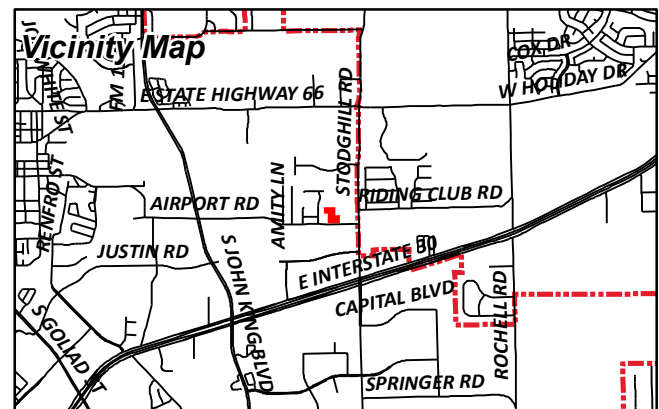
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Date Created: 7/16/2021
For Questions on this Case Call (972) 771-7745

DEVOLL JAMES DAVID &
JUDY KAY LARSON
FM3549 STODGHILL RD
ROCKWALL, TX 75087

RIDGECREST HOMEOWNERS ASSOCIATION INC
1024 S GREENVILLE AVE #230
ALLEN, TX 75002

PAUL TAYLOR HOMES LIMITED
17950 PRESTON RD STE 700
DALLAS, TX 75252

SPRINGER JOHN STANLEY
2000 AIRPORT RD
ROCKWALL, TX 75087

SPRINGER OUIDA MRS
2000 AIRPORT RD
ROCKWALL, TX 75087

WHD FAMILY TRUST
WILL H DOUGLAS TRUSTEE
2065 AIRPORT RD
ROCKWALL, TX 75087

SCHUELER BARBARA JEAN AND
MARK SCHUELER
2070 AIRPORT RD
ROCKWALL, TX 75087

EPTON JEREMY L
2075 AIRPORT RD
ROCKWALL, TX 75087

STANDLEY VEANETA TRUSTEE
OF THE VEANETA B STANDLEY FAMILY TR
2080 AIRPORT RD
ROCKWALL, TX 75087

GRIFFIN PATTY JEAN CORNELIUS
2140 AIRPORT ROAD
ROCKWALL, TX 75087

GRIFFIN PATTY JEAN CORNELIUS
2150 AIRPORT RD
ROCKWALL, TX 75087

WATKINS THOMAS FRANK AND MARY ELLEN
2155 AIRPORT ROAD
ROCKWALL, TX 75087

PUCKETT DONNA MAY & MIKE
2160 AIRPORT RD
ROCKWALL, TX 75087

PEOPLES BILLY W
2165 AIRPORT RD
ROCKWALL, TX 75087

SPEARMAN MAHLON A & SHELLY S
2180 AIRPORT RD
ROCKWALL, TX 75087

SHIM SUSAN AND HENRY
2611 COYOTE CROSSING
ROCKWALL, TX 75087

PAUL TAYLOR HOMES LIMITED
2612 COYOTE CROSSING
ROCKWALL, TX 75087

PAUL TAYLOR HOMES LIMITED
2615 COYOTE CROSSING
ROCKWALL, TX 75087

PAUL TAYLOR HOMES LIMITED
2616 COYOTE CROSSING
ROCKWALL, TX 75087

DE MEYER GUILAUME & JIRAPORN HEEPKAEW
2619 COYOTE CROSSING
ROCKWALL, TX 75087

PAUL TAYLOR HOMES LIMITED
2620 COYOTE CROSSING
ROCKWALL, TX 75087

PAUL TAYLOR HOMES LIMITED
2622 CYPRESS DR
ROCKWALL, TX 75087

MAHAFDHAH BASIL AND
DUNIA ALSROUJI
2626 CYPRESS DR
ROCKWALL, TX 75087

PAUL TAYLOR HOMES LIMITED
301 FOX HOLLOW DR
ROCKWALL, TX 75087

PEOPLES BILLY W
302 S GOLIAD ST
ROCKWALL, TX 75087

JOHNSON THOMAS L AND PEGGY M
307 FOX HOLLOW DR
ROCKWALL, TX 75087

SPARLING KIRK D AND DARLA
311 FOX HOLLOW DR
ROCKWALL, TX 75087

PLUNK TIMOTHY D AND CHRISTY A
315 FOX HOLLOW DRIVE
ROCKWALL, TX 75087

PAUL TAYLOR HOMES LIMITED
319 FOX HOLLOW DR
ROCKWALL, TX 75087

PAUL TAYLOR HOMES LIMITED
323 FOX HOLLOW DR
ROCKWALL, TX 75087

SHARKEY LOGAN & LACEY
327 FOX HOLLOW DRIVE
ROCKWALL, TX 75087

PAUL TAYLOR HOMES LIMITED
331 FOX HOLLOW DR
ROCKWALL, TX 75087

PAUL TAYLOR HOMES LIMITED
401 FOX HOLLOW DR
ROCKWALL, TX 75087

HESTER WILLARD JR AND CHRISTY L
405 FOX HOLLOW DR
ROCKWALL, TX 75087

KVK GLOBAL LLC
516 FM3549 STODGHILL RD
ROCKWALL, TX 75087

OLMOS ANTONIO RODRIGUEZ
544 N FM 3549 STODGHILL RD
ROCKWALL, TX 75087

MAYNARD VON & CAROLYM
552 N FM3549 STODGHILL RD
ROCKWALL, TX

LAKESIDE CHURCH OF CHRIST OF ROCKWALL
588 STODGHILLRD
ROCKWALL, TX 75087

LAKESIDE CHURCH OF CHRIST OF RW
C/O EASTRIDGE CHURCH OF CHRIST
670 STODGHILL RD
ROCKWALL, TX 75087

KVK GLOBAL LLC
8728 DOMINGO DRIVE
PLANO, TX 75024

DEVOLL JAMES DAVID &
JUDY KAY LARSON
P.O. BOX 133
FATE, TX 75132

GRIFFIN PATTY C & J T
PO BOX 511
FATE, TX 75087

MAYNARD VON & CAROLYM
PO BOX 838
FATE, TX 75132

Lee, Henry

From: Epton, Jeremy L <jeremy.epton@cbsdfw.com>
Sent: Friday, July 16, 2021 2:21 PM
To: Lee, Henry; Lee, Henry
Subject: Re: Epton Addition Plat on File

Hi Henry,

This is Jeremy Epton. I am the current propert owner of 2075 Airport Rd, Rockwall,TX 75087. I'm sending you this email to make you aware of the agreement between Tino Liscano and Judy Liscano and I on the sell of approx. 1 acre of my property to Judy Liscano. The lot directly east of my existing house is the plot they desire to purchase . It's approx. 46,480 sq ft

Thanks
Jeremy Epton

From: Epton, Jeremy L
Sent: Friday, July 16, 2021 1:50 PM
To: Judy Liscano
Subject: Fw: Epton Addition Plat on File

From: Lee, Henry
Sent: Friday, July 16, 2021 11:32 AM
To: Epton, Jeremy L
Cc: 'pathwayplumbing@yahoo.com'
Subject: Epton Addition Plat on File

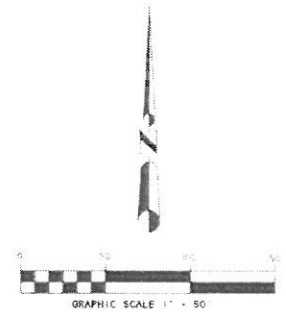
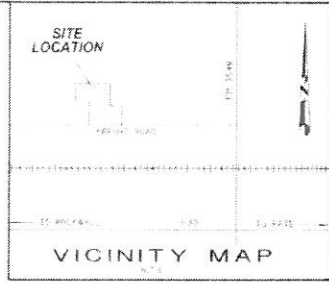
Good Morning,

Per our conversation, attached in the plat for the Epton Addition we have on file. Please provide me an email confirming that this is the exhibit you would like to use for your zoning case. Also please provide me with a letter of explanation that details why this rezoning request is being made. Let me know if you have any questions.

Thank you,



HENRY LEE
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087



J 323
FINAL PLAT
EPTON ADDITION
LOT 1, BLOCK A

4.95 ACRES OR 215,528 S.F.
(1 LOT)

E. M. ELLIOTT SURVEY, A 80
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

GENERAL NOTES

- 1) It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been provided by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permitted therefore absent the required under Ordinance 85-04.
- 2) According to F.M.A. Flood Insurance Rate Map (Community Panel No. 49091C0005) Lot 1, Block A, is in Flood Zone X. This property does not appear to be within a 100-year flood plain.
- 3) BEARING SOURCE: CITY OF ROCKWALL CONCRETE MONUMENT SYSTEM
- 4) ALL 1/2" IRIS ARE CAPPED WITH YELLOW PLASTIC CAPS "IRIS 504"

SHEET 1 OF 2

OWNER:
JEREMY EPTON
KRISTI HELMER
2075 AIRPORT ROAD
ROCKWALL, TEXAS 75087

H.D. Fetty Land Surveyor, LLC
Firm Registration # 10190542
6770 FM 1565, ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com



CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A SINGLE-FAMILY 1 (SF-1) DISTRICT FOR A 4.95-ACRE PARCEL OF LAND IDENTIFIED AS LOT 1, BLOCK A, EPTON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBITS 'A' & 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Tino and Judy Liscano on behalf of the owner Jeremy Lance Epton for a change in zoning from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a 4.95-acre parcel of land identified as Lot 1, Block A, Epton Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, and more fully described and depicted in Exhibits 'A' & 'B' of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall, Texas, as heretofore amended, be and the same is hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from an Agricultural (AG) District to a Single-Family 1 (SF-1) District.

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a *Single-Family 1 (SF-1) District* as stipulated in Subsection 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*, and Subsection 03.05, *Single-Family 1 (SF-1) District*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future.

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the

zoning described herein.

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7TH DAY OF SEPTEMBER, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: August 16, 2021

2nd Reading: September 7, 2021

Exhibit 'A'
Location Map & Legal Description

Legal Description: A 4.95-Acre Parcel of Land Identified as Lot 1, Block A, Epton Addition
Addressed As: 2065 & 2075 Airport Road

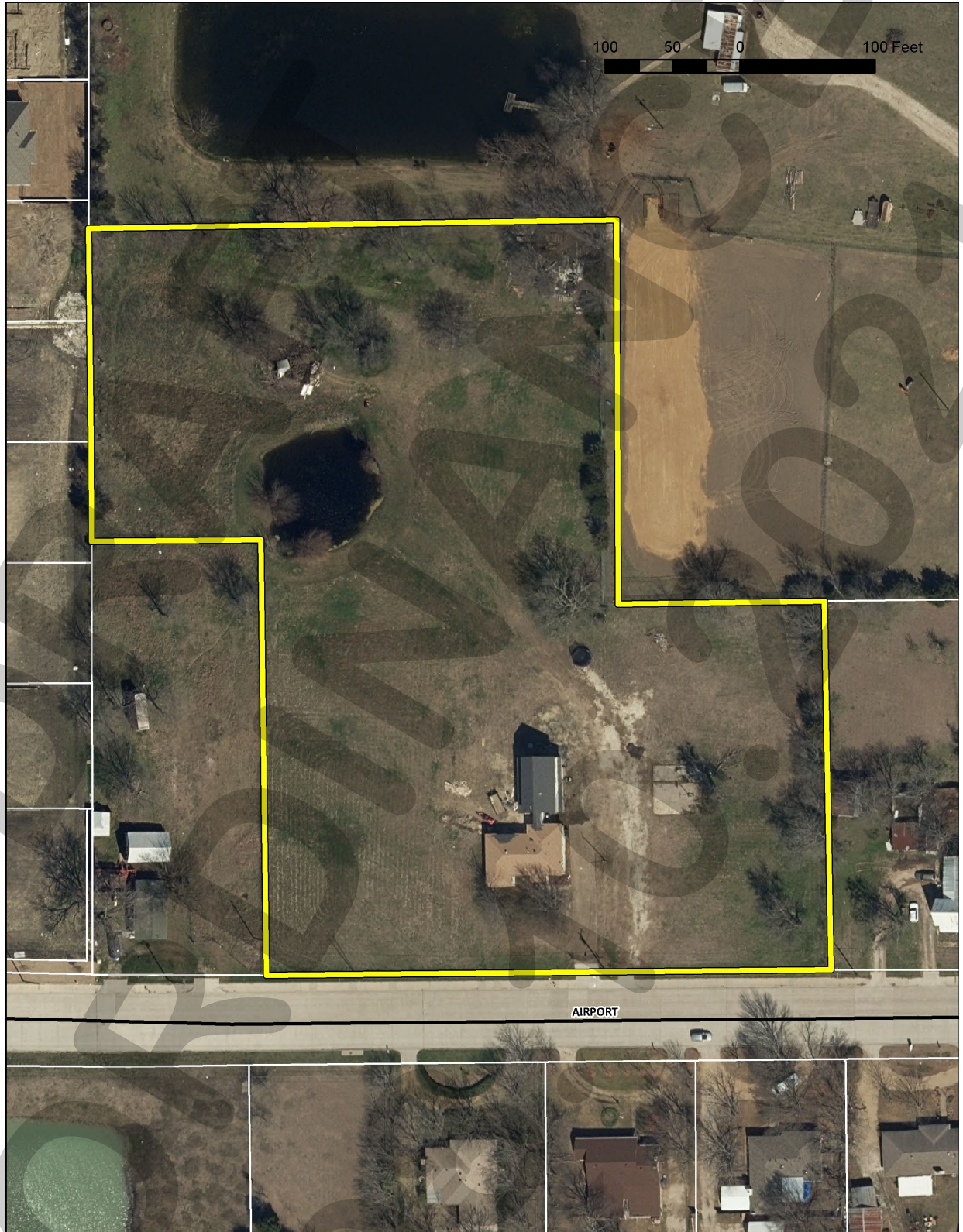
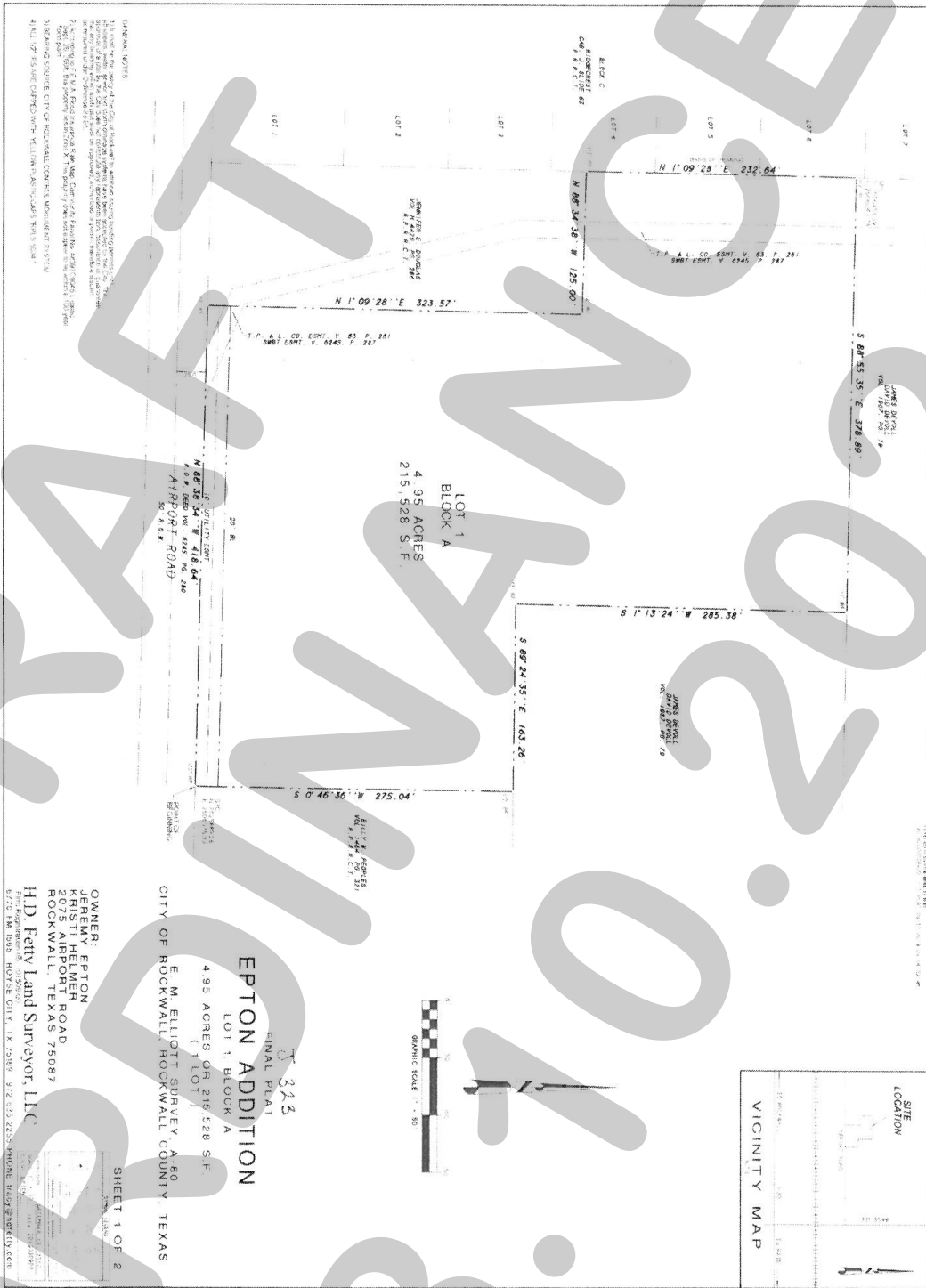


Exhibit 'B'
Final Plat



DRAFT 08-10-2021



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 10, 2021
APPLICANT: Greg Wallis; *Mershaw Architects*
CASE NUMBER: SP2021-015; *Site Plan for a Warehouse/Office Building*

SUMMARY

Discuss and consider a request by Greg Wallis of Mershaw Architects on behalf of Kris Sharp for the approval of a Site Plan for a warehouse/office building on a 1.914-acre parcel of land identified as Lot 5, Block A, Sharp Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, generally located on the south side of Springer Road west of the intersection of Springer Road and Data Drive, and take any action necessary.

BACKGROUND

The subject property was annexed -- *along with the rest of the land area that makes up Planned Development District 46 (PD-46)* -- by the City Council on July 21, 1997 by *Ordinance No. 97-14*. On March 1, 1999, the City Council approved a zoning change from an Agricultural (AG) District to Planning Development District 46 (PD-46) [*Ordinance No. 99-05*]. This zoning change assigned an underlying zoning of Commercial (C) District for the area, establishing a legally non-conforming land use for all properties within this Planned Development District (PD-46). On August 2, 2021, the City Council approved an amendment to Planned Development District 46 (PD-46) [*Ordinance No. 21-32*] allowing for the *Warehouse/Distribution Center* land on the subject property. Currently, the subject property is a vacant parcel of land.

PURPOSE

On July 16, 2021, the applicant -- *Greg Wallis of Mershaw Architects on behalf of Kris Sharp* -- submitted an application requesting approval of a site plan for the purpose of constructing an *Office/Warehouse* distribution facility on the subject property. The total square footage of the proposed structure will be ~ 12,000 SF.

ADJACENT LAND USES AND ACCESS

The subject property is located on the south side of Springer Road west of the intersection of Springer Road and Data Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Springer Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 38.932-acre parcel of land (*i.e. Lot 2, Block B, Rockwall Technology Park, Phase III Addition*), which has a ~278,270 SF food manufacturing facility (*i.e. Bimbo Bakery*) situated on it.

South: Directly south of the subject property is a 3.212-acre parcel of land (*i.e. Lot 6, Block A, Sharp Addition*), which is currently occupied by a *Rental Store with Outside Storage/Display (i.e. Sunbelt Rental)*. South of this land use is a 1.964-acre parcel of land (*i.e. Lot 1, Block A, Sharp Addition*), which is occupied by a *Warehouse/Retail* business (*i.e. VAC Parts Warehouse*). Both of these properties are zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses. Beyond this is SH-276, which is identified as a TXDOT6D (*i.e. Texas Department of Transportation, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 5.317-acre tract of land (*i.e. Tract 2-13 of the J. A. Ramsey Survey, Abstract No. 186*), which is currently occupied by a *Light Manufacturing/Fabrication* facility (*i.e. Lattimore Material Company*). Beyond this is a 7.571-acre parcel of land (*i.e. Lot 1, Block 1, Highway 276 Self-Storage*), which is currently occupied with a *Mini-Warehouse* facility (*i.e. Highway 276 Self-Storage*). Both of these properties are zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses. Beyond this is the site of a municipal water tower for the City of Rockwall.

West: Directly west of the subject property is a 1.095-acre parcel of land (*i.e. Lot 4, Block A, Sharp Addition*), which is currently occupied with two (2) *Office/Warehouse* buildings. Beyond this is a 2.50-acre tract of land (*i.e. Tract 2-3 of the J. A. Ramsey Survey, Abstract No. 186*), which is currently occupied with an *Industrial* land use. West of this is a five (5) acre tract of land (*i.e. Tract 2-6 of the J. A. Ramsey Survey, Abstract No. 186*), that is currently occupied by a *Mini-Warehouse* facility (*i.e. The Storage Locker*). All of these properties are zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Office* use is a permitted *by-right* land use in a Commercial (C) District. The *Warehouse* land use is a permitted *by-right* land use on the subject property as indicated in Planned Development District 46 (PD-46) [*Ordinance No. 21-32*]. The subject will have two (2) points of ingress and egress via Springer Road, which includes one (1) shared access drive with the adjacent property to the west (*i.e. Lot 4, Block A, Sharp Warehouse Addition*). The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within Planned Development District 46 (PD-46) and a Commercial (C) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>x>1.91-acres; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>x> 427-feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>x>194-feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>x>75-feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet w/o FRW</i>	<i>x>20-feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet w/o FRW</i>	<i>x=65-feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Feet w/o SUP</i>	<i>x>33'8"; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>x<26.3%; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>0% (PD-46)</i>	<i>x=100%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>1/300 SF of Office Space & 1/2,000 SF of Warehouse/Distribution – 24 Required</i>	<i>x=32; In Conformance</i>
<i>Minimum Stone Requirement</i>	<i>0% Natural or Quarried</i>	<i>x=42.7%; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>20%</i>	<i>x=38.1%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>x<90%; In Conformance</i>

LANDSCAPE/TREESCAPE PLAN

The applicant's Treescape Plan indicates a total of 28-caliper inches of non-protected trees will be removed from the site (*i.e. four [4], Cedar trees less than 11-caliper inches each*). The applicant is providing 28, four [4] inch caliper Oak trees and 26, four [4]-foot tall Red Bud accent trees within the landscape buffer, the parking lot, detention pond, and screening the roll-up doors that face onto Springer Road. The landscaping provided will satisfy the required tree mitigation for this development.

CONFORMANCE WITH THE CITY'S CODES

The proposed site plan conforms to the standards of Planned Development District 46 (PD-46), the *General Commercial District Standards*, of Article 05, of the Unified Development Code (UDC), with the exception of the variances being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following variances and exceptions to the requirements of the *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) and Section 3, *Storm Drainage Facilities*, of the Engineering Standards of Design and Construction Manual:

(1) Building Articulation.

- (a) Primary/Secondary Building Facade. According to Subsection 04.01(C), *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), all commercial buildings are required to meet the standards for articulation on primary and secondary building façades. In this case, the building does not meet the horizontal articulation standards for the north, south and east facing façades. On these façade the wall extends more than three (3) times the walls height without the providing a bump-out or a recessed architectural element.

(2) Storm Drainage Facilities.

- (a) Detention Easement. According to Subsection 3.1, of Section 3, *Storm Drainage Facilities*, of the Engineering Standards of Design and Construction Manual, "(d)rainage facilities shall be designed and constructed at such locations and of such size and dimensions to adequately serve the development and the contributing drainage area upstream of the development." In this case, the applicant is requesting a variance to allow for vertical walls within the detention area; however, "(a) variance to allow retaining walls in a detention easement will require approval by the Planning and Zoning Commission with appeals being heard by the City Council."

According to Section 9, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and unless otherwise specified by the UDC, "(a)n applicant may request the Planning and Zoning Commission grant a variance to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In cases where a variance or variances is/are being requested, the applicant shall provide compensatory measures that directly offset the requested variances."

In this case, the applicant has provided a letter explaining the variances and exceptions, and offering compensatory measures in the form of additional landscaping, increased architectural elements (*i.e. arched canopies and awnings*), masonry construction (*100% stone and stucco finishes*) and varied roof heights. Additionally, the applicant is indicating that the intent is to continue the architectural aesthetics established on the existing Sharp Warehouse facilities on the adjacent lot. The Planning and Zoning Commission is tasked with determining if the compensatory measures properly off-set the requested variances. This is a discretionary decision for the Planning and Zoning Commission, which requires approval by a super majority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval. In the event that the variance(s) are denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department. Staff should point out that the rules for prohibiting walls within detention ponds were established by the City Council after it was determined that these types of detention systems were not as aesthetically pleasing as a gradually sloping detention system.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Technology District and is designated for Commercial/Retail land uses on the Future Land Use Plan. The applicant's request appears to meet the intent of the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On July 27, 2021, the Architectural Review Board (ARB) did not have a quorum with Board Members Quint Avenetti, Lindsay Mitchell, Julian Meyrat, Robert Miller, and Ashiel Neill absent. The Architectural Review Board will review the revisions made by the applicant at the August 10, 2021 meeting and forward a recommendation to the Planning and Zoning Commission.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for an *Office/Warehouse* facility on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2021-015

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS SPRINGER RD

SUBDIVISION SHARP ADDITION LOT 5 BLOCK A

GENERAL LOCATION SOUTH SIDE OF SPRINGER RD.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD 46 CURRENT USE VACANT

PROPOSED ZONING PD 46 PROPOSED USE OFF/WHSE

ACREAGE 1.91 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER <u>SHARP INSULATION</u>	<input checked="" type="checkbox"/> APPLICANT <u>GREG WALUKY</u>
CONTACT PERSON <u>KRIS SHARP</u>	CONTACT PERSON <u>"</u>
ADDRESS <u>2578 HWY 476</u>	ADDRESS <u>1520 E. 1-30</u>
CITY, STATE & ZIP <u>ROCKWALL, TX 75082</u>	CITY, STATE & ZIP <u>ROCKWALL, TX 75087</u>
PHONE <u>214-292-0689</u>	PHONE <u>817-275-9253</u>
E-MAIL <u>kris.sharp@sharpinsulation.com</u>	E-MAIL <u>mrdmarch@gmail.com</u>

NOTARY VERIFICATION [REQUIRED]

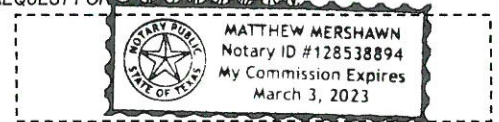
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KRIS SHARP [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF JULY, 2021.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____



MY COMMISSION EXPIRES 3-3-23



SP2021-015- SITE PLAN FOR SHARP WAREHOUSE III
 SITE PLAN - LOCATION MAP = [icon]

SPRINGER

STATE HIGHWAY 276

SILVERVIEW

DATA

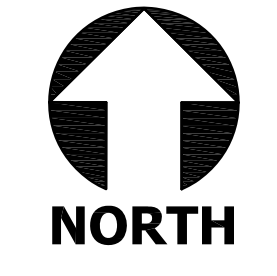
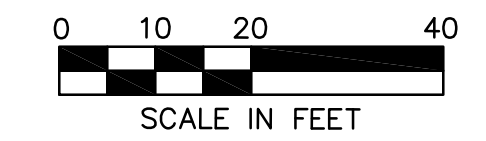
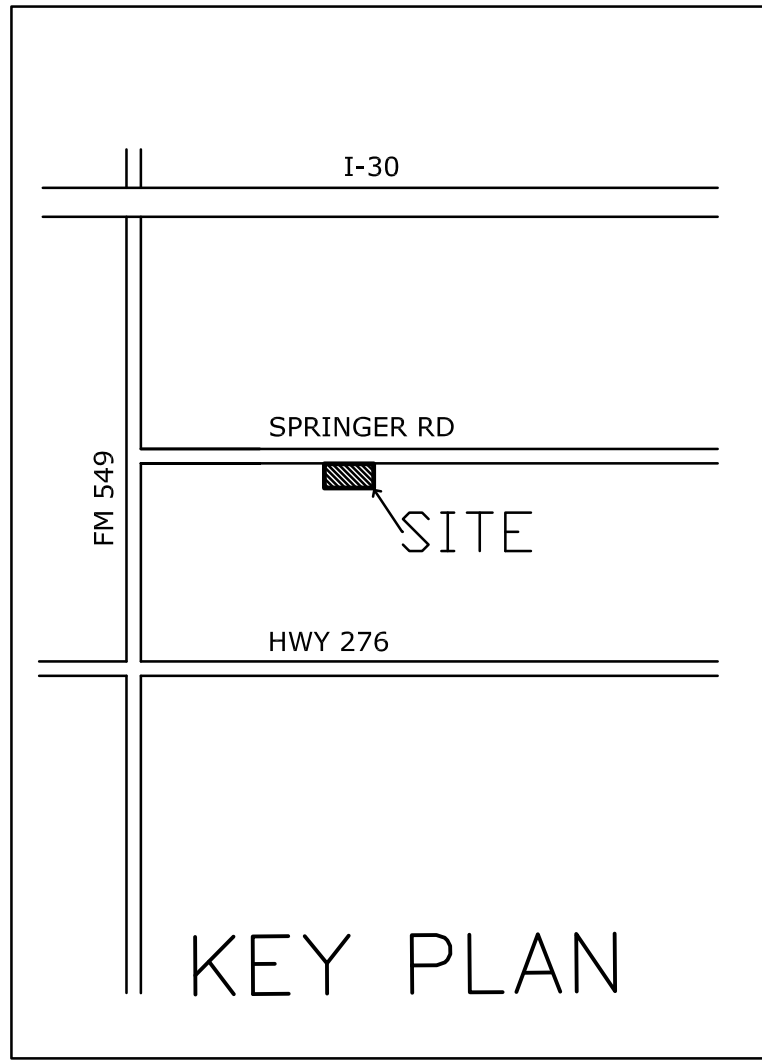
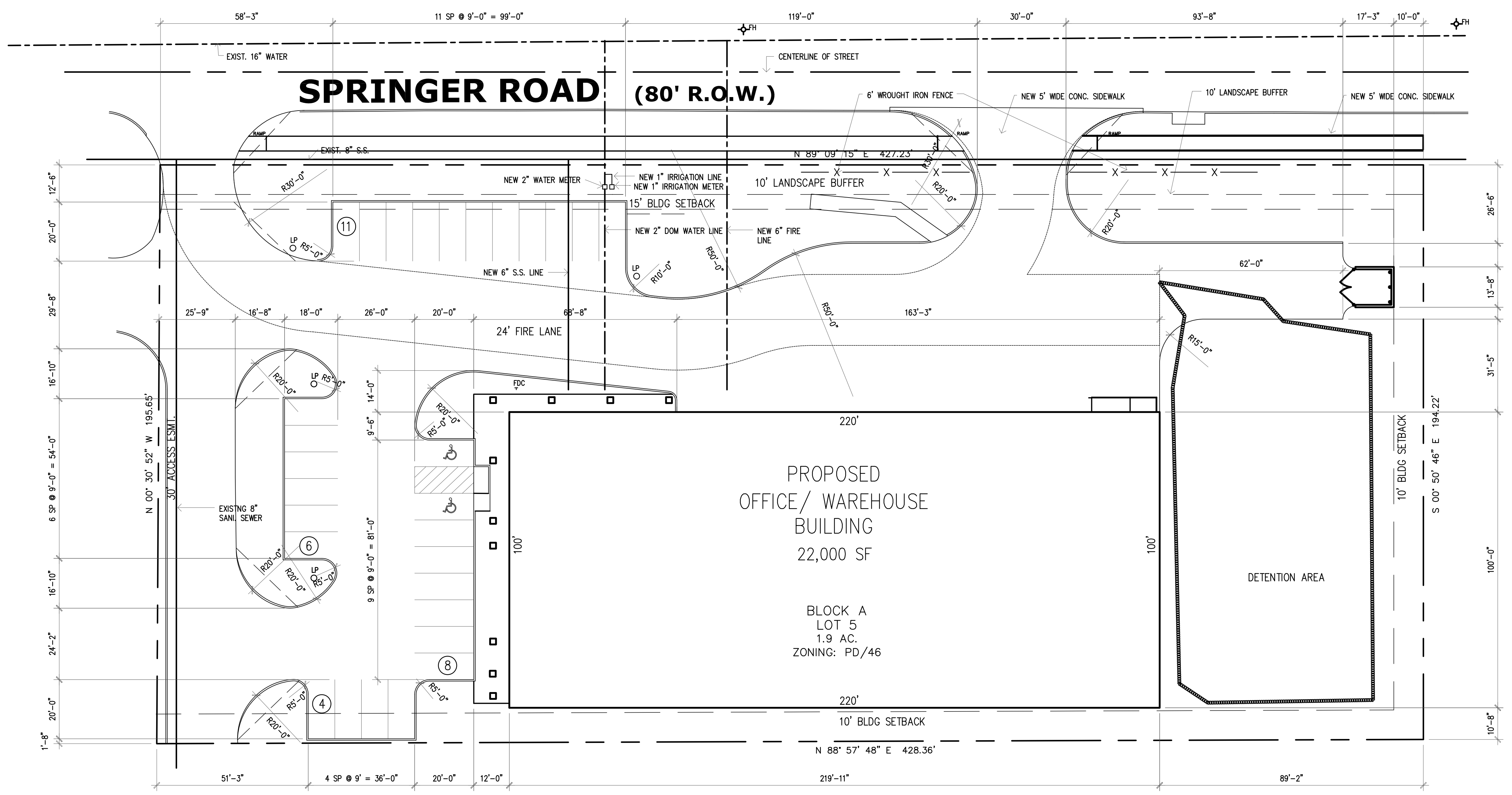


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





PRICING & CONSTRUCTION GENERAL NOTES:

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NOTE: ALL DIMENSIONS ARE TO FACE OF CURB
ALL SIDEWALKS SHALL BE 3,000 PSI CONC
MIN 5.5 SACK MIX. 5' WIDE U.N.O.
ALL PAVING RADII ARE 4'-6" U.N.O.

LOT 5 BLOCK A - SHARP ADDITION

- ZONING: PD46
- PROPOSED USE: OFFICE/DISTRIBUTION
- PROPERTY AREA (GROSS): 83,390 SF 1.91 AC
- BUILDING AREA: 22,000 SF
- BUILDING HEIGHT: ONE STORY - 33'-8"
- LOT COVERAGE: 26.3% F.A.R. = 0.263:1
- PARKING REQ: 26 OFFICE $546\frac{3}{300} = 18$ DISTRIBUTION $1653\frac{7}{2000} = 8$
- HANDICAP REQUIRED 2 ACCESSIBLE IN 25-50 SPACES 2 PROVIDED
- TOTAL PARKING PROVIDED: 29 SPACES
- TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 51,574 SF
- 15% LANDSCAPE REQUIRED = 12,509 SF PROVIDED 31,816 SF

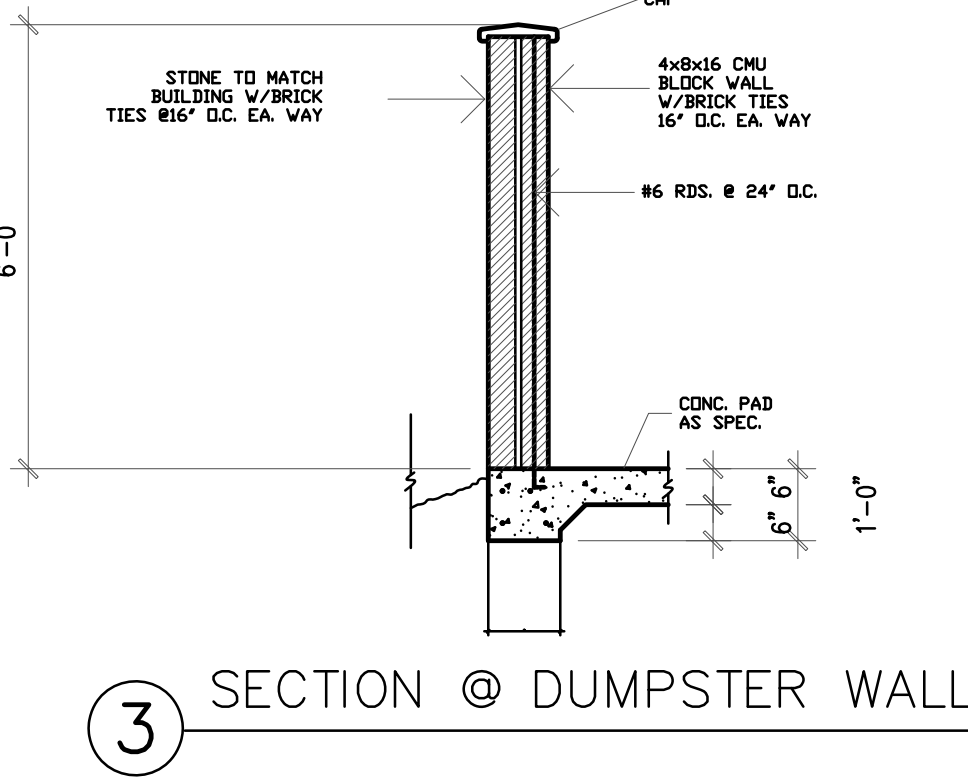
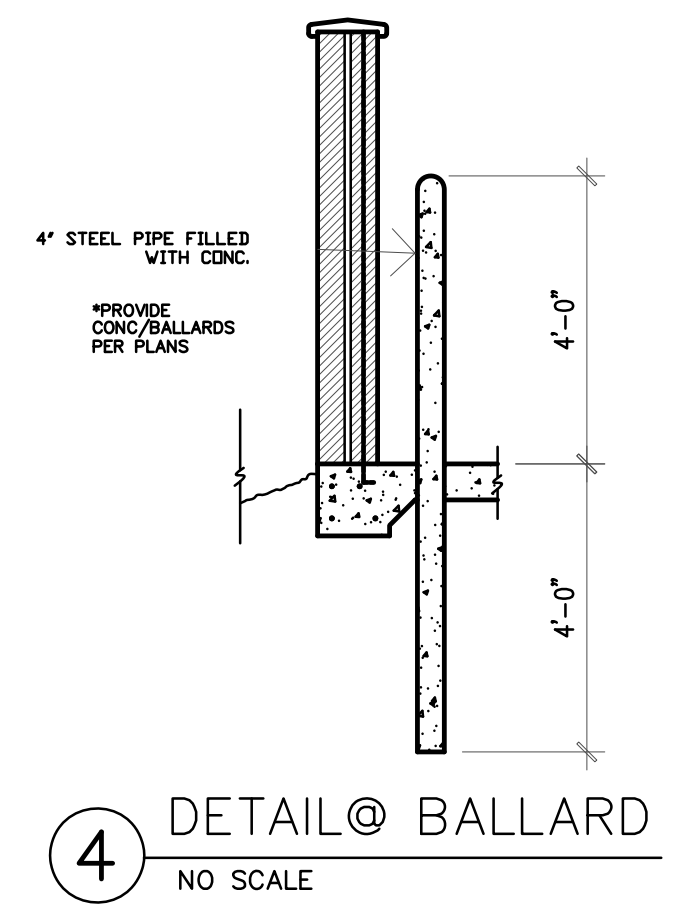
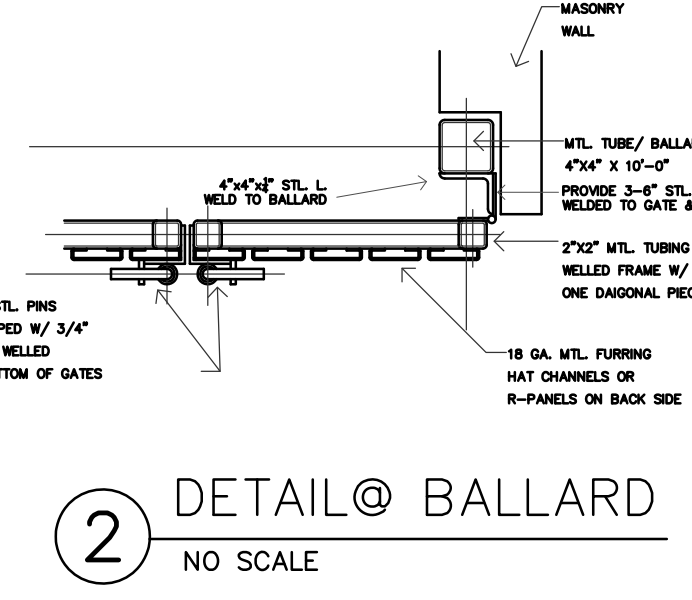
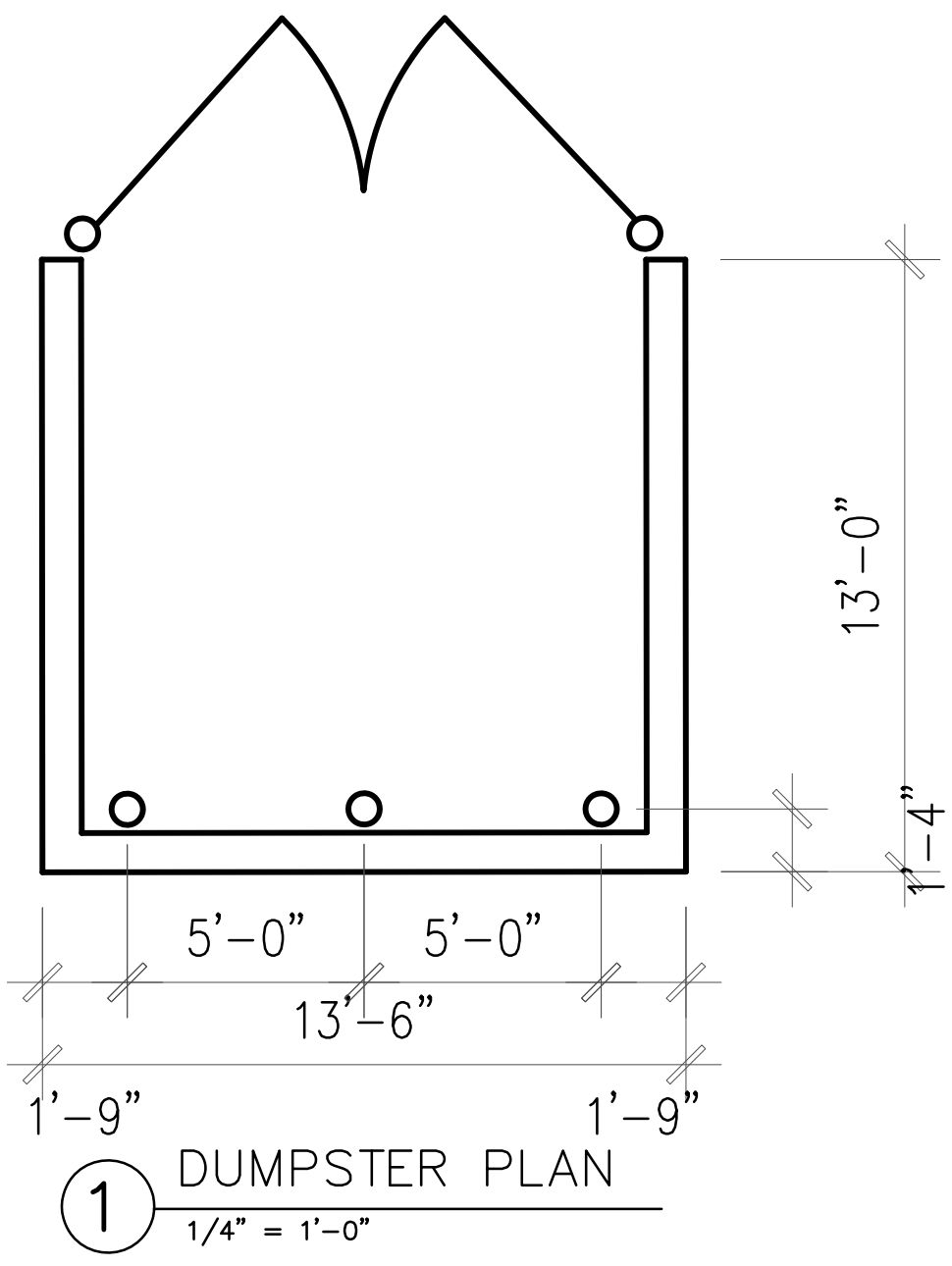
SITE PLAN SIGNATURE BLOCK

APPROVED: _____
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning and zoning commission of the City of Rockwall on the _____, 2021.

WITNESS OUR HANDS, this _____ day of _____, 2021.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



OWNER
SHARP INSULATION
2578 HWY 276
ROCKWALL, TEXAS 75087
972-996-5685

CASE #SP2021-015

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MEDICAL COMMERCIAL CHURCHES
MERSHAWN ARCHITECTS

RESIDENTIAL RESTAURANTS INSTITUTIONAL ARCHITECTS

PHONE: 972-722-9302
FAX: 972-249-2081

2313 RIDGE ROAD #103
ROCKWALL, TEXAS 75087

No.	Date	Revision	By

SHARP WAREHOUSE III
ROCKWALL, TEXAS

SITE PLAN

Scale: 1" = 20'-0"

Date: 02/01/2021

Project No.: 210106

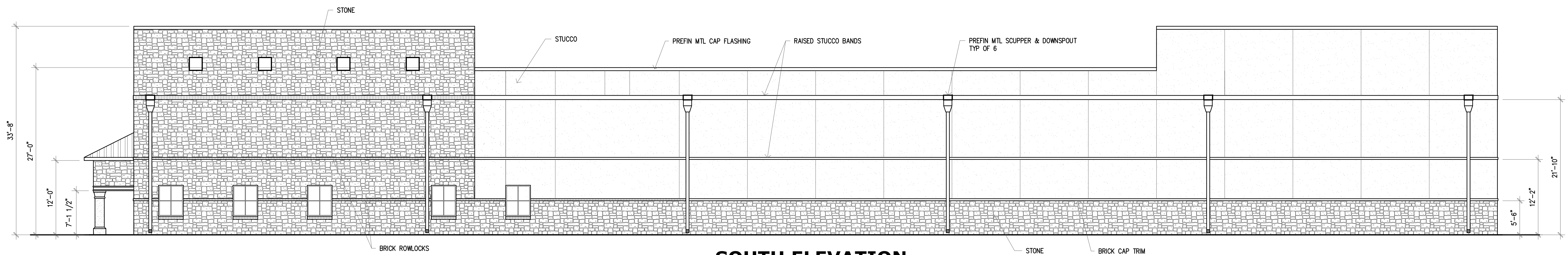
Designed: GW

Drawn: GW

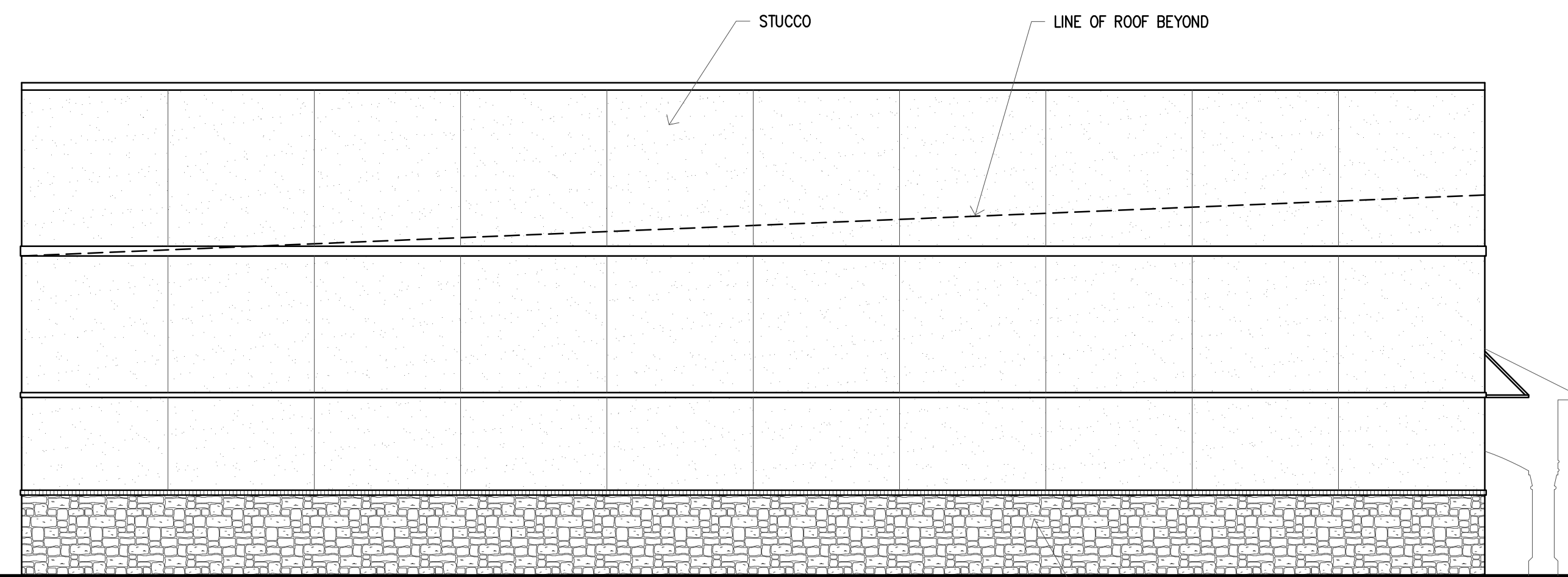
Checked: WM

A1 OF

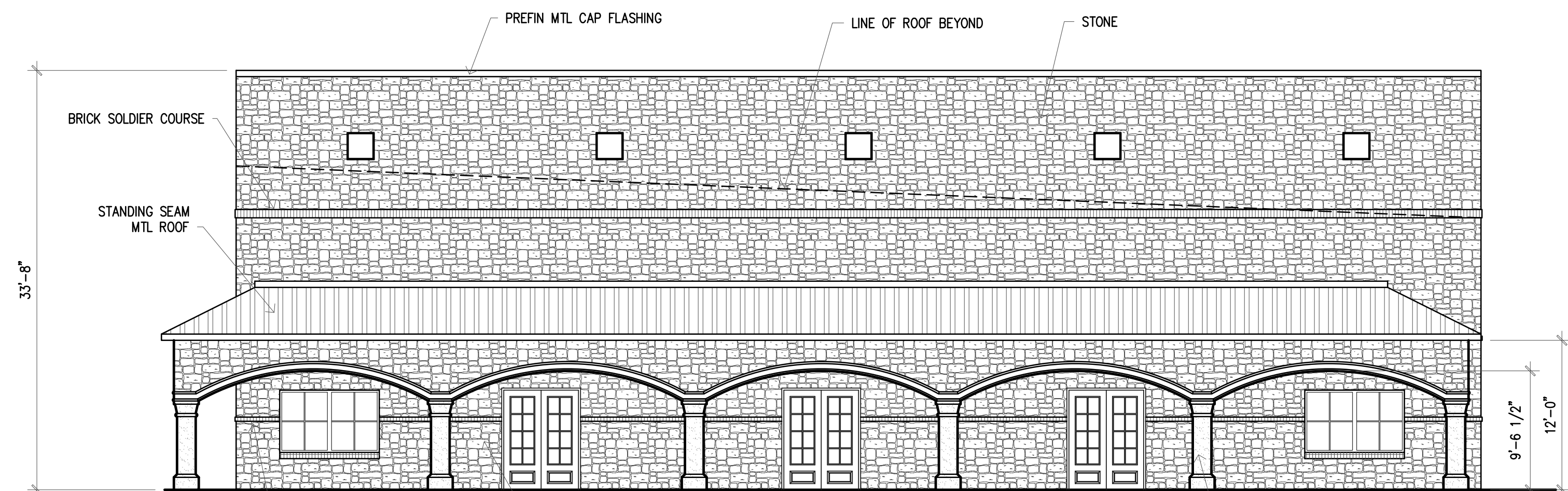
CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY MERSHAWN ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.



SOUTH ELEVATION
41% STONE 59% STUCCO

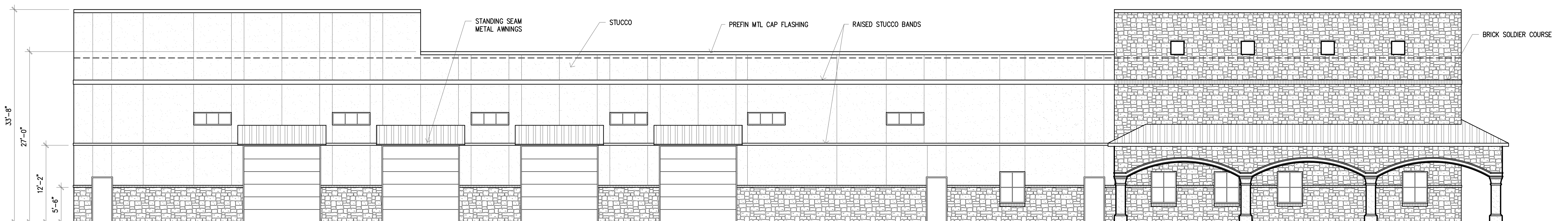


EAST ELEVATION
17% STONE 83% STUCCO



WEST ELEVATION
100% STONE

NOTE: BACK SIDE OF PARAPETS SHALL BE FINISHED WITH CEMENT BOARD AND PAINTED TO MATCH STUCCO.



NORTH ELEVATION
41% STONE 59% STUCCO

ARCHITECTURAL ELEMENTS

1. AWNINGS
2. ARCHES
3. ARTICULATED BASE
4. MOLDING TRIM
5. VARIED ROOF HEIGHTS
6. RECESS ENTRY
7. CLEAR STORY WINDOWS

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning and zoning commission of the City of Rockwall on the _____, 2021.

WITNESS OUR HANDS, this _____ day of _____

Planning & Zoning Commission, Chairman Director of Planning and Zoning

PRICING & CONSTRUCTION GENERAL NOTES:

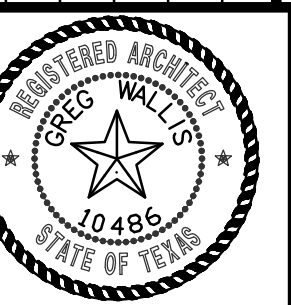
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OWNER
SHARP INSULATION
2525 HWY 75E, SUITE 200
ROCKWALL, TEXAS 75087
972-982-0669
CASE #SP2021-015

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RESIDENTIAL RESTAURANTS
INSTITUTIONAL
ARCHITECTS
MERSHAWN ARCHITECTS
MEDICAL COMMERCIAL
CHURCHES
15220 E INTERSTATE 30
ROCKWALL, TEXAS 75087
PHONE: 469-745-1701

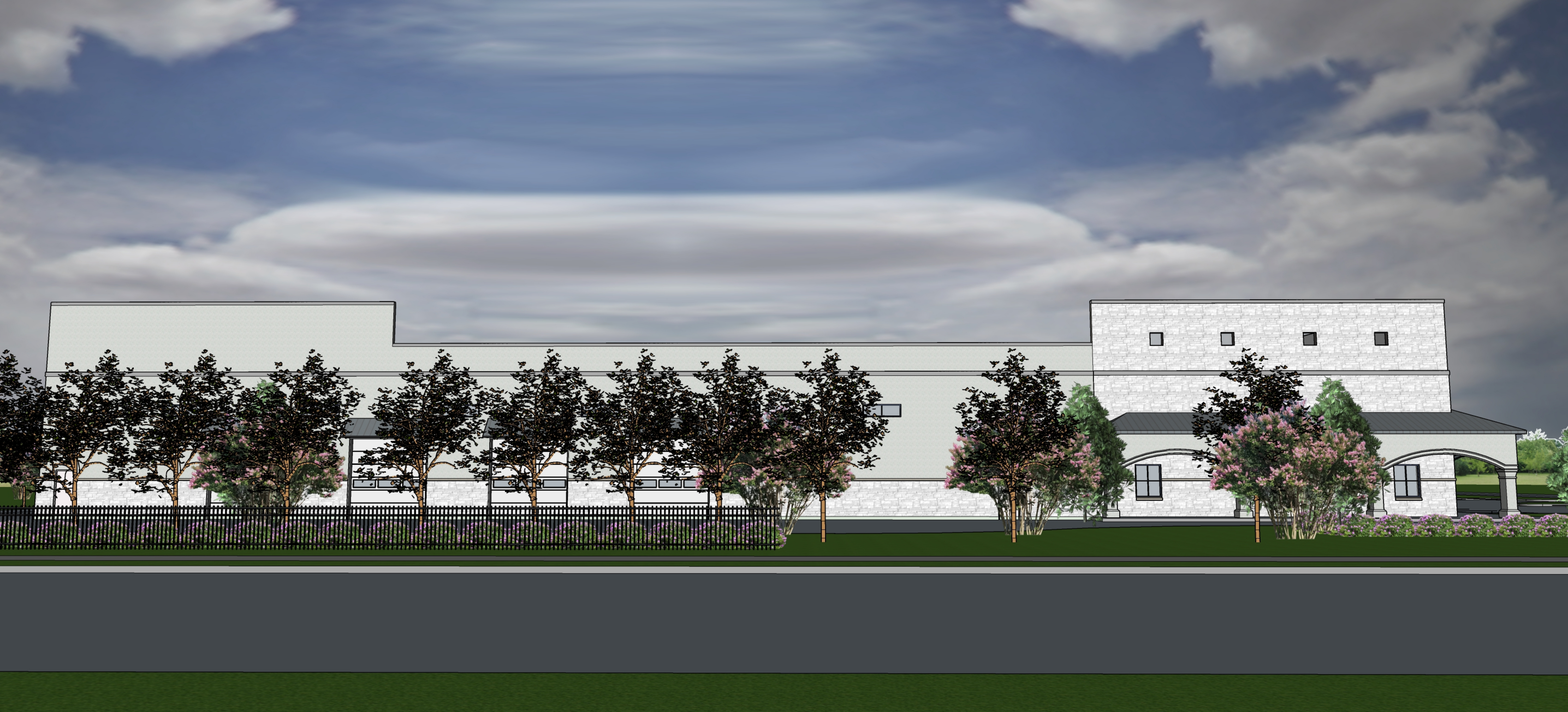
No.	Date	Revision	By



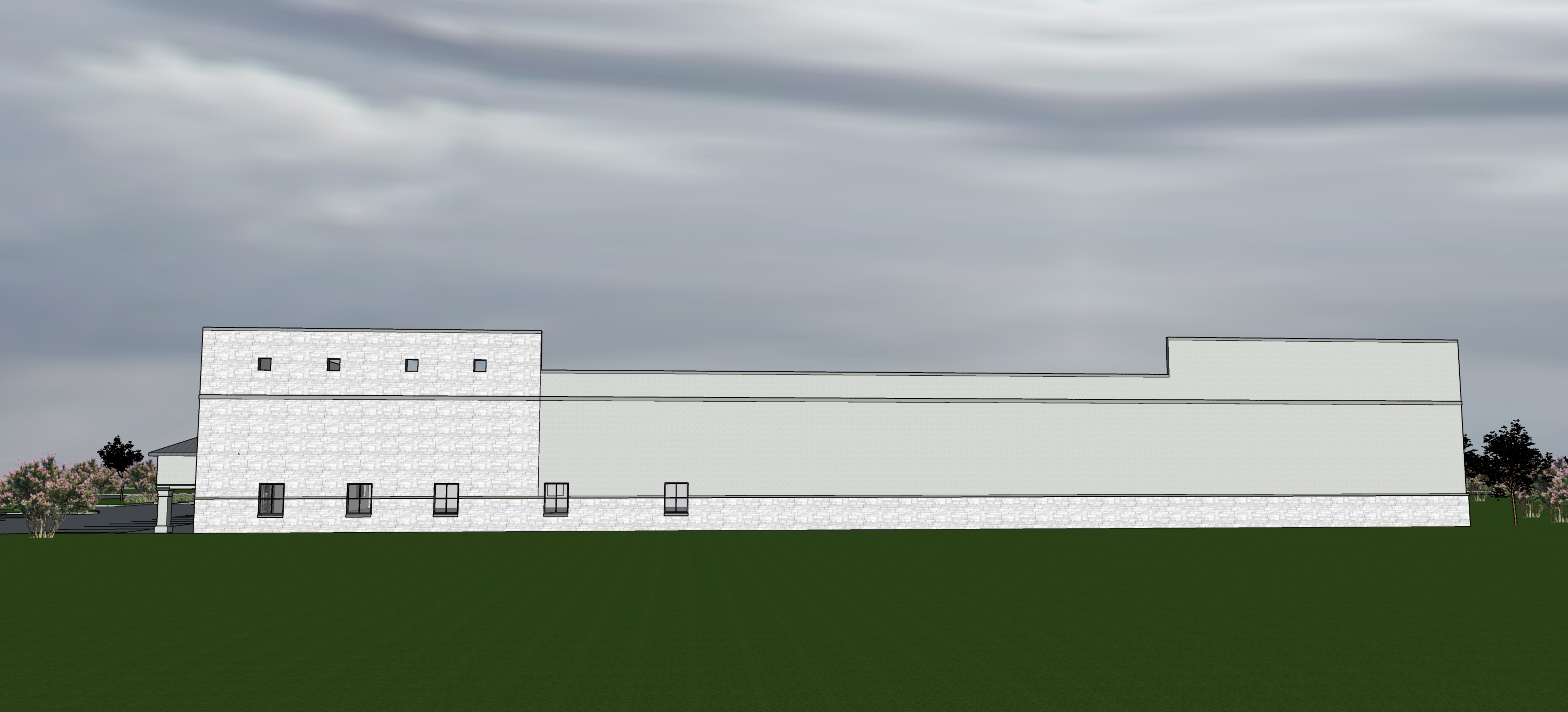
SHARP WAREHOUSE III
ROCKWALL, TEXAS
EXTERIOR ELEVATIONS

Scale: 1/8" = 1'-0"
Date: 02/01/2021
Project No.: 210106
Designed: GW
Drawn: GW
Checked: WM

SHEET
A4 OF





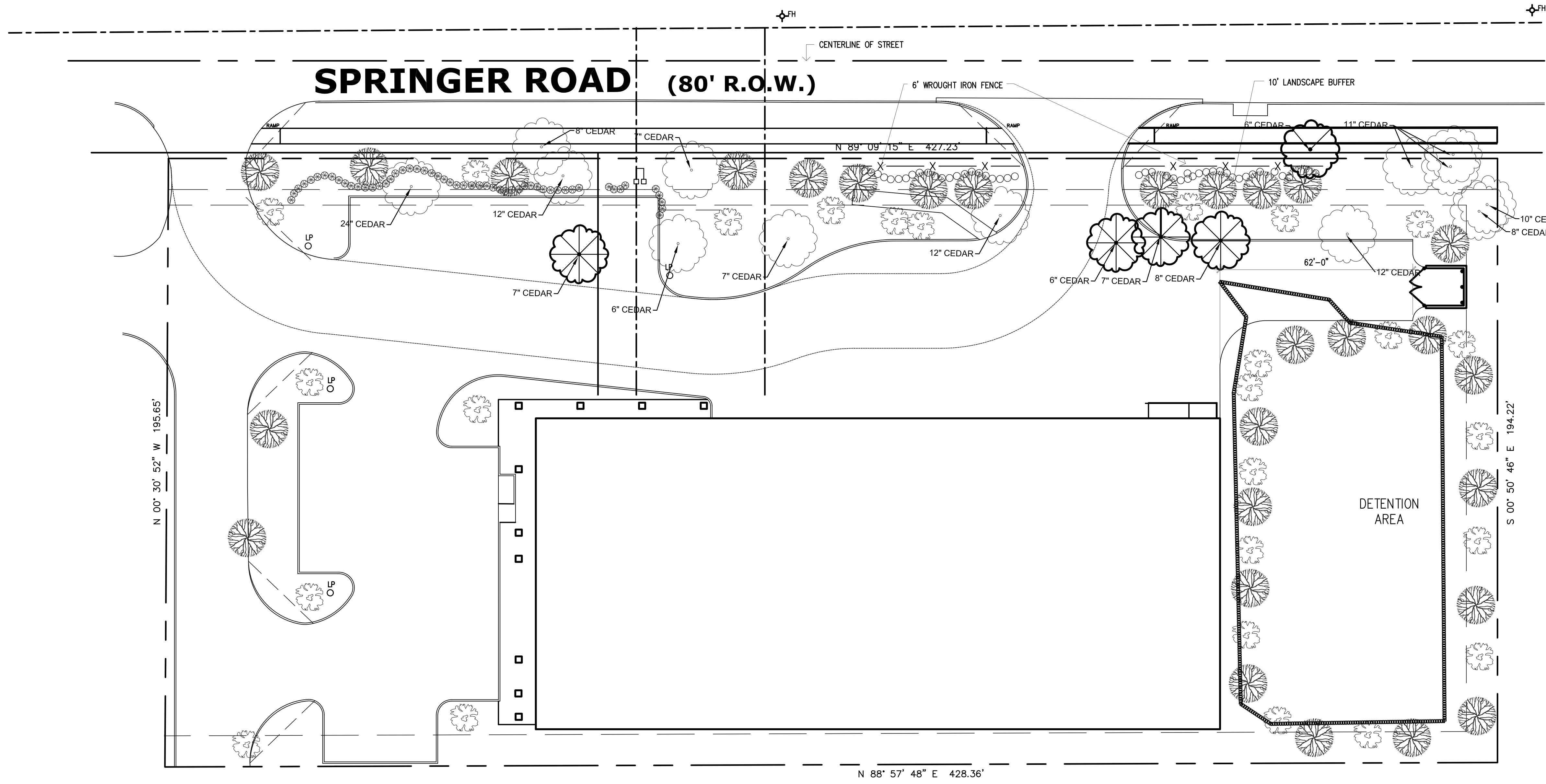


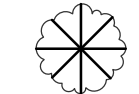









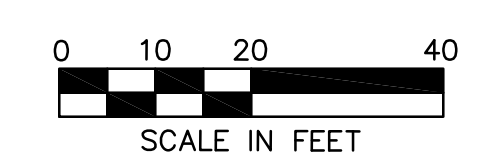






- THERE IS NO MITIGATION FOR THIS PROPERTY
-  NON-PROTECTED TREE TO BE REMOVED (4)
 -  EXISTING TREE TO REMAIN (14)
 -  LIVE OAKS (28) INSTALLED WITH A MIN. 4" CALIPER
 -  RED BUD (26) MIN 4' TALL
 -  INDIAN HAWTHORNE (54) PLANTS SHALL BE A MINIMUM OF 5-GALLONS & SHALL CREATE A MINIMUM 30" TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.
 -  BOXWOOD BUSH (47) PLANTS SHALL BE A MINIMUM OF 5-GALLONS & SHALL CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.

REFER TO MITIGATION PLAN FOR EXISTING TREES TO BE REMOVED



- LOT 5 BLOCK A - SHARP ADDITION
1. ZONING: PD46
 2. PROPOSED USE: OFFICE/DISTRIBUTION
 3. PROPERTY AREA (GROSS): 83,390 SF 1.91 AC
 4. BUILDING AREA: 22,000 SF
 5. BUILDING HEIGHT: ONE STORY - 33'-8"
 6. LOT COVERAGE: 26.3% F.A.R. = 0.263:1
 7. PARKING REQ: 26 OFFICE $546 \frac{3}{300} = 18$ DISTRIBUTION $16537 \frac{2000}{10000} = 8$
 8. HANDICAP REQUIRED 2 ACCESSIBLE IN 25-50 SPACES 2 PROVIDED
 9. TOTAL PARKING PROVIDED: 31 SPACES
 10. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 51,574 SF
 11. 15% LANDSCAPE REQUIRED = 12,509 SF PROVIDED 31,816 SF

NO PARKING SPACE SHALL BE MORE THAN 80' FROM A CANOPY TREE

ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE SODDED, BERMUDA.

IN ORDER TO MEET BUDGET TREES SPECIFIED MAY NOT BE USED OTHER TREES FROM THE APPROVED CITY OF ROCKWALL PLANT LIST MAY BE SUITABLE FOR SUBSTITUTION.

REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.

CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.

TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN WITHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES.

ALL R.O.W. SHALL BE SODDED

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning and zoning commission of the City of Rockwall on the _____, 2021.

WITNESS OUR HANDS, this _____ day of _____

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

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RESIDENTIAL RESTAURANTS ARCHITECTS

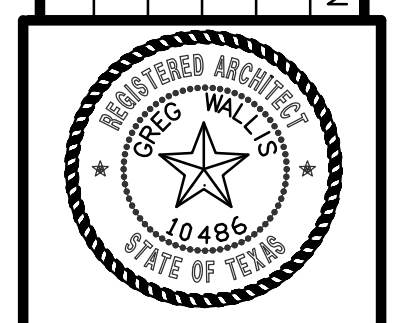
MEDICAL COMMERCIAL CHURCHES INSTITUTIONAL ARCHITECTS

MERSHAWN ARCHITECTS

2313 RIDGE ROAD #103
ROCKWALL, TEXAS 75087

PHONE: 972-722-9302
FAX: 972-249-2051

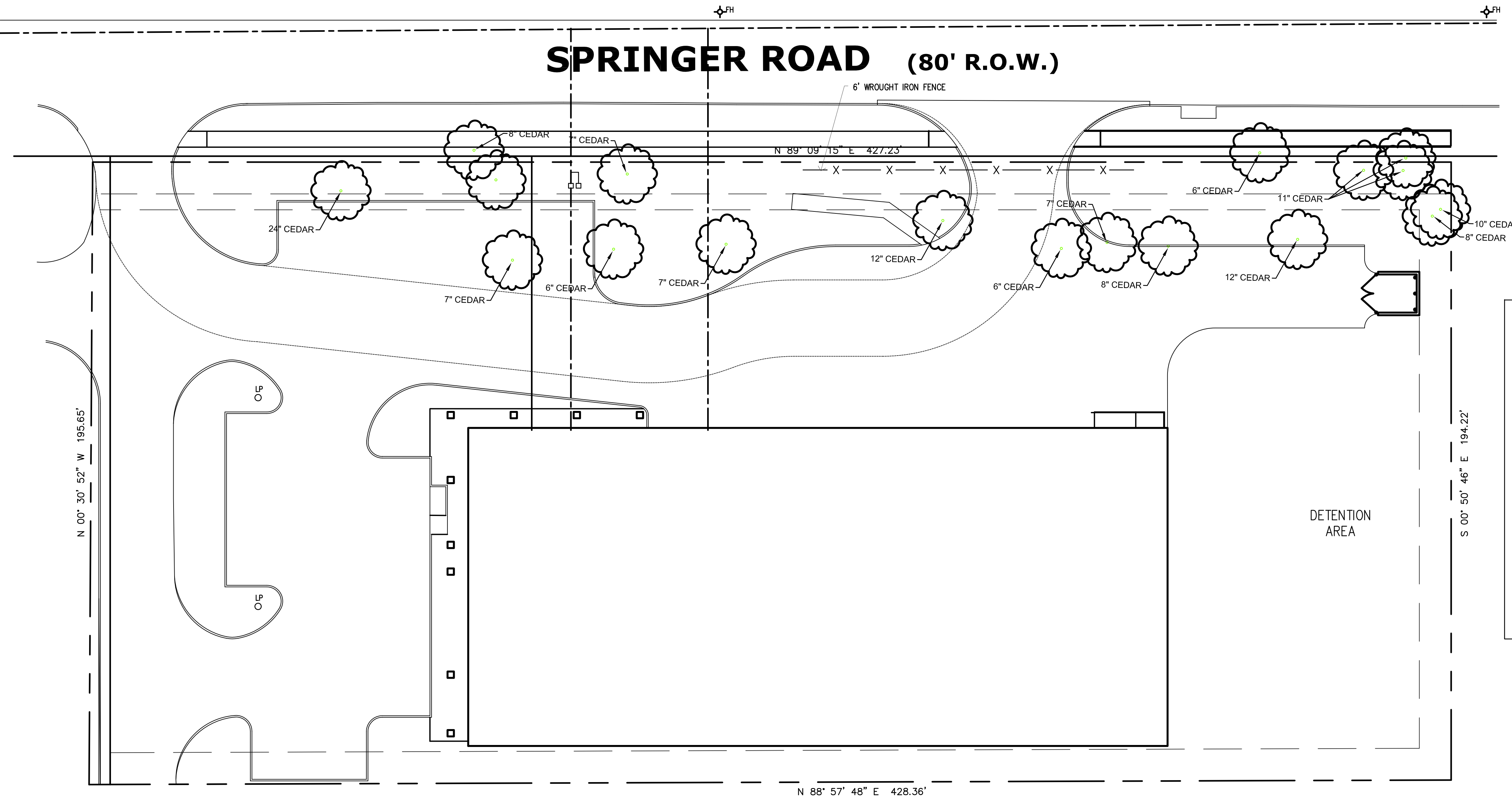
No.	Date	Revision	By



SHARP WAREHOUSE III
ROCKWALL, TEXAS

LANDSCAPE PLAN

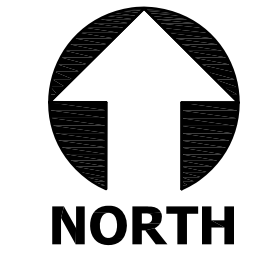
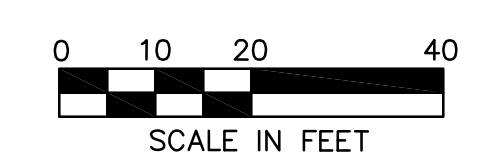
Scale:	1" = 20'-0"
Date:	02/01/2021
Project No.:	210106
Designed:	GW
Drawn:	GW
Checked:	WM



THERE IS NO MITIGATION FOR THIS PROPERTY

- EXISTING TREE TO REMAIN
- LIVE OAKS (00)
INSTALLED WITH A MIN. 4" CALIPER
- RED BUD (00)
MIN 4" TALL
- INDIAN HAWTHORNE (00)
PLANTS SHALL BE A MINIMUM OF 5-GALLONS & SHALL CREATE A MINIMUM 30" TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.
- BOXWOOD BUSH (00)
PLANTS SHALL BE A MINIMUM OF 5-GALLONS & SHALL CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.

REFER TO MITIGATION PLAN FOR EXISTING TREES TO BE REMOVED



LOT 5 BLOCK A - SHARP ADDITION

- ZONING: PD46
- PROPOSED USE: OFFICE/DISTRIBUTION
- PROPERTY AREA (GROSS): 83,390 SF 1.91 AC
- BUILDING AREA: 22,000 SF
- BUILDING HEIGHT: ONE STORY - 33'-8"
- LOT COVERAGE: 26.3% F.A.R. = 0.263:1
- PARKING REQ: 26 OFFICE $546 \frac{3}{300} = 18$ DISTRIBUTION $16,537 \frac{2000}{1000} = 17$
- HANDICAP REQUIRED 2 ACCESSIBLE IN 25-50 SPACES 2 PROVIDED
- TOTAL PARKING PROVIDED: 29 SPACES
- TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 51,574 SF
- 15% LANDSCAPE REQUIRED = 12,509 SF PROVIDED 31,816 SF

NO PARKING SPACE SHALL BE MORE THAN 80' FROM A CANOPY TREE

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TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN WITHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES.

ALL R.O.W. SHALL BE SODDED

	REQUIRED	PROVIDED
1. STREET TREES 1 CANOPY PER 50' LINEAR OF R.O.W.	9	9
2. LANDSCAPE BUFFER	10'	10'
3. SCREENING OF OFF STREET PARKING	NO	NO
4. TOTAL LANDSCAPE AREA 15% REQUIRED	12,509 SF	31,816 SF

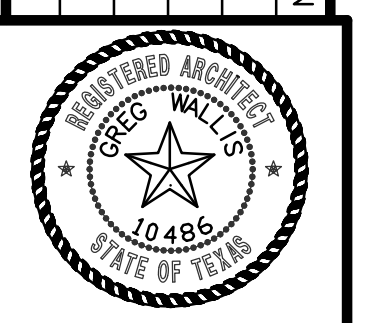
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RESIDENTIAL RESTAURANTS
 INSTITUTIONAL
MERSHAWN ARCHITECTS
 MEDICAL COMMERCIAL
 CHURCHES

2313 RIDGE ROAD #103
 ROCKWALL, TEXAS 75087
 PHONE: 972-722-9302
 FAX: 972-249-2051

No.	Date	Revision	By



SHARP WAREHOUSE III
ROCKWALL, TEXAS
EXISTING TREE SURVEY

Scale: 1" = 20'-0"

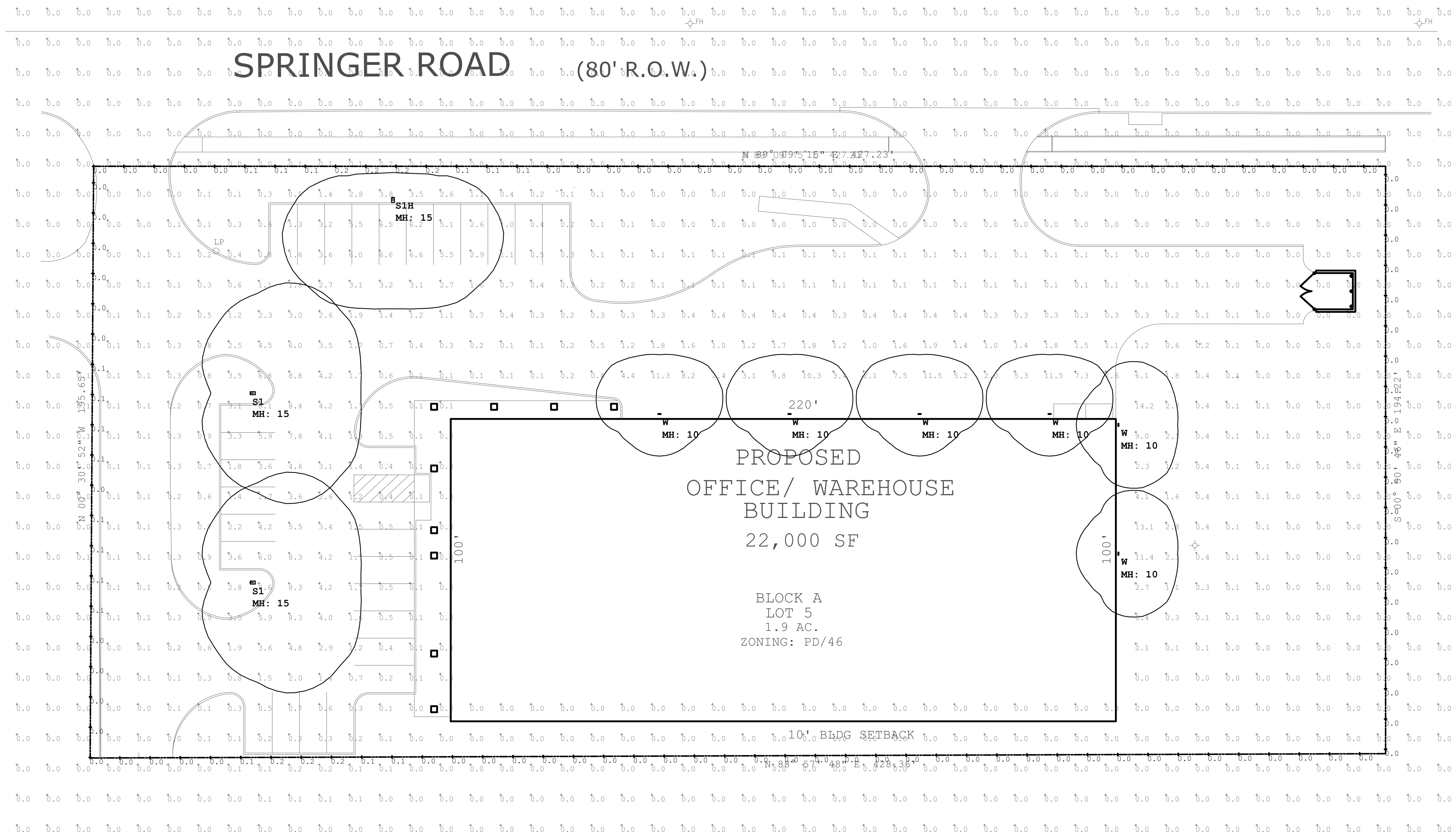
Date: 02/01/2021

Project No.: 210106

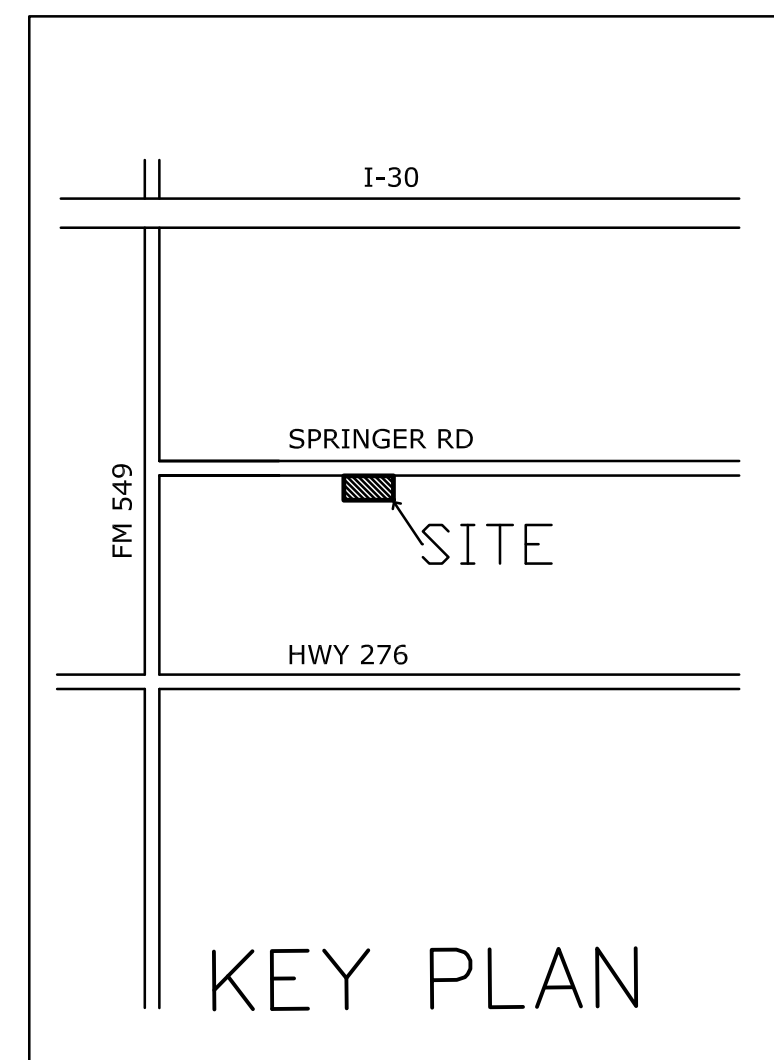
Designed: GW

Drawn: GW

Checked: WM



- LOT 5 BLOCK A – SHARP ADDITION**
1. ZONING: PD46
 2. PROPOSED USE: OFFICE/DISTRIBUTION
 3. PROPERTY AREA (GROSS): 83,390 SF 1.91 AC
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 5. BUILDING HEIGHT: ONE STORY – 33'-8"
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Luminaire Schedule							
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Light Lost Factor	User Defined Factor
[Symbol]	S1	2	LITHONIA ESX1 LED P2 40K R3 VOLTAGE	13916	97.59	1.000	1.000
[Symbol]	SIH	1	LITHONIA ESX1 LED P2 40K R3 HS VOLTAGE	11398	97.5852	1.000	1.000
[Symbol]	W	6	LITHONIA WPX2 LED 40K Mvolt	5896	47.77	1.000	1.000

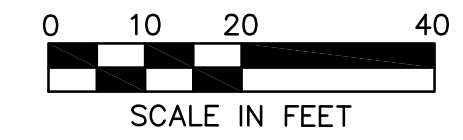
Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
PROPERTY LINE	N.A	Fc	0.02	0.2	0.0	N.A.
PARKING+DRIVE		Fc	2.11	14.2	0.0	N.A.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning and zoning commission of the City of Rockwall on the _____, 2021.

WITNESS OUR HANDS, this _____ day of _____

Planning & Zoning Commission, Chairman Director of Planning and Zoning



OWNER
SHARP INSULATION
2570 HWY 576
ROCKWALL, TEXAS 75087
972-992-0689

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RESIDENTIAL RESTAURANTS
INSTITUTIONAL
ARCHITECTS

MEDICAL COMMERCIAL
CHURCHES
MERSHAWN
2313 RIDGE ROAD #103
ROCKWALL, TEXAS 75087

PHONE: 972-722-9302
FAX: 972-248-2081

No.	Date	Revision	By

**SHARP WAREHOUSE III
ROCKWALL, TEXAS
PHOTOMETRIC
SITE PLAN**

Scale: 1" = 20'-0"

Date: 02/01/2021
Project No.: 210106
Designed: GW
Drawn: GW
Checked: WM

SHEET
PH1
OF
1

FEATURES & SPECIFICATIONS

INTENDED USE — These specifications are for USA standards only. Square Straight Steel is a general purpose light pole for up to 39-foot mounting heights. This pole provides a robust yet cost effective option for mounting area lights and floodlights.

CONSTRUCTION — **Pole Shaft:** The pole shaft is of uniform dimension and wall thickness and is made of a weldable-grade, hot-rolled, commercial-quality steel tubing with a minimum yield of 55 KSI (11-gauge, .1196"), or 50 KSI (7-gauge, .1793"). Shaft is one-piece with a full-length longitudinal high-frequency electric resistance weld. Uniformly square in cross-section with flat sides, small corner radii and excellent torsional qualities. Available shaft widths are 4", 5" and 6".

Pole Top: A flush non-metallic black top cap is provided for all poles that will receive drilling patterns for side-mount luminaire arm assemblies or when ordered with PT option.

Handhole: A reinforced handhole with grounding provision is provided at 18" from the base on side A. Positioning the handhole lower may not be possible and requires engineering review; consult Tech Support-Outdoor for further information. Every handhole includes a cover and cover attachment hardware. The handhole has a nominal dimension of 2.5" x 5".

Base Cover: A durable ABS plastic two-piece full base cover, finished to match the pole, is provided with each pole assembly. Additional base cover options are available upon request.

Anchor Base/ Bolts: Anchor base is fabricated from steel that meets ASTM A36 standards and can be altered to match existing foundations; consult factory for modifications. Anchor bolts are manufactured to ASTM F1554 Standards grade 55, (55 KSI minimum yield strength and tensile strength of 75-95 KSI). Top threaded portion (nominal 12") is hot-dipped galvanized per ASTM A-153.

HARDWARE — All structural fasteners are high-strength galvanized carbon steel. All non-structural fasteners are galvanized or zinc-plated carbon steel or stainless steel.

FINISH — Extra durable standard powder-coat finishes include Dark Bronze, White, Black, Medium Bronze and Natural Aluminum colors. Classic finishes include Sandstone, Charcoal Gray, Tennis Green, Bright Red and Steel Blue colors. Architectural Colors and Special Finishes are available by quote and include, but are not limited to Hot-dipped Galvanized, Paint over Hot-dipped Galvanized, RAL Colors, Custom Colors and Extended Warranty Finishes. Factory-applied primer paint finish is available for customer field-paint applications.

BUY AMERICAN — Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY — 1-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

NOTE: Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

Catalog Number
Notes
Type



Anchor Base Poles

SSS

SQUARE STRAIGHT STEEL



SSS Square Straight Steel Poles

ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: SSS 20 5C DM19 DDB

Series	Nominal fixture mounting height	Nominal shaft base size/wall thickness ¹	Mounting ²	Options	Finish ¹⁰	
SSS	10'-39' (for 1/2 ft increments, add -6 to the pole height. Ex: 20-6 equals 20ft 6in.) See technical information table for complete ordering information.)	4C 4" 11g (.1196") 4G 4" 7g (.1793") 5C 5" 11g (.1196") 5G 5" 7g (.1793") 6G 6" 7g (.1793") See technical information table for complete ordering information.)	<u>Tenon mounting</u> PT Open top (includes top cap) T20 2-3/8" O.D. (2" NPS) T25 2-7/8" O.D. (2-1/2" NPS) T30 3-1/2" O.D. (3" NPS) T35 4" O.D. (3-1/2" NPS) <u>KAC/KAD/KSE/KSF/KVR/KVF Drill mounting³</u> DM19 1 at 90° DM28 2 at 180° DM28 PL 2 at 180° with one side plugged DM29 2 at 90° DM39 3 at 90° DM49 4 at 90° <u>CSX/DSX/RSX/AERIS™/OMERO™/HLA/KAX Drill mounting³</u> DM19AS 1 at 90° DM28AS 2 at 180° DM29AS 2 at 90° DM39AS 3 at 90° DM49AS 4 at 90° <u>RAD drill mounting³</u> DM19RAD 1 at 90° DM28RAD 2 at 180° DM29RAD 2 at 90° DM32RAD 3 at 120° DM39RAD 3 at 90° DM49RAD 4 at 90° <u>ESX Drill mounting³</u> DM19ESX 1 at 90° DM28ESX 2 at 180° DM29ESX 2 at 90° DM39ESX 3 at 90° DM49ESX 4 at 90°	<u>AERIS™ Suspend drill mounting^{3,4}</u> DM19AST_ 1 at 90° DM28AST_ 2 at 180° DM29AST_ 2 at 90° DM39AST_ 3 at 90° DM49AST_ 4 at 90° <u>OMERO™ Suspend drill mounting^{3,4}</u> DM19MRT_ 1 at 90° DM28MRT_ 2 at 180° DM29MRT_ 2 at 90° DM39MRT_ 3 at 90° DM49MRT_ 4 at 90° <u>Shipped separately (replacement kit available)</u> (blank) FBC Full base cover (plastic) (blank) TC Top cap (blank) HHC Handhole cover	<u>Shipped installed</u> L/AB Less anchor bolts (Include when anchor bolts are not needed) VD Vibration damper TP Tamper resistant handhole cover fasteners HAxy Horizontal arm bracket (1 fixture) ^{5,6} FDLxy Festoon outlet less electrical ⁵ CPL12/xy 1/2" coupling ⁵ CPL34/xy 3/4" coupling ⁵ CPL1/xy 1" coupling ⁵ NPL12/xy 1/2" threaded nipple ⁵ NPL34/xy 3/4" threaded nipple ⁵ NPL1/xy 1" threaded nipple ⁵ EHHxy Extra handhole ^{5,7} MAEX Match existing ⁸ BAA Buy America(n) Act Compliant IC Interior coating ¹⁰ UL UL listed with label (Includes NEC compliant cover) NEC NEC 410.30 compliant gasketed handhole (Not UL Labeled)	<u>Standard colors</u> DDBXD Dark bronze DWHXD White DBLXD Black DMBXD Medium bronze DNAXD Natural aluminum <u>Classic colors</u> DSS Sandstone DGC Charcoal gray DTG Tennis green DBR Bright red DSB Steel blue <u>Architectural Colors and Special Finishes¹¹</u> Galvanized, Paint over Galvanized, RAL Colors, Custom Colors and Extended Warranty Finishes available.

NOTES:

- Wall thickness will be signified with a "C" (11 Gauge) or a "G" (7-Gauge) in nomenclature. "C" - 0.1196" | "G" - 0.1793".
- PT open top poles include top cap. When ordering tenon mounting and drill mounting for the same pole, follow this example: DM28/T20.
The combination includes a required extra handhole.
- Refer to the fixture spec sheet for the correct drilling template pattern and orientation compatibility.
- Insert "1" or "2" to designate fixture size; e.g. DM19AST2.
- Specify location and orientation when ordering option.
For "x": Specify the height above the base of pole in feet or feet and inches; separate feet and inches with a "-".
Example: 5ft = 5 and 20ft 3in = 20-3
For "y": Specify orientation from handhole (A,B,C,D)
Refer to the Handhole Orientation diagram below.
Example: 1/2" coupling at 5' 8", orientation C = CPL12/5-8C
- Horizontal arm is 18" x 2-3/8" O.D. tenon standard, with radius curve providing 12" rise and 2-3/8" O.D. If ordering two horizontal arm at the same height, specify with HAxy. Example: HA20BD.
- Combination of tenon-top and drill mount includes extra handhole.
- Must add original order number of existing pole(s).
- Use when mill certifications are required.
- Provides enhanced corrosion resistance.
- Additional colors available; see www.lithonia.com/archcolors or Architectural Colors brochure (Form No. 794.3). Available by formal quote only, consult factory for details.



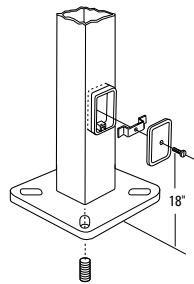
POLE-SSS

SSS Square Straight Steel Poles

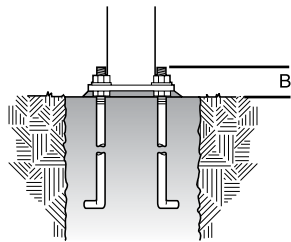
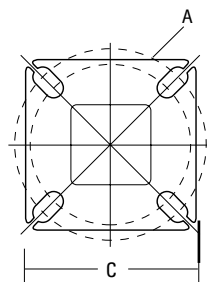
TECHNICAL INFORMATION — EPA (ft ²) with 1.3 gust													
Catalog Number	Nominal Shaft Length (ft.)*	Pole Shaft Size (Base in. x Top in. x ft.)	Wall thick (in)	Gauge	EPA (ft ²) with 1.3 gust						Bolt circle (in)	Bolt size (in. x in. x in.)	Approximate ship weight (lbs.)
					80 MPH	Max. weight	90 MPH	Max. weight	100 MPH	Max. weight			
SSS 10 4C	10	4.0 x 10.0	0.1196	11	30.6	765	23.8	595	18.9	473	8-9	3/4 x 18 x 3	75
SSS 12 4C	12	4.0 x 12.0	0.1196	11	24.4	610	18.8	470	14.8	370	8-9	3/4 x 18 x 3	90
SSS 14 4C	14	4.0 x 14.0	0.1196	11	19.9	498	15.1	378	11.7	293	8-9	3/4 x 18 x 3	100
SSS 16 4C	16	4.0 x 16.0	0.1196	11	15.9	398	11.8	295	8.9	223	8-9	3/4 x 18 x 3	115
SSS 18 4C	18	4.0 x 18.0	0.1196	11	12.6	315	9.2	230	6.7	168	8-9	3/4 x 18 x 3	125
SSS 20 4C	20	4.0 x 20.0	0.1196	11	9.6	240	6.7	167	4.5	150	8-9	3/4 x 18 x 3	140
SSS 20 4G	20	4.0 x 20.0	0.1793	7	14	350	11	275	8	200	8-9	3/4 x 30 x 3	198
SSS 20 5C	20	5.0 x 20.0	0.1196	11	17.7	443	12.7	343	9.4	235	10-12	1 x 36 x 4	185
SSS 20 5G	20	5.0 x 20.0	0.1793	7	28.1	703	21.4	535	16.2	405	10-12	1 x 36 x 4	265
SSS 25 4C	25	4.0 x 25.0	0.1196	11	4.8	150	2.6	100	1	50	8-9	3/4 x 18 x 3	170
SSS 25 4G	25	4.0 x 25.0	0.1793	7	10.8	270	7.7	188	5.4	135	8-9	3/4 x 30 x 3	245
SSS 25 5C	25	5.0 x 25.0	0.1196	11	9.8	245	6.3	157	3.7	150	10-12	1 x 36 x 4	225
SSS 25 5G	25	5.0 x 25.0	0.1793	7	18.5	463	13.3	333	9.5	238	10-12	1 x 36 x 4	360
SSS 30 4G	30	4.0 x 30.0	0.1793	7	6.7	168	4.4	110	2.6	65	8-9	3/4 x 30 x 3	295
SSS 30 5C	30	5.0 x 30.0	0.1196	11	4.7	150	2	50	--	--	10-12	1 x 36 x 4	265
SSS 30 5G	30	5.0 x 30.0	0.1793	7	10.7	267	6.7	167	3.9	100	10-12	1 x 36 x 4	380
SSS 30 6G	30	6.0 x 30.0	0.1793	7	19	475	13.2	330	9	225	11-13	1 x 36 x 4	520
SSS 35 5G	35	5.0 x 35.0	0.1793	7	5.9	150	2.5	100	--	--	10-12	1 x 36 x 4	440
SSS 35 6G	35	6.0 x 35.0	0.1793	7	12.4	310	7.6	190	4.2	105	11-13	1 x 36 x 4	540
SSS 39 6G	39	6.0 x 39.0	0.1793	7	7.2	180	3	75	--	--	11-13	1 x 36 x 4	605

* EPA values are based ASCE 7-93 wind map. For 1/2 ft increments, add -6 to the pole height. Ex: 20-6 equals 20ft 6in.

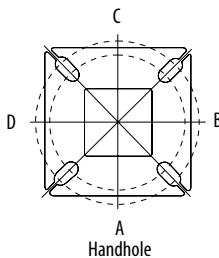
BASE DETAIL



POLE DATA								
Shaft base size	Bolt circle A	Bolt projection B	Base diameter C	Base plate thickness	Template description	Anchor bolt description	Anchor bolt and template number	Anchor bolt description
4"C	8" - 9"	3.25" - 3.75"	8" - 8.25"	0.75"	ABTEMPLATE PJ50004	AB18-0	ABSSS-4C	3/4"x18"x3"
4"G	8" - 9"	3.38" - 3.75"	8" - 8.25"	0.875"	ABTEMPLATE PJ50004	AB30-0	ABSSS-4G	3/4"x30"x3"
5"	10" - 12"	3.5" - 4"	11"	1"	ABTEMPLATE PJ50010	AB36-0	ABSSS-5	1"x36"x4"
6"	11" - 13"	4" - 4.50"	12.5"	1"	ABTEMPLATE PJ50011	AB36-0	N/A	1"x36"x4"



HANDHOLE ORIENTATION



Default DM19 is on side B.

IMPORTANT INSTALLATION NOTES:

- Do not erect poles without having fixtures installed.
- Factory-supplied templates must be used when setting anchor bolts. Lithonia Lighting will not accept claim for incorrect anchorage placement due to failure to use Lithonia Lighting factory templates.
- If poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage.
- Lithonia Lighting is not responsible for the foundation design.



ESX1 LED Area Luminaire

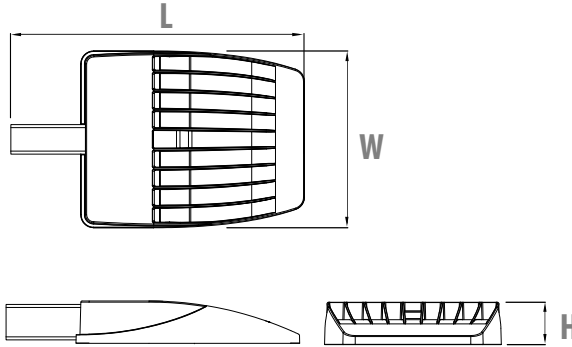


Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

EPA	0.40 ft ² (0.04 m ²)
Length:	19.9" (50.5 cm)
Width:	12" (30.5 cm)
Height:	2.9" (7.4 cm)
Weight:	11.2 lbs (5.1 kg)



Introduction

The ESX LED area luminaire provides the combination of best product, best price and best delivery. ESX is ideal for one-for-one replacement of HID area lighting and provides up to 76% energy savings, long service life and fast payback.

The ESX1 delivers 8,000 to 25,000 lumens allowing it to replace 150W to 400W HID luminaires. All ESX luminaires feature adjustable light output, providing two light levels from one product, allowing greater flexibility in the field and on distributors' shelves.

All luminaires feature a reversible arm that allows for mounting on both round and square poles. Eight configurations of ESX1 luminaires are stocked in Acuity Brands distribution centers.

Ordering Information

HID Equivalent	Luminaire / Performance Package	High		Low		Distribution	Voltage	Catalog Number	CI Code	UPC
		Lumens	Watts	Lumens	Watts					
4000K										
150W to 250W	ESX1 LED P2	14,000	98W	8,000	50W	Type 3	120-277V	ESX1 LED P2 40K R3 MVOLT UPA BLS DDBXD M2	*269PG3	00194994838302
400W	ESX1 LED P4	25,000	190W	21,000	146W	Type 3	120-277V	ESX1 LED P4 40K R3 MVOLT UPA BLS DDBXD M2	*269PG8	00194994838340
							347-480V	ESX1 LED P4 40K R3 HVOLT UPA BLS DDBXD M2	*269PGC	00194994838364
						Type 5	120-277V	ESX1 LED P4 40K R5 MVOLT UPA BLS DDBXD M2	*269PGG	00194994838418
							347-480V	ESX1 LED P4 40K R5 HVOLT UPA BLS DDBXD M2	*269PGN	00194994838463
5000K										
150W to 250W	ESX1 LED P2	14,000	98W	8,000	50W	Type 3	120-277V	ESX1 LED P2 50K R3 MVOLT UPA BLS DDBXD M2	*269PGY	00194994838555
400W	ESX1 LED P4	25,000	190W	21,000	146W	Type 3	120-277V	ESX1 LED P4 50K R3 MVOLT UPA BLS DDBXD M2	*269PH1	00194994838531
						Type 5	120-277V	ESX1 LED P4 50K R5 MVOLT UPA BLS DDBXD M2	*269PH2	00194994838548

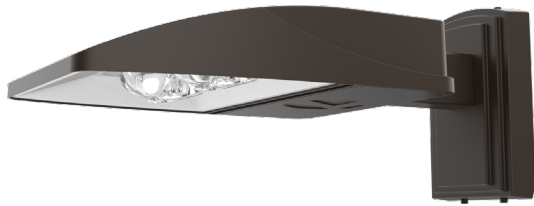
Note: Luminaire ships set on high (switchable to low). All luminaires feature adjustable light output, a reversible arm for mounting on round and square poles and dark bronze finish. The lumen output and input watts shown are nominal values. Refer to the lumens table on page 3 for specific values.

Accessories: Order as separate catalog number.

Catalog Number	Description	CI Code	UPC
ESXWBA DDBXD U	ESX WBA wall bracket, dark bronze finish	*27055T	00194995092826

Note: Accessories are ordered and shipped separately from the luminaire.



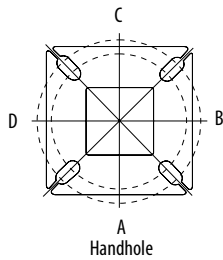


Wall Bracket (WBA)

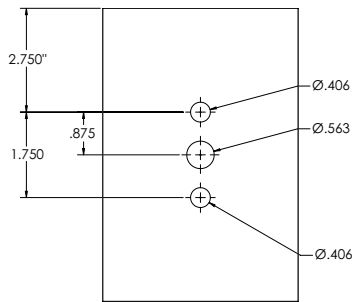
Pole/Mounting Information

Accessories including bullhorns, cross arms and other adapters are available under the accessories tab at Lithonia's Outdoor Poles and Arms product page. Click here to visit [Accessories](#).

HANDHOLE ORIENTATION



DRILLING TEMPLATE #20



Round Tenon Mount - Pole Top Slipfitters

Tenon O.D.	ESX1 Mounting	Single	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2 - 3/8"	UPA (round)	ASR4-5 190	ASR4-5 280	ASR4-5 290	ASR4-5 320	ASR4-5 390	ASR4-5 490

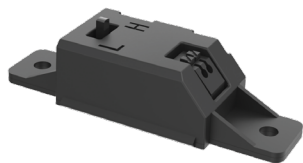
Drill/Side Location by Configuration Type

Drilling Template	Mounting Option	Single	2 @ 180	2 @ 90	3 @ 120	3 @ 90	4 @ 90
	Head Location	Side B	Side B & D	Side B & C	Round Pole Only	Side B, C & D	Side A, B, C & D
#20	Drill Nomenclature	DM19ESX	DM28ESX	DM29ESX	DM32ESX	DM39ESX	DM49ESX

Luminaire EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single	2 @ 90	2 @ 180	3 @ 90	3 @ 120	4 @ 90	2 Side by Side	3 Side by Side	4 Side by Side
Mounting Type									
UPA - Reversible Arm Mount	0.40	0.79	0.79	1.19	1.19	1.58	0.79	1.19	1.58



Adjustable Light Output (ALO) technology:

Internal bi-level switch with two light levels for greater flexibility within one product (default set to high)

	High Lumens	Low Lumens	HID Replacement
ESX1 LED P2	14,000	8,000	150W to 250W
ESX1 LED P4	25,000	21,000	400W

UPA - Reversible Arm Mount

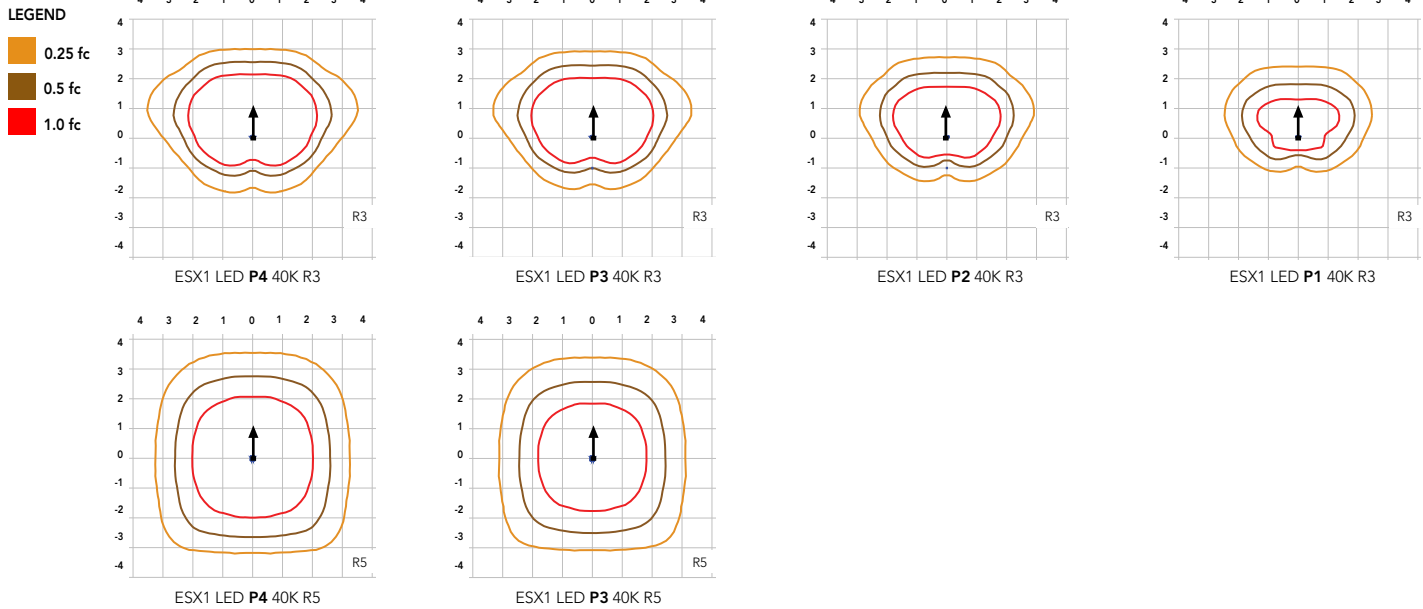
The UPA reversible arm is designed to mount onto round and square poles. During installation, the flat end of the arm is placed against the flat surface on square poles. When using with round poles, the arm can be turned around so that the curved end is placed against the curvature on round poles. ESX1 can be mounted onto minimum 3.5" square and round poles.



Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [ESX Area homepage](#).

Isofootcandle plots for the ESX1. Distances are in units of mounting height (25').



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Series	Performance Package	System Watts	Distribution Type	40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
ESX1 LED P2	P1 (switched to low)	50W	R3	7,874	2	0	2	157	7,993	2	0	2	160
	P2	98W	R3	13,917	2	0	2	142	14,128	2	0	2	144
ESX1 LED P4	P3 (switched to low)	146W	R3	20,658	3	0	3	141	20,881	3	0	3	143
			R5	21,680	5	0	3	148	21,914	5	0	3	150
	P4	190W	R3	25,034	3	0	3	132	25,304	3	0	3	133
			R5	26,273	5	0	3	138	26,557	5	0	3	140

Electrical Load

Performance Package	System Watts (W)	Current (A)					
		120V	208V	240V	277V	347V	480V
P1 (low)	50W	0.41	0.24	0.21	0.18	---	---
P2	98W	0.81	0.47	0.41	0.35	---	---
P3 (low)	146W	1.22	0.70	0.61	0.53	0.42	0.30
P4	190W	1.58	0.91	0.79	0.69	0.55	0.40

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient Temperature		Lumen Multiplier
0°C	32°F	1.03
5°C	41°F	1.03
10°C	50°F	1.02
15°C	59°F	1.01
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.99
40°C	104°F	0.98

Projected LED Lumen Maintenance

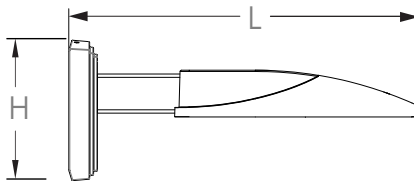
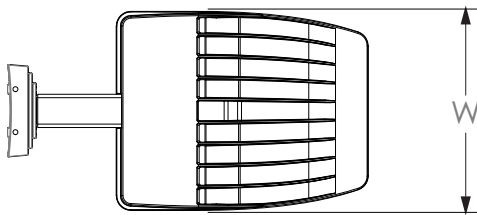
Data references the extrapolated performance projections for the platforms noted in a 25°C ambient and hours of LED testing (tested per IESNA LM-80-08 and reported per IESNA M-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the luminaire performance package below. For other lumen maintenance values, contact factory.

Performance Package	TM-21 Percent Lumen Maintenance at 60,000 hrs
P1 / P2	89%
P3	88%
P4	87%

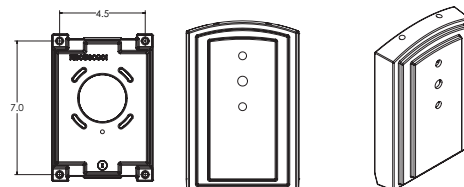
Dimensions

ESX1 with Wall Bracket (WBA)



- Length: 21.7" (55.1)
Width: 12" (30.5 cm)
Height: 2.9" (7.4 cm) Main Body
8.9" (22.6 cm) Wall Bracket
Weight: 14.2 lbs (6.4 kg)

Wall Bracket (WBA) Mounting Detail



FEATURES & SPECIFICATIONS

INTENDED USE

The ESX1 offers a complete area lighting package providing everything needed to replace 150W to 400W HID area luminaires. Adjustable light output provides two light levels from one product, allowing greater flexibility while helping reduce inventory costs.

CONSTRUCTION

The ESX LED area luminaire features a rugged die-cast aluminum main body that uses heat-dissipating fins and flow-through venting to provide optimal thermal management that both enhances LED efficacy and extends component life. The mounting arm is made of extruded aluminum and its universal function allows for mounting on round and square poles. The luminaires optics are IP66 rated, and sealed against moisture and environmental contaminants. The low-profile design results in a low EPA. ESX is rated for minimum 1.5 G vibration load per ANSI C136.31.

FINISH

Exterior parts are protected by a Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. The result is a high-quality finish that is warranted not to crack or peel. The standard finish provided on the housing and mounting arm is dark bronze.

OPTICS

Designed for one-for-one replacement of HID luminaires, acrylic refractive lenses are engineered for application efficiency, distributing the light to where it is needed most, providing greater coverage and improved back-light control. Available in distributions Type 3 and Type 5.

ELECTRICAL

Light engines consist of high-efficacy LEDs with LED lumen maintenance greater than L87/60,000 hours. Color temperature (CCT) options of 4000K and 5000K with minimum CRI of 70 are available. Electronic drivers are 0-10V, capable of continuous dimming, and ensure system power factor >90% and THD <20%. All luminaires have 6kV surge protection. Driver input voltages available in MVOLT (120-277V) and HVOLT (347-480V).

ADJUSTABLE LIGHT OUTPUT (ALO)

ALO allows dimming the luminaire via a switch that is accessible in the driver compartment. Luminaires ship on the high setting. Use ESX1 LED P4 at 25,000 lumens to replace 400W HID luminaires. When less light and/or more energy savings is desired, switch to low (P3) setting at 21,000 lumens. Use ESX1 LED P2 to replace 250W HID luminaires. When less light and/or more energy savings is desired, switch to low (P1) setting at 8,000 lumens or when replacing down to 150W HID.

INSTALLATION

The ESX1 features an extruded aluminum arm that is reversible allowing it to mount on both round and square poles. ESX1 can be mounted onto minimum 3.5" square and round poles. A wall mount bracket is also available.

LISTINGS

UL listed to meet U.S. and Canadian standards. Suitable for wet locations. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product. Not all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.





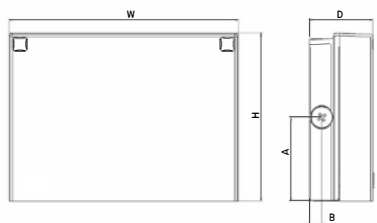
WPX LED Wall Packs



Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications



Front View

Side View

Luminaire	Height (H)	Width (W)	Depth (D)	Side Conduit Location		Weight
				A	B	
WPX1	8.1" (20.6 cm)	11.1" (28.3 cm)	3.2" (8.1 cm)	4.0" (10.3 cm)	0.6" (1.6 cm)	6.1 lbs (2.8kg)
WPX2	9.1" (23.1 cm)	12.3" (31.1 cm)	4.1" (10.5 cm)	4.5" (11.5 cm)	0.7" (1.7 cm)	8.2 lbs (3.7kg)
WPX3	9.5" (24.1 cm)	13.0" (33.0 cm)	5.5" (13.7 cm)	4.7" (12.0 cm)	0.7" (1.7 cm)	11.0 lbs (5.0kg)

Introduction

The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,550 to 9,200 lumens with a wide, uniform distribution.

The WPX full cut-off solutions fully cover the footprint of the HID glass wall packs that they replace, providing a neat installation and an upgraded appearance. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall mounted lighting application.

Ordering Information

EXAMPLE: WPX2 LED 40K MVOLT DDBXD

Series	Color Temperature	Voltage	Options	Finish
WPX1 LED P1	1,550 Lumens, 11W ¹ 30K 3000K	MVOLT 120V - 277V	(blank) None	DDBXD Dark bronze
WPX1 LED P2	2,900 Lumens, 24W 40K 4000K	347 347V ³	E4WH Emergency battery backup, CEC compliant (4W, 0°C min) ²	DWHXD White
WPX2 LED	6,000 Lumens, 47W 50K 5000K		E14WC Emergency battery backup, CEC compliant (14W, -20°C min) ²	DBLXD Black
WPX3 LED	9,200 Lumens, 69W		PE Photocell ³	Note : For other options, consult factory.

Note: The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.

NOTES

- All WPX wall packs come with 6kV surge protection standard, except WPX1 LED P1 package which comes with 2.5kV surge protection standard. Add SPD6KV option to get WPX1 LED P1 with 6kV surge protection. Sample nomenclature: WPX1 LED P1 40K MVOLT SPD6KV DDBXD
- Battery pack options only available on WPX1 and WPX2.
- Battery pack options not available with 347V and PE options.

FEATURES & SPECIFICATIONS

INTENDED USE

The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution.

CONSTRUCTION

WPX feature a die-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs and LED lumen maintenance of L90/100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with minimum CRI of 70. Electronic drivers ensure system power factor >90% and THD <20%. All luminaires have 6kV surge protection (Note: WPX1 LED P1 package comes with a standard surge protection rating of 2.5kV. It can be ordered with an optional 6kV surge protection).

All photocell (PE) operate on MVOLT (120V - 277V) input.

Note: The standard WPX LED wall pack luminaires come with field-adjustable drive current feature. This feature allows tuning the output current of the LED drivers to adjust the lumen output (to dim the luminaire).

INSTALLATION

WPX can be mounted directly over a standard electrical junction box. Three 1/2 inch conduit ports on three sides allow for surface conduit wiring. A port on the back surface allows poke-through conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the integral wiring compartment in all cases. WPX is only recommended for installations with LEDs facing downwards.

LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



Performance Data

Electrical Load

Luminaire	Input Power (W)	120V	208V	240V	277V	347V
WPX1 LED P1	11W	0.09	0.05	0.05	0.04	0.03
WPX1 LED P2	24W	0.20	0.12	0.10	0.09	0.07
WPX2	47W	0.39	0.23	0.20	0.17	0.14
WPX3	69W	0.58	0.33	0.29	0.25	0.20

Projected LED Lumen Maintenance

Data references the extrapolated performance projections in a 25°C ambient, based on 6,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.94	>0.92	>0.90

HID Replacement Guide

Luminaire	Equivalent HID Lamp	WPX Input Power
WPX1 LED P1	100W	11W
WPX1 LED P2	150W	24W
WPX2	250W	47W
WPX3	400W	69W

Lumen Output

Luminaire	Color Temperature	Lumen Output
WPX1 LED P1	3000K	1,537
	4000K	1,568
	5000K	1,602
WPX1 LED P2	3000K	2,748
	4000K	2,912
	5000K	2,954
WPX2	3000K	5,719
	4000K	5,896
	5000K	6,201
WPX3	3000K	8,984
	4000K	9,269
	5000K	9,393

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Emergency Egress Battery Packs

The emergency battery backup is integral to the luminaire — no external housing or back box is required. The emergency battery will power the luminaire for a minimum duration of 90 minutes and deliver minimum initial output of 550 lumens. Both battery pack options are CEC compliant.

Battery Type	Minimum Temperature Rating	Power (Watts)	Controls Option	Ordering Example
Standard	0°C	4W	E4WH	WPX2 LED 40K MVOLT E4WH DDBXD
Cold Weather	-20°C	14W	E14WC	WPX2 LED 40K MVOLT E14WC DDBXD

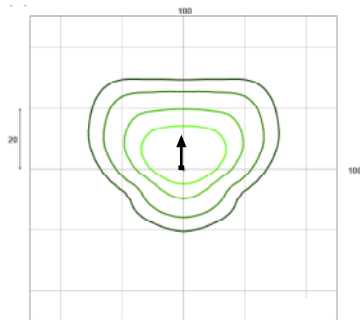
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting [WPX LED](#) homepage. Tested in accordance with IESNA LM-79 and LM-80 standards

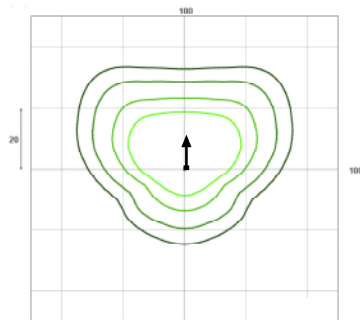
LEGEND

	0.1 fc
	0.2 fc
	0.5 fc
	1.0 fc

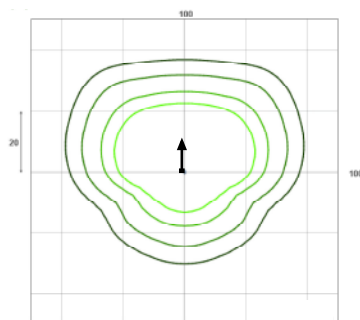
WPX1 LED P1



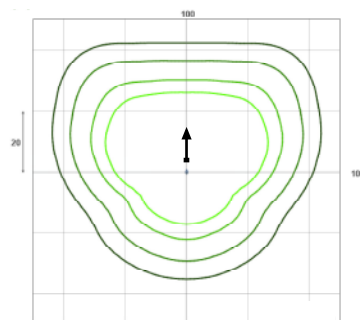
WPX1 LED P2



WPX2 LED



WPX3 LED



Mounting Height = 12 Feet.



City of Rockwall
2021
Planning and Zoning Department
Ryan Miller
Re: Sharp Office/Warehouse

May 14, 2021,

LETTER OF VARIANCE

We respectfully request a variance for the horizontal articulation on the rear (south) elevation and east elevation for this project. We have provided compensatory measures as listed.

1. Increased landscaping with additional accent trees, along with additional landscape space.
2. Increased masonry and stone percentages.
3. Increased architectural elements with three additional.

We also would like to include a short vertical wall detention with stone faces if this becomes necessary during the engineering design of this project.

Landscaping requirements for this detention area have been exceeded to help facilitate this request.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 10, 2021
APPLICANT: Keaton Mai; *Dimension Group*
CASE NUMBER: SP2021-021; *Site Plan for a Retail Store with Gasoline Sales*

SUMMARY

Discuss and consider a request by Keaton Mai of the Dimension Group on behalf of Russell Phillips of Rockwall 205 Investors, LLC for the approval of a Site Plan for a *Retail Store with Gasoline Sales* on a 1.503-acre portion of a larger tract of land being a 34.484-acre tract of land identified as Tracts 17-5 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at east of the intersection of S. Goliad Street [SH-205] and S. FM-549, and take any action necessary.

BACKGROUND

On May 19, 1986, the subject property was annexed into the City of Rockwall [Ordinance No. 86-37]. On March 4, 2013, the City Council approved a zoning change from an Agricultural (AG) District to a Commercial (C) District [Ordinance No. 13-03] for a 45.5601-acre tract of land [Case No. Z2013-002]. On June 7, 2021, the City Council approved a preliminary plat [Case No. P2021-027] for a 14-lot commercial development (*i.e. Lots 1-14, Block A, Creekside Commons Addition*), which includes the subject property. The subject property has remained vacant since its annexation.

PURPOSE

On July 16, 2021, the applicant -- *Keaton Mai of the Dimension Group* -- submitted an application requesting approval of a site plan for the purpose of developing a *Retail Store with Gasoline Sales (i.e. 7-Eleven)* on the subject property. The total square footage of the structure is ~5,206 SF.

ADJACENT LAND USES AND ACCESS

The subject property is located east of the intersection of S. Goliad Street [SH-205] and S. FM-549. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a continuation and remainder of the 34.484-acre tract of land identified as the Creekside Commons Addition (*i.e. Lots 1-14, Block A, Creekside Commons Addition*), which is zoned for Commercial (C) District land uses and is currently vacant. Beyond this is S. FM-549, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Planned Development District 63 (PD-63) [*i.e. Somerset Park Subdivision*], which is a 309-lot single-family residential master planned community. East of the Somerset Park Subdivision are two (2) single-family estate developments (*i.e. Lofland Lake Estates & the Neller Additions*), which consist of 16 single-family lots that are greater than two (2) acres in area each.

South: Directly south of the subject property is S. Goliad Street [SH-205], which is identified as a TXDOT6D (*i.e. Texas Department of Transportation, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the JBR2 Addition, which is zoned for General Retail (GR) District land uses. Continuing south are several large tracts of land (*i.e. Tracts 17-8, 17-10, 17-11, & 17-14, of the W. W. Ford Survey, Abstract 80*) that contain single-family homes zoned Agricultural (AG) District.

East: Directly east of the subject property is a continuation and remainder of the 34.484-acre tract of land identified as the Creekside Commons Addition (*i.e. Lots 1-14, Block A, Creekside Commons Addition*), which is zoned for Commercial (C) District land uses and is currently vacant. Adjacent to the property line of the Creekside Commons Addition is the corporate limits of the City of Rockwall, followed by an unincorporated area with single-family homes.

West: Directly west of the subject property is S. Goliad Street [SH-205], which is identified as a TXDOT6D (*i.e. Texas Department of Transportation, six [6] lane, divided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 7.130-acre vacant tract of land (*i.e. Tract 10-01, of the W. W. Ford Survey, Abstract No. 80*), which is zoned for General Retail (GR) District land uses. Beyond this is the Oaks of Buffalo Way Subdivision, which consists of 58 single-family residential lots on 109.57-acres. This property is zoned Single-Family Estate 1.5 (SFE-1.5) District for single-family district land uses.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Convenience Store with Gasoline Sales* is a permitted *by-right* land use in a Commercial (C) District. The subject property will have two (2) points of ingress and egress via S. Goliad Street [SH-205] and FM-549 (*when constructed*). The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District and the SH-205 Overlay (SH-205 OV) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>x=1.5-acres; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>x> 235-feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>x>269-feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>x>144-feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet w/o FRW</i>	<i>x>68-feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet w/o FRW</i>	<i>x>77-feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Feet w/o SUP</i>	<i>x>27’4^{1/4}”; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>x<24%; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>	<i>x>90%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>1/250 SF – 21 Required</i>	<i>x=40; In Conformance</i>
<i>Minimum Stone Requirement</i>	<i>20% Natural or Quarried</i>	<i>x>25.6%; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>20%</i>	<i>x=21.9%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>x=76%; In Conformance</i>

TREESCAPE PLAN

The treescape plan provided by the applicant indicates a total of 702-caliper inches of tree to be removed from the site -- *primarily Cedar trees--*, which are considered to be non-protected trees. Of the total inches being removed from the site, 30-caliper inches require mitigation (*i.e. primary and secondary protected trees*). The applicant is providing 14, four (4)-caliper inch trees (*i.e. Live Oaks & October Glory Maple*) on site within the parking lot and the landscape buffers along S. Goliad Street and FM-549, which will satisfy the required tree mitigation for this development.

CONFORMANCE WITH THE CITY’S CODES

The proposed site plan conforms to the standards of the General Overlay District Standards and the General Commercial District Standards as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variances being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following variance to the requirements of the *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC):

(1) Architectural Standards.

- (a) Roof Design Standards. According to Subsection 06.02(C)(2) *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof." In this case, the applicant will be constructing a ~5,206 SF facility with a roof designed with parapet walls.

According to Section 9, *Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and unless otherwise specified by the UDC, "(a)n applicant may request the Planning and Zoning Commission grant a variance to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In cases where a variance or variances is/are being requested, the applicant shall provide compensatory measures that directly offset the requested variances."

In this case, the applicant has provided a letter explaining the variance, and offering compensatory measures in the form of additional landscaping, increased natural stone, and increased architectural elements (*i.e. decorative canopies, articulated accents, etc.*), and varied roof heights. The Planning and Zoning Commission is tasked with determining if the compensatory measures properly off-set the requested variances. This is a discretionary decision for the Planning and Zoning Commission, which requires approval by a super majority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval. In the event that the variance(s) are denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the South Central Residential District, which "contains a mixture of established medium and low density residential subdivisions along with several large vacant tracts of land designated for low density residential land uses." In this case, the applicant's proposed land use supports the surrounding residential developments according to the *District Strategies* for commercial land uses. Additionally, "commercial development should use berms, landscaping and large buffers to transition to residential land uses." The applicant's site plan appears to meet the intent of Comprehensive Plan for a *Retail Store with Gasoline Sales* facility located within a property designed for Commercial/Retail land uses.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On July 27, 2021, the Architectural Review Board (ARB) did not have a quorum with Board Members Quint Avenetti, Lindsay Mitchell, Julian Meyrat, Robert Miller, and Ashiel Neill absent. The Architectural Review Board will review the revisions made by the applicant at the August 10, 2021 meeting and forward a recommendation to the Planning and Zoning Commission.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for a *Medical and/or General Office Building* on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹

PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹

FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹

REPLAT (\$300.00 + \$20.00 ACRE) ¹

AMENDING OR MINOR PLAT (\$150.00)

PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

SITE PLAN (\$250.00 + \$20.00 ACRE) ¹ **\$280.06**

AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹

SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹

PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

TREE REMOVAL (\$75.00)

VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **NEC of HWY 205 and FM 549, Rockwall, TX 75032**

SUBDIVISION **Creekside Commons** LOT **1** BLOCK **A**

GENERAL LOCATION **NEC of HWY 205 and FM 549, Rockwall, TX 75032**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial (C)** CURRENT USE **Undeveloped**

PROPOSED ZONING **Commercial (C)** PROPOSED USE **Convenience Store with Gas**

ACREAGE **1.503** LOTS [CURRENT] **N/A** LOTS [PROPOSED] **N/A**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Rockwall 205 Investors LLC	<input checked="" type="checkbox"/> APPLICANT	The Dimension Group
CONTACT PERSON	Russell Phillips	CONTACT PERSON	Keaton Mai
ADDRESS	1 Candlelite Trail	ADDRESS	10755 Sandhill Rd
CITY, STATE & ZIP	Heath, TX 75032	CITY, STATE & ZIP	Dallas, TX 75238
PHONE	469-446-7734	PHONE	214-600-1152
E-MAIL	rphil404@aol.com	E-MAIL	kmai@dimensiongroup.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Justin Webb [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \$280.06 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16 DAY OF July, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. CITY) IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

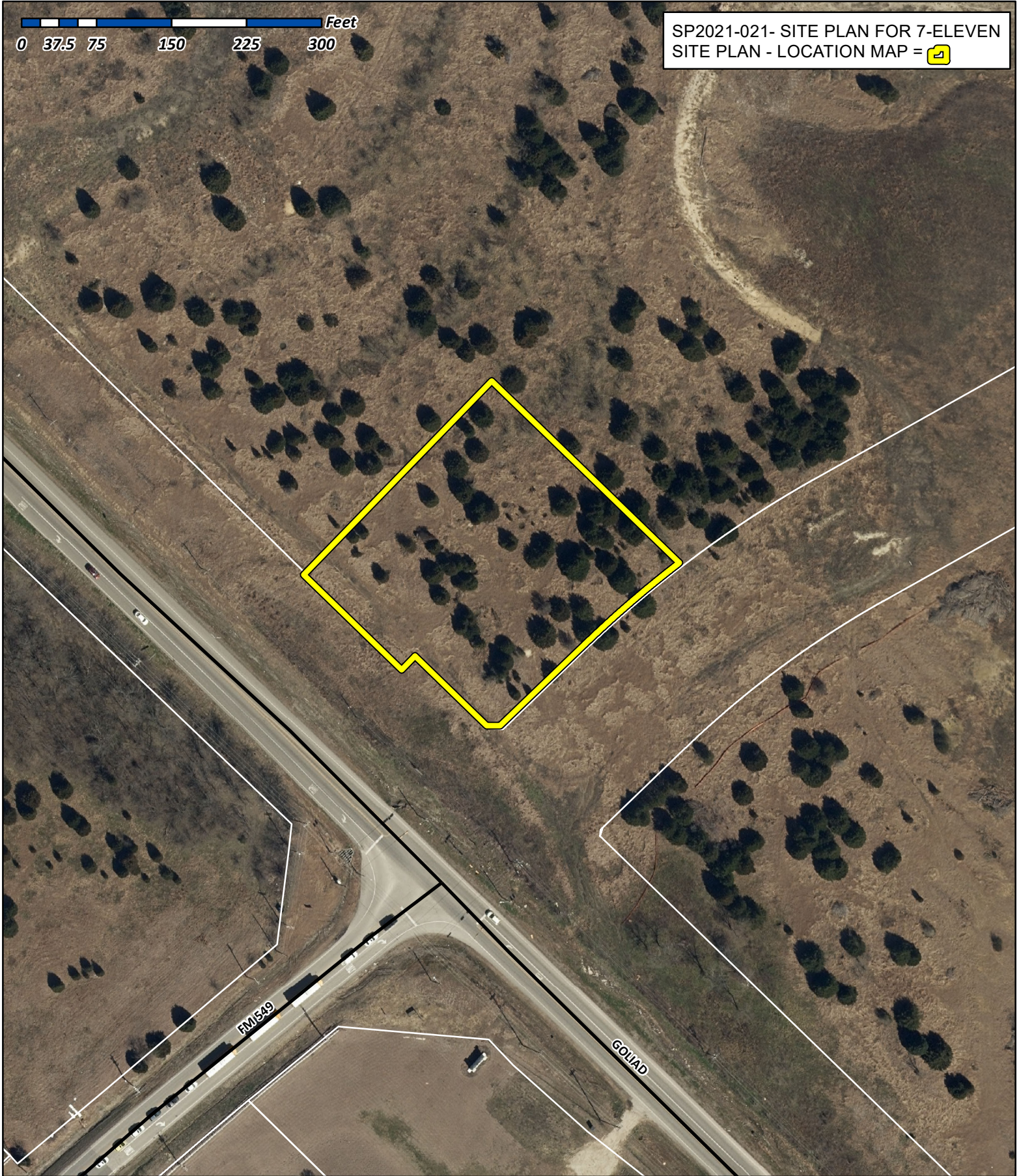
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF July, 2021.
OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]



0 37.5 75 150 225 300 Feet

SP2021-021- SITE PLAN FOR 7-ELEVEN
SITE PLAN - LOCATION MAP = 

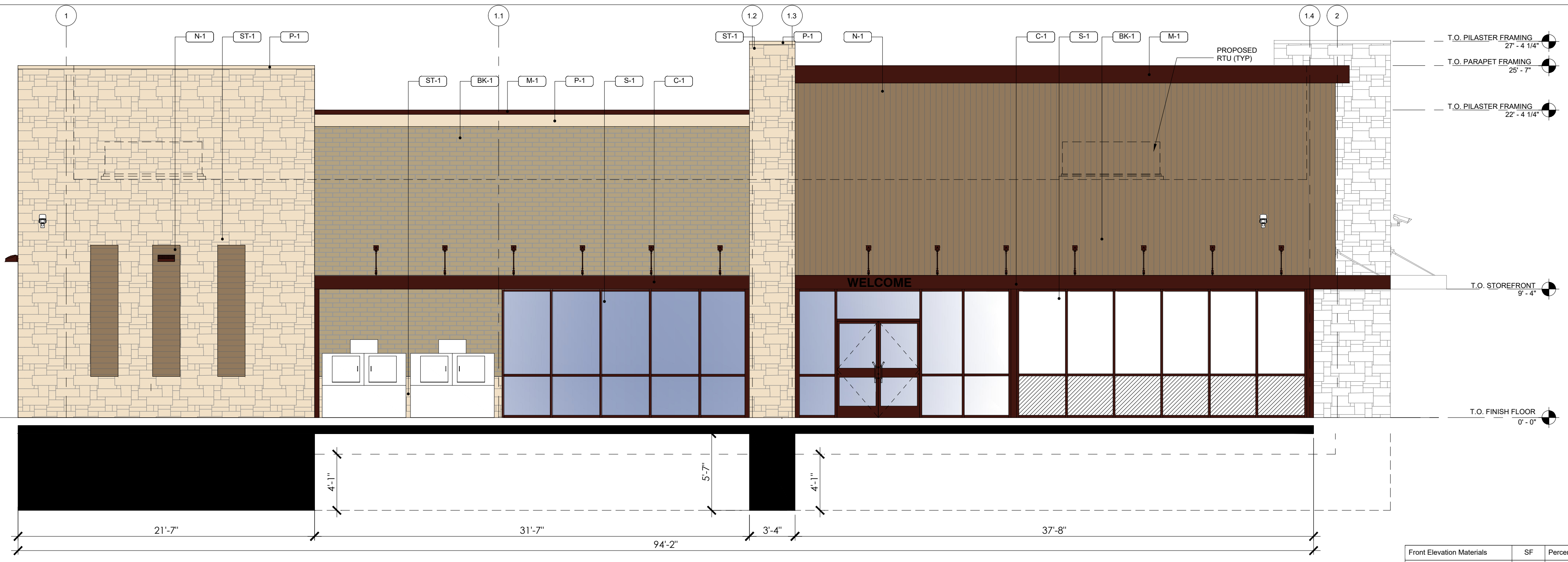


City of Rockwall

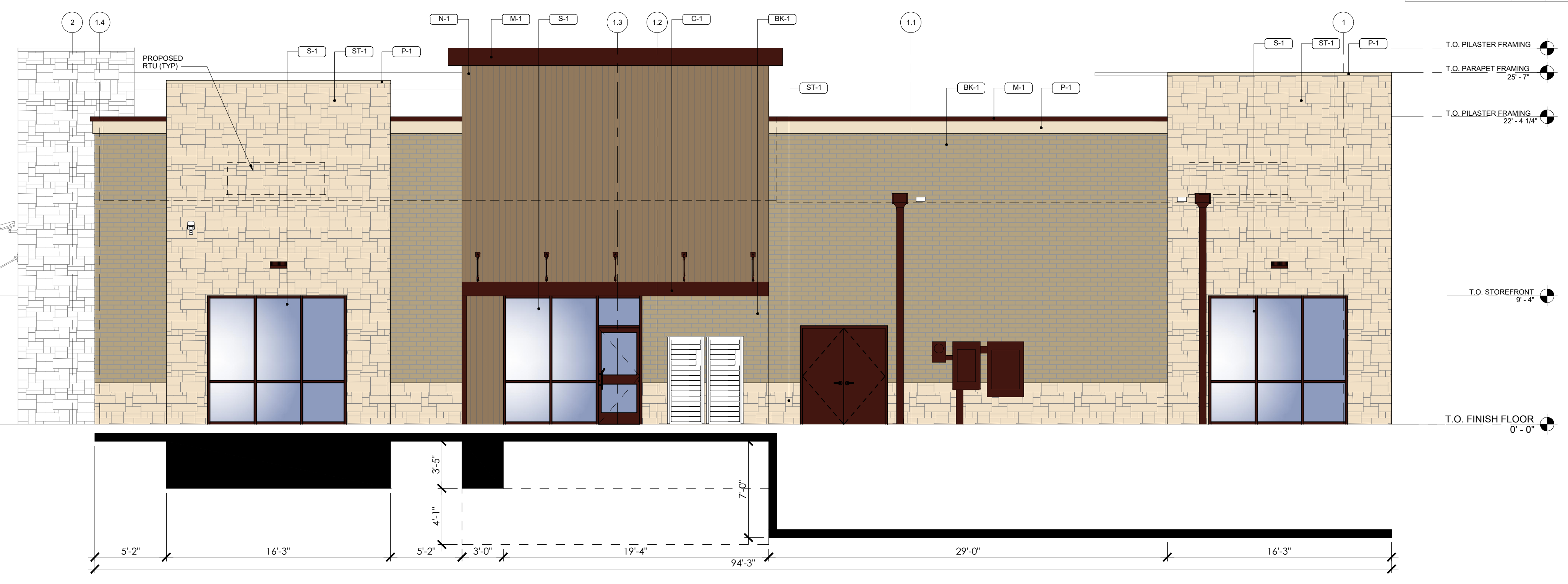
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

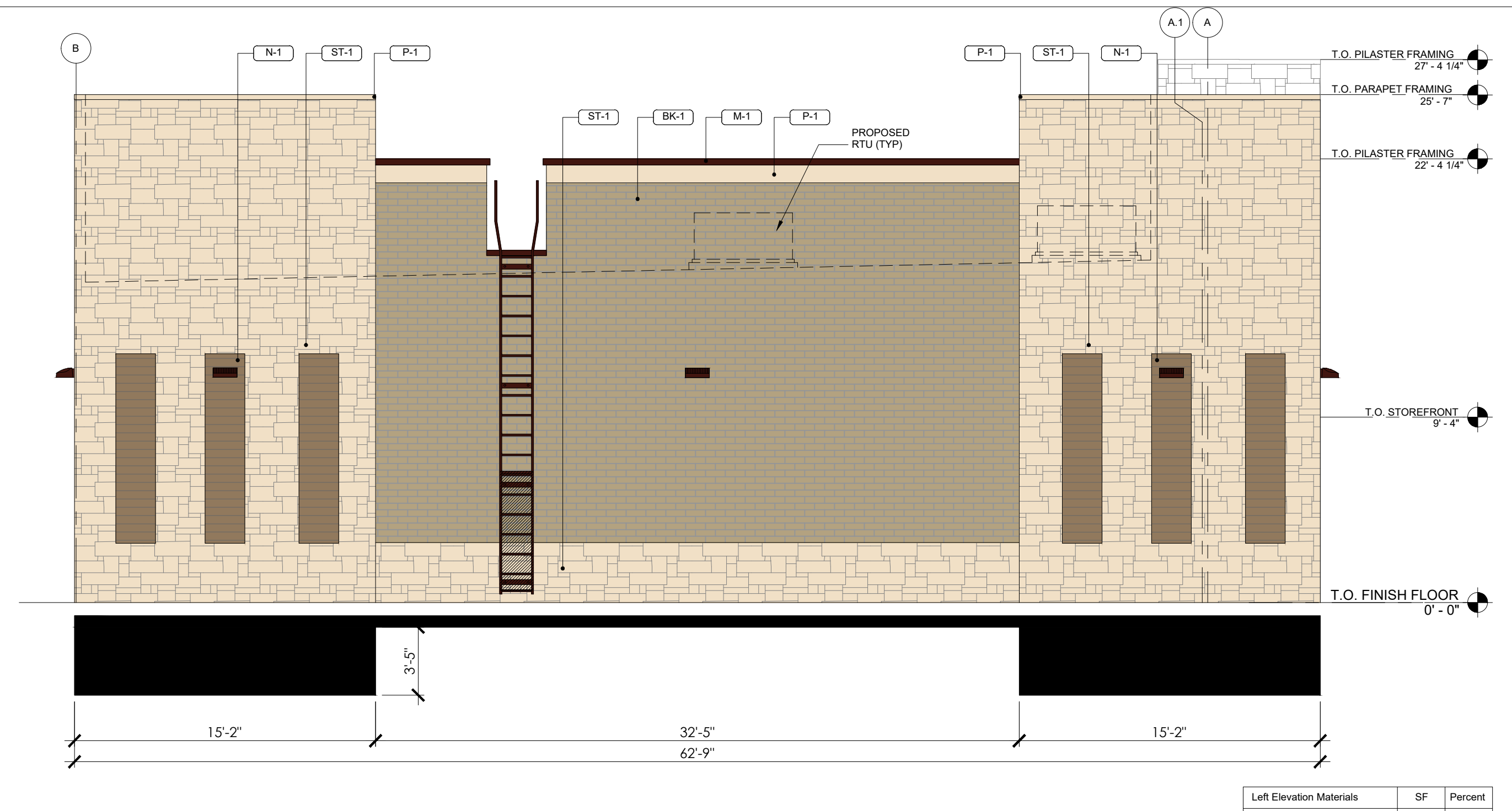




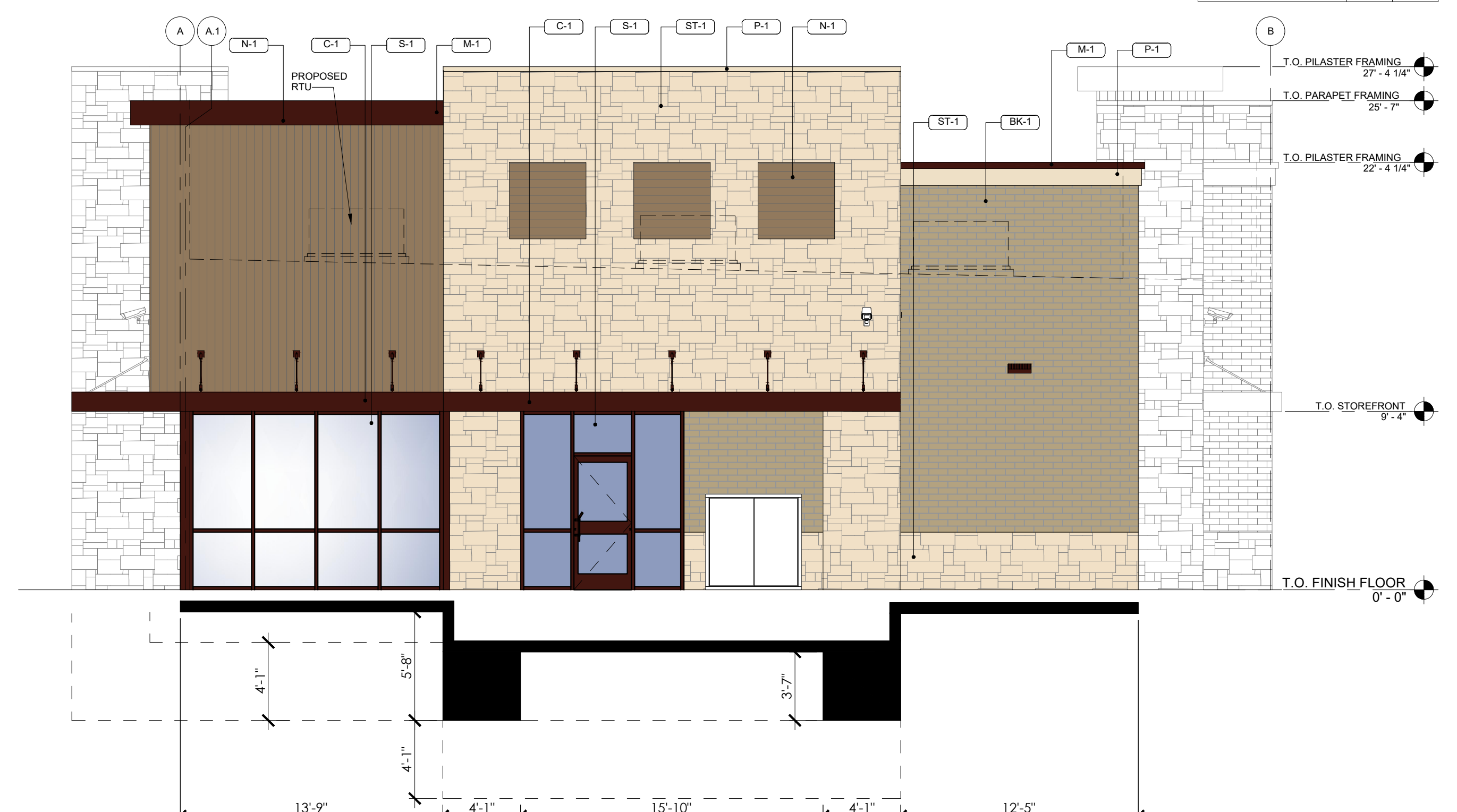
1 ELEVATION - FRONT
3/16" = 1'-0"



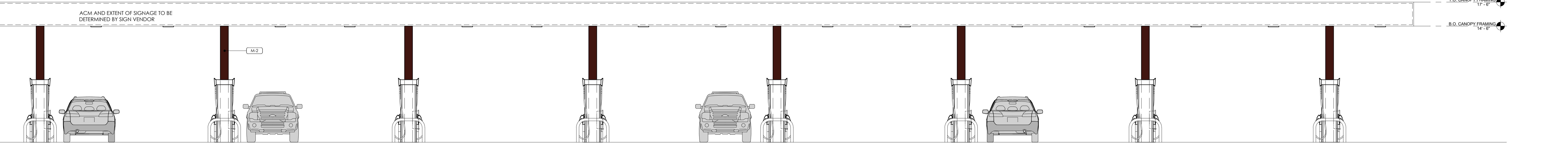
3 ELEVATION - BACK SIDE
3/16" = 1'-0"



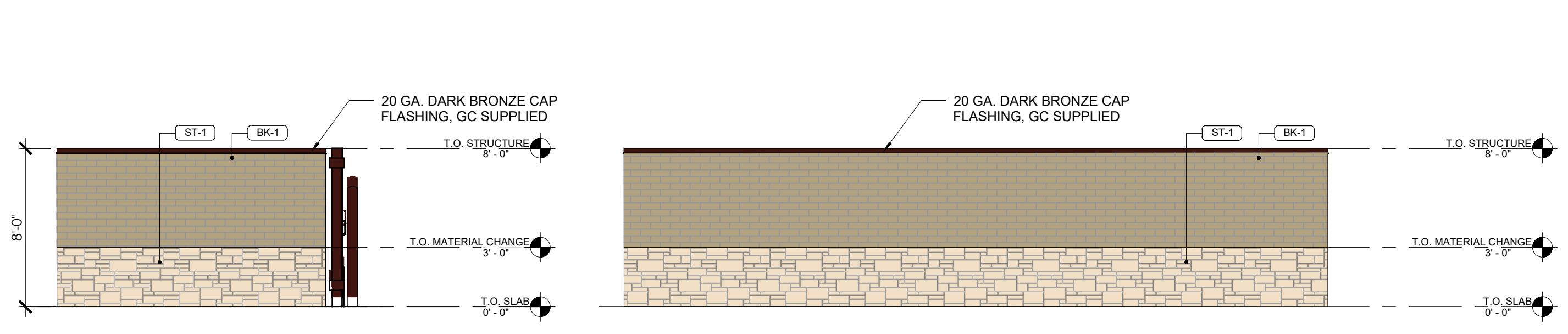
2 ELEVATION - LEFT SIDE
3/16" = 1'-0"



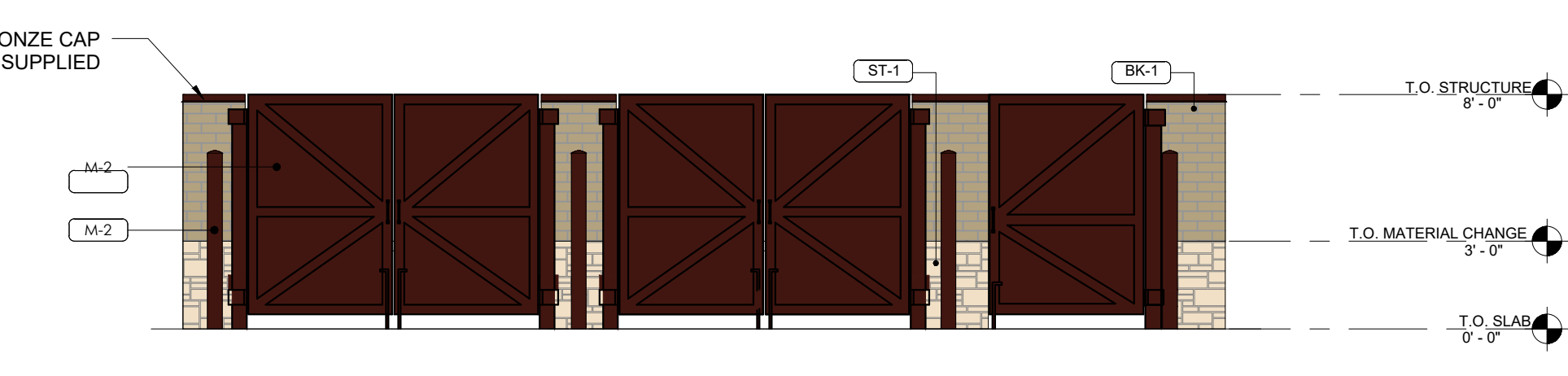
4 ELEVATION - RIGHT SIDE
3/16" = 1'-0"



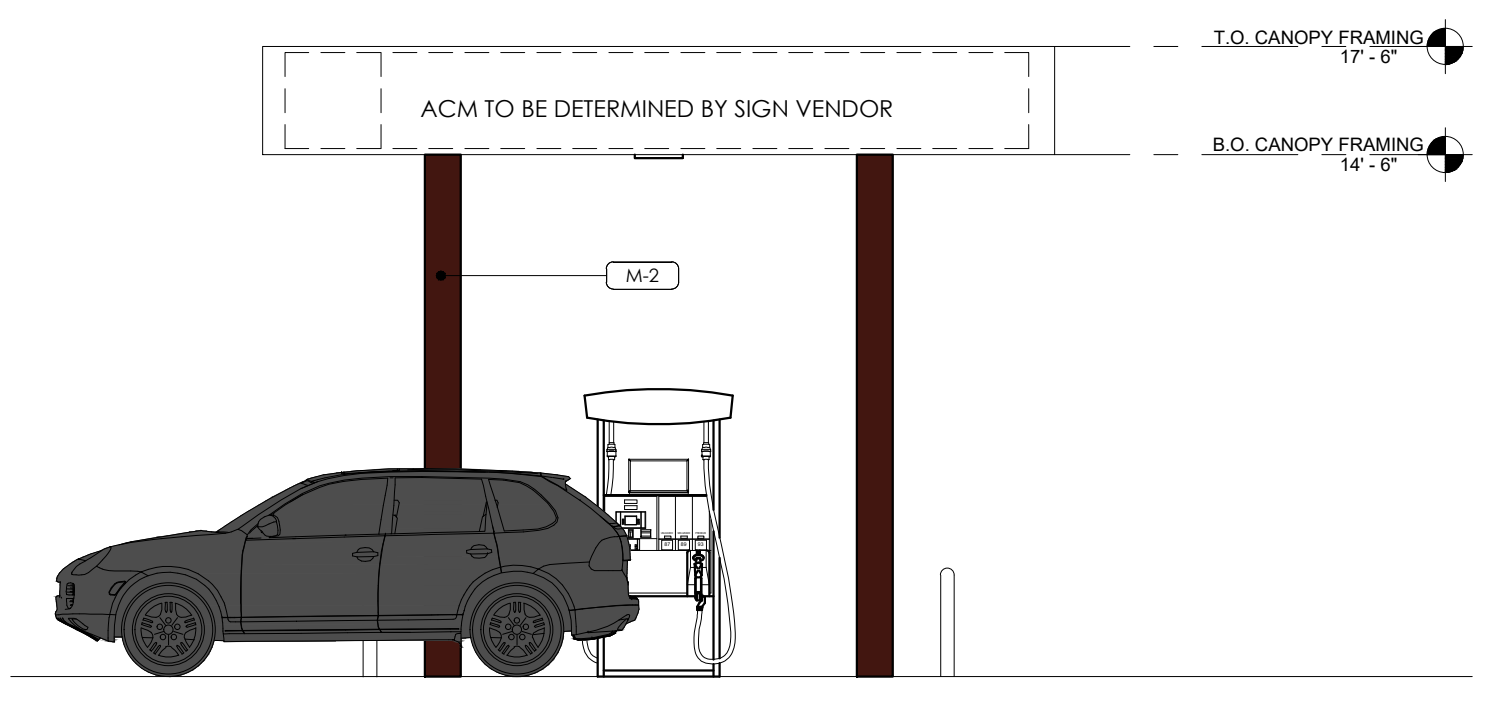
5 GAS CANOPY ELEVATION - FRONT
3/16" = 1'-0"



7 SIDE DUMPSTER ENCL. ELEVATION
3/16" = 1'-0"



9 FRONT DUMPSTER ENCL. ELEVATION
3/16" = 1'-0"



6 GAS CANOPY ELEVATION - SIDE
3/16" = 1'-0"

- ARCHITECTURAL DESIGN ELEMENTS**
- CANOPIES
 - TOWER ELEMENTS
 - TEXTURED SURFACES
 - VARIOUS ROOF LINES
 - RECESSES/PROJECTIONS
 - CORNICE
 - COVERED WINDOWS

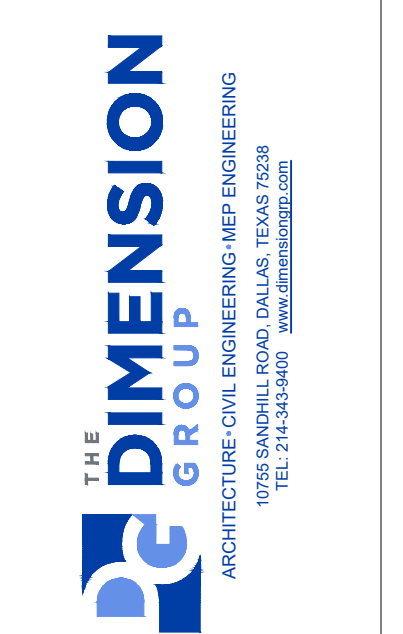
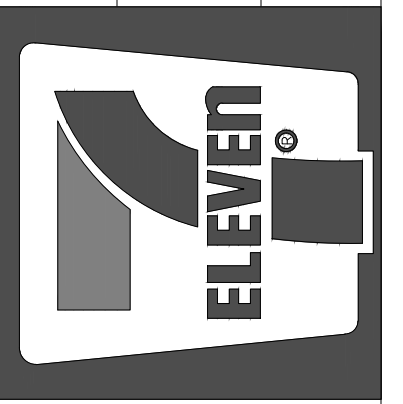
MATERIAL SCHEDULE

M-1 24 GAUGE GALV. SHEET METAL COPING CAP, SLOPE 1/2" PER FOOT, PRE-FINISHED TO MATCH CANOPIES AND OTHER METAL WORKS (SW 7048 "URBANE BRONZE")	M-2 FINISHED SHEET METAL DOWNSPOUT SYSTEM AND OTHER METAL WORKS (SW 7048 "URBANE BRONZE")	BK-1 MUSHROOM BROWN THIN-BRICK	N-1 VINTAGE WOOD - CEDAR NUCHHA
C-1 PRE-FINISHED ALUMINUM CANOPY, COPING AND SIGNAGE BOX	S-1 KAWNEER, "DARK BRONZE" ALUMINUM STOREFRONT FRAME 1" INSULATED CLEAR GLAZING BY OLDCASTLE OR EQUAL	ST-1 SALADO STONE LIMESTONE STONE "WHITE" OR EQUAL	P-1 24 GAUGE GALV. SHEET METAL COPING CAP, SLOPE 1/2" PER FOOT, PRE-FINISHED TO MATCH CANOPIES AND OTHER METAL WORKS (SW 7676 "PAPER LANTERN")

Rev. #	Date	Description

NON-PROTO: 2.0

7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING, TX 75063
7-ELEVEN #1049078
HWY 205 & FM 549
ROCKWALL, TX 75087



Job#: 200-673
Scale: AS NOTED
Date: 07/07/2021
Drawn By: RP
Checked By: AM

Documents prepared by the Group are for the specific project and are not to be used for any other project, by owner or any other party, without the expressed, written consent of the Group. The Group is not responsible for any errors or omissions in these drawings. The Dimension Group reserves the right to modify these drawings without notice. The user will hold the Dimension Group harmless from all claims and losses.

PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION

SHEET: BUILDING, FUEL CANOPY AND DUMPSTER ENCLOSURE ELEVATIONS
CITY PROJECT #SP2021-0021
9350 SIP

CAUTION NOTICE TO CONTRACTORS
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL 811 AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

PLANTING LEGEND

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	QUANTITY	REMARKS
TREES					
ACRU	Acer rubrum 'October Glory'	October Glory Maple	4" cal., 14' high	4	CANOPY TREE
CECA	Cercis canadensis	Eastern Redbud	2" cal., 6'-8' high	14	ACCENT TREE
QUVI	Quercus virginiana	Live Oak	4" cal., 14' high	10	CANOPY TREE
NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECS. FOR PROPER ROOT QUALITY.					
SHRUBS					
BETH	Berberis thun. 'Crimson Pygmy'	Crimson Pygmy Barberry	5 gallon	82	
HEPA	Hesperaloe parviflora	Red Yucca	5 gallon	43	
ILCO	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	5 gallon	14	
JUCO	Juniperus conferta 'Pacific Blue'	Pacific Blue Shore Juniper	5 gallon	71	
EUFO	Euonymus fortunei 'Monice'	Golden Prince Wintercreeper	5 gallon	144	
TURF					
	Cynodon 'Tifway 419'	Tifway Hybrid Bermuda Grass	Sod	---	

LANDSCAPE STANDARDS

05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL
 REQ. ABUTTING A PUBLIC RIGHT-OF-WAY: 10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
 5 CANOPY TREES, 5 ACCENT TREES

FM HWY 549 - ±242' OF STREET FRONTAGE:
 SH-205 OVERLAY ZONE: 20' WIDE BUFFER REQUIRED W/ 2 CANOPY & 4 ACCENT TREES PER 100' OF FRONTAGE
 ±236' OF STREET FRONTAGE

PROVIDED 20' BUFFER - SH 205:
 5 CANOPY TREES & 9 ACCENT TREES, SHRUBS, & GROUND COVER

05.02 LANDSCAPE SCREENING
 REQ. HEADLIGHT SCREENING: HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS
 BERM WITH EVERGREEN PLANTING PROVIDED

PROVIDED SCREENING

05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT
 TOTAL SITE AREA: 65,466 SF
 LANDSCAPE AREA REQUIRED TOTAL SITE: 13,093.2 SF (20%)
 LANDSCAPE PROVIDED, TOTAL SITE: 14,381.2 SF (21.9%)

LOCATION OF LANDSCAPING:
 MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.

MIN. SIZE OF AREAS
 ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA

DETENTION BASINS
 NONE PROPOSED

PARKING LOT LANDSCAPING
 MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF THE PARKING LOT AREA.

PROPOSED PARKING AREA:
 REQ. PARKING LOT LANDSCAPING: 761 SF
 1,338 SF (8.8%)
 PROPOSED PARKING LOT LANDSCAPING: REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR AND MEET ROCKWALL UDC (SEC. 05.04, ART. 08).
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

GENERAL GRADING AND PLANTING NOTES

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ AND WILL COMPLY WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN ±0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
5. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

DATA SUMMARY TABLE

USE	COMMERCIAL (CONVENIENCE STORE W/ FUEL SALES)
LOT AREA	65,466 S.F. (1.50 ACRES)
BUILDING SQUARE FOOTAGE	5,206 S.F.
CANOPY SQUARE FOOTAGE	3,640 S.F.
FAR	0.13:1
BUILDING HEIGHT	18'-8"
CANOPY HEIGHT	17'-6"
TOTAL PERVIOUS COVER	15,734 S.F. OR 24%
TOTAL IMPERVIOUS COVER	49,732 S.F. OR 76%
PARKING REQUIRED	21 SPACES (1/250 G.F.A.)
PARKING PROVIDED	40 SPACES
HANDICAP PARKING REQUIRED	2 SPACES
HANDICAP PARKING PROVIDED	4 SPACES

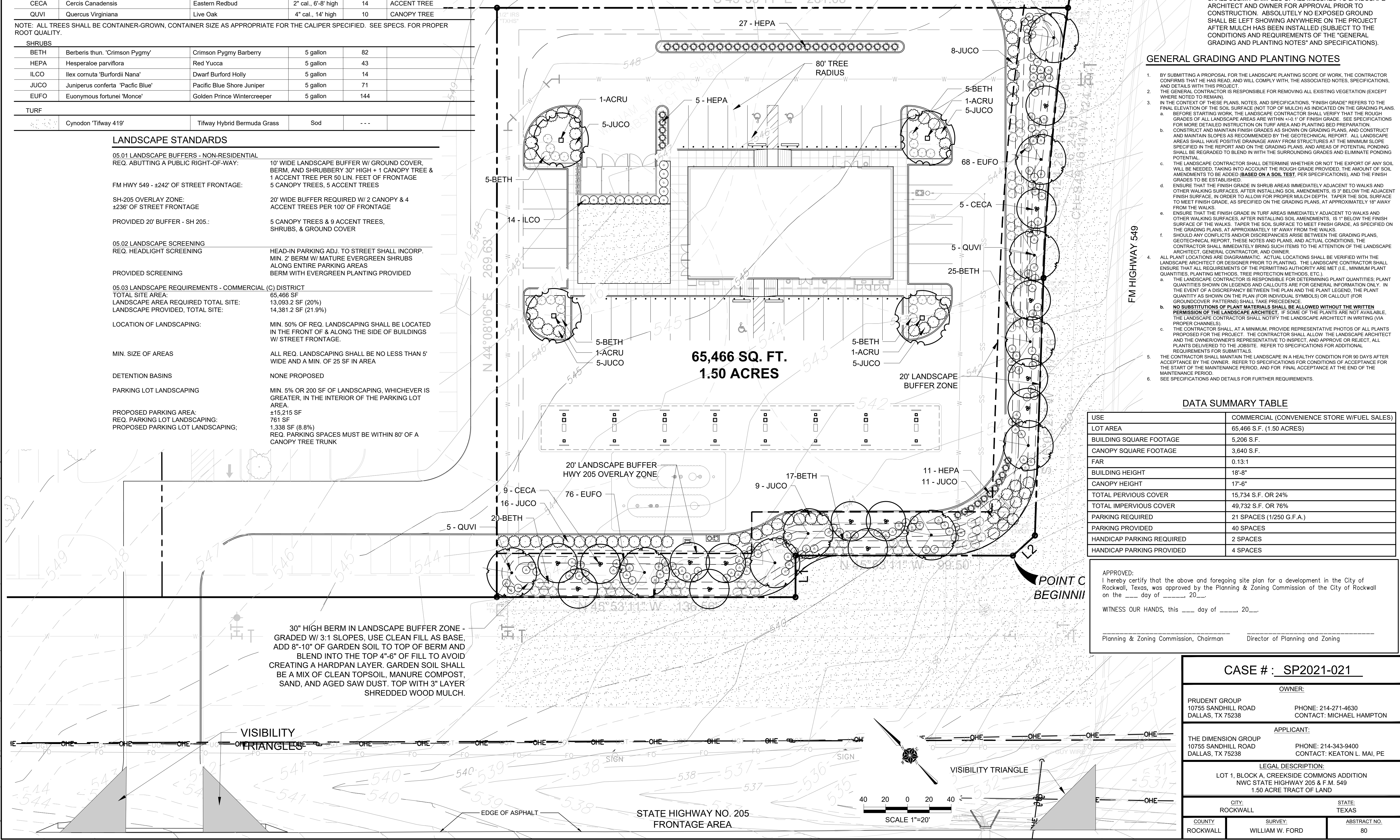
APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, 20__.

WITNESS OUR HANDS, this ___ day of ___, 20__.

 Planning & Zoning Commission, Chairman Director of Planning and Zoning

CASE #: SP2021-021

OWNER: PRUDENT GROUP 10755 SANDHILL ROAD DALLAS, TX 75238		PHONE: 214-271-4630 CONTACT: MICHAEL HAMPTON	
APPLICANT: THE DIMENSION GROUP 10755 SANDHILL ROAD DALLAS, TX 75238		PHONE: 214-343-9400 CONTACT: KEATON L. MAI, PE	
LEGAL DESCRIPTION: LOT 1, BLOCK A, CREEKSIDE COMMONS ADDITION NWC STATE HIGHWAY 205 & F.M. 549 1.50 ACRE TRACT OF LAND			
CITY: ROCKWALL	STATE: TEXAS	COUNTY: ROCKWALL	SURVEY: WILLIAM W. FORD
ABSTRACT NO.: 80			SHEET: LP-1



THE DIMENSION GROUP
 ARCHITECTURE • CIVIL ENGINEERING • WATER MANAGEMENT
 5608 S. GREENWAY BLVD., SUITE 200 • DALLAS, TEXAS 75242
 TEL: 714.536.1188 • WWW.DIMENSIONGROUP.COM

EVERGREEN DESIGN GROUP
 10808 (86) 4531
 15455 Dallas Pkwy, Ste. 600
 Addison, TX 75001
 www.EvergreenDesignGroup.com

REGISTERED LANDSCAPE ARCHITECT
 STATE OF TEXAS
 3423

BY: _____ DATE: _____
 REVISION DESCRIPTION: _____
 # _____

project no. 200-672
 date 8/03/2021
 dwg. 7-11 Rockwall TX LP_2021-07-15.dwg

8/03/2021 10:53 am
 drawn by _____
 designed by _____
 approved by _____

LANDSCAPE PLANTING PLAN
 7-ELEVEN STORE
 NWC STATE HIGHWAY 205 & FM 549
 ROCKWALL, TEXAS

PLANTING SPECIFICATIONS

GENERAL

A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR

- 1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
2. A LIST OF SUCCESSFUL COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.

B. SCOPE OF WORK

- 1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND /OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW CONTAINER AND BALLED-AND-BURLAPPED PLANTS.

- 1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.

- 2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.

- 4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES OF THE ACCEPTABILITY OF PLANT MATERIAL.

- 5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.

- 7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL, WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.

- 9. PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.

- 10. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 3/4" INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
11. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, PH RANGE OF 5.5 TO 6.5, MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT, 100 PERCENT PASSING THROUGH 1/8" SIEVE, SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS/M, NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.

- 12. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL TESTING LABORATORY (SEE BELOW).
13. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.

- 14. TREE STAKING AND GUYING:
a. STAKES: 6" LONG GREEN METAL T-POSTS.
b. GUY AND TIE WIRE: ASTMA A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
c. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.

- 15. STEEL EDGING: PROFESSIONAL STEEL EDGING 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN, ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
16. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

- A. SOIL PREPARATION

- 1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
2. SOIL TESTING:
a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.

- b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (GEO) LINE, SODIUM ABSORPTION RATIO (SAR) AND BORON CONTENT.
c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.

- d. THE SOIL REPORT PROVIDED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE REED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.

- 3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT FOR BIDDING PURPOSES ONLY. THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU YDS PER 1,000 S.F.
ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.

- b. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
c. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU YDS PER 1,000 S.F.
ii. 12-12-12 FERTILIZER (OR SIMILAR, SLOW RELEASE) - 10 LBS PER CU YD.
iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
iv. IRON SULPHATE - 2 LBS PER CU YD.

- 4. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.

- b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.

- c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.

- d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.

- e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.

- f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.

- g. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

B. SUBMITTALS

- 1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).

- 2. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
3. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.

C. GENERAL PLANTING

- 1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.

- 3. TRENCING NEAR EXISTING TREES:
a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER AT BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.

- c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER, WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS, WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
d. ALL SEEDING ROOTS SHALL BE HAND PRUNED WITH HAND PRUNING TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

D. TREE PLANTING

- 1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.

- 2. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
3. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.

- 4. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL OF SIMILAR TEXTURAL CLASS AND COMPOSITION TO THE ON-SITE SOIL. TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.

- 5. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BE DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
a. 1"-2" TREES: TWO STAKES PER TREE
b. 2"-12" 4" CALIPER: GUY AS NEEDED
c. TREES OVER 4" CALIPER: GUY AS NEEDED
d. MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
e. TREES EXCEEDING 4" CALIPER: GUY AS NEEDED
f. MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE

- 6. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
7. SHRUBS, PERENNIALS AND TURF PLANTING:
a. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
b. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
c. WHEN PLANTING MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.

F. SODDING

- 1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.

- 5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
6. MULCH:
a. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
b. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

H. CLEAN UP

- 1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

I. INSPECTION AND ACCEPTANCE

- 1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

J. LANDSCAPE MAINTENANCE

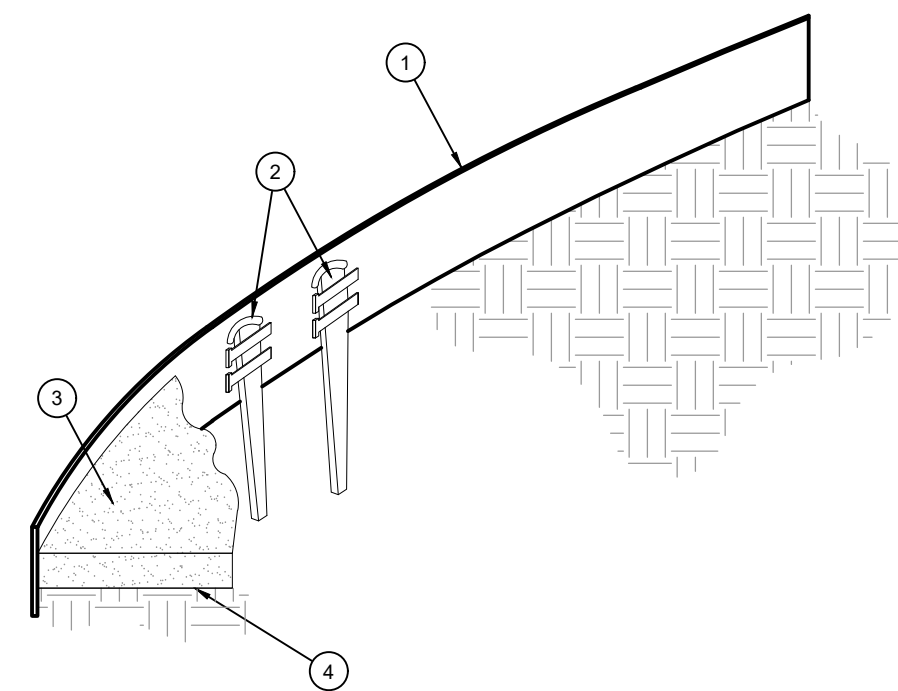
- 1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION. SHOULD SEEDING AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.

- 2. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

- 3. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CAN BE ATTRIBUTED DIRECTLY TO OVERWATERING OR UNDERWATERING BY HUMAN ACTIONS.

L. RECORD DRAWING

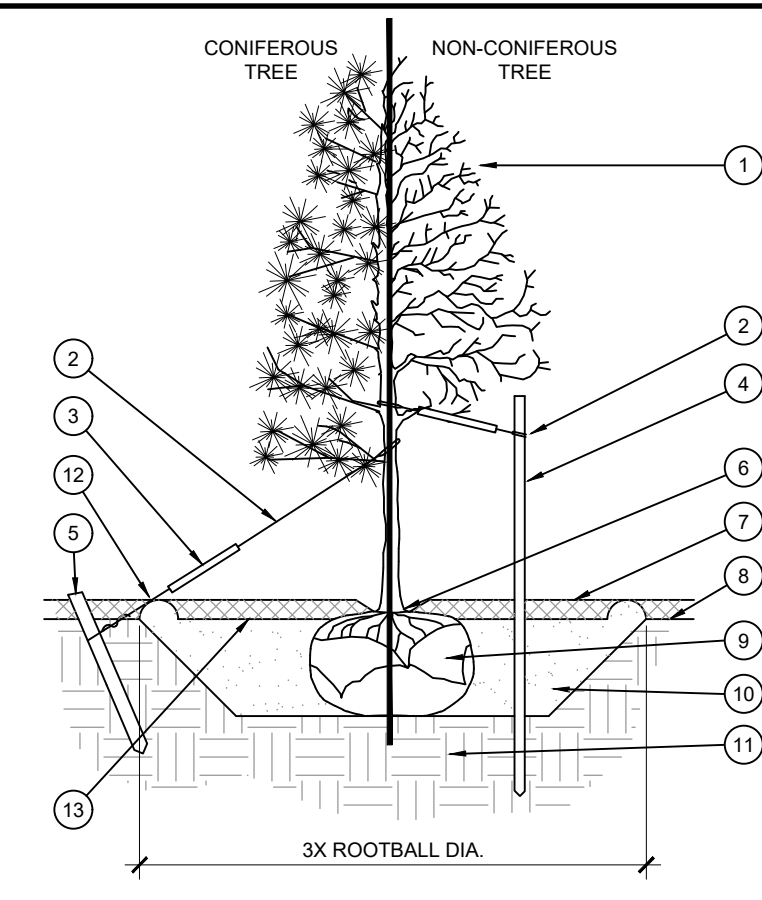
- 1. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



D STEEL EDGING SCALE: NOT TO SCALE

- 1. ROLLED-TOP STEEL EDGING PER PLANS.
2. TAPERED STEEL STAKES.
3. MULCH, TYPE AND DEPTH PER PLANS.
4. FINISH GRADE.

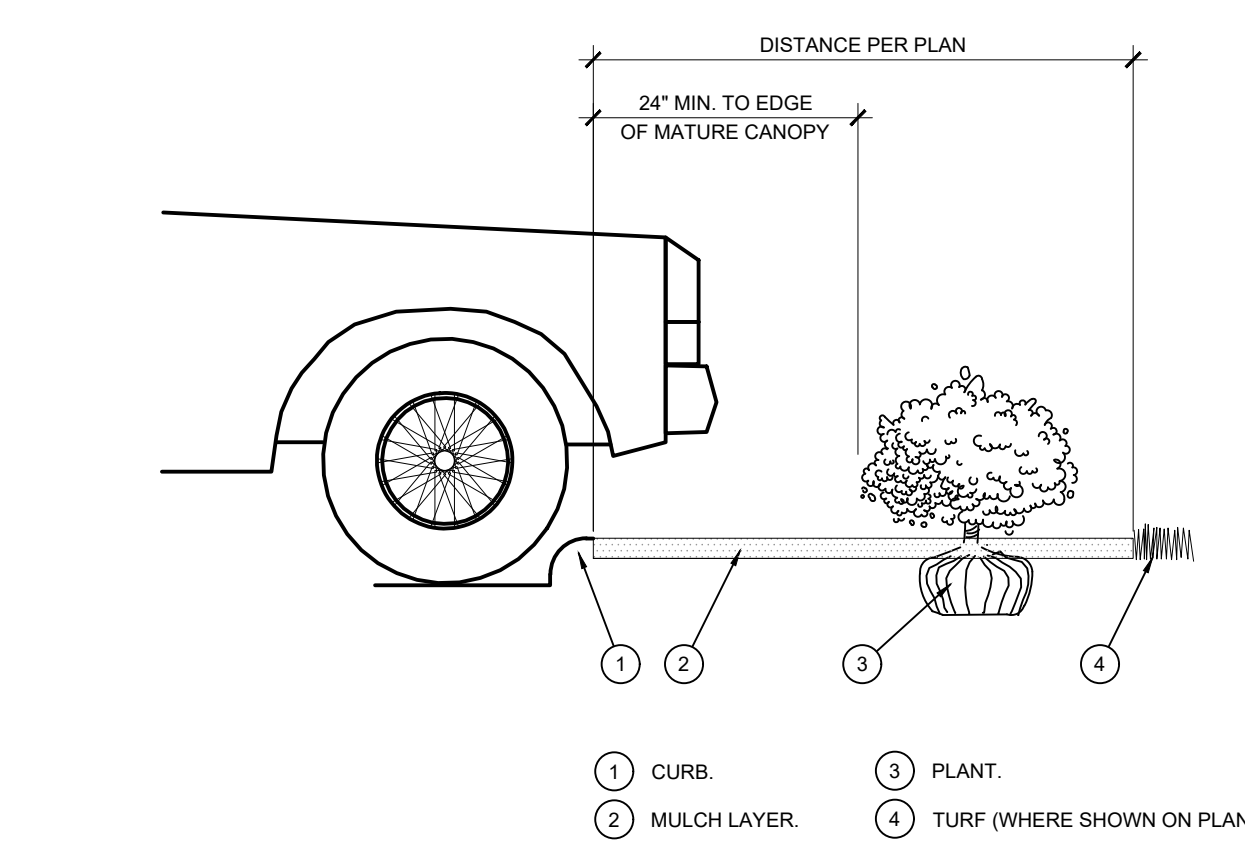
NOTES:
1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.



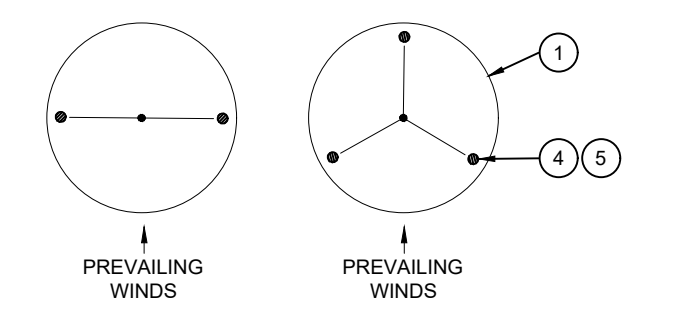
A TREE PLANTING SCALE: NOT TO SCALE

- 1. TREE CANOPY.
2. CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
3. 24" X 3/4" P.V.C. MARKERS OVER WIRES.
4. GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
5. PRESSURE-TREATED WOOD ENDLAMP, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
6. TRUNK FLARE.
7. MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
8. FINISH GRADE.
9. ROOT BALL.
10. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
11. UNDISTURBED NATIVE SOIL.
12. 4" HIGH EARTHEN WATERING BASIN.
13. FINISH GRADE.

NOTES:
1. BARRIER SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.
3. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADEN (AS APPROPRIATE). SPACED EVENLY AROUND THE TREE.
6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

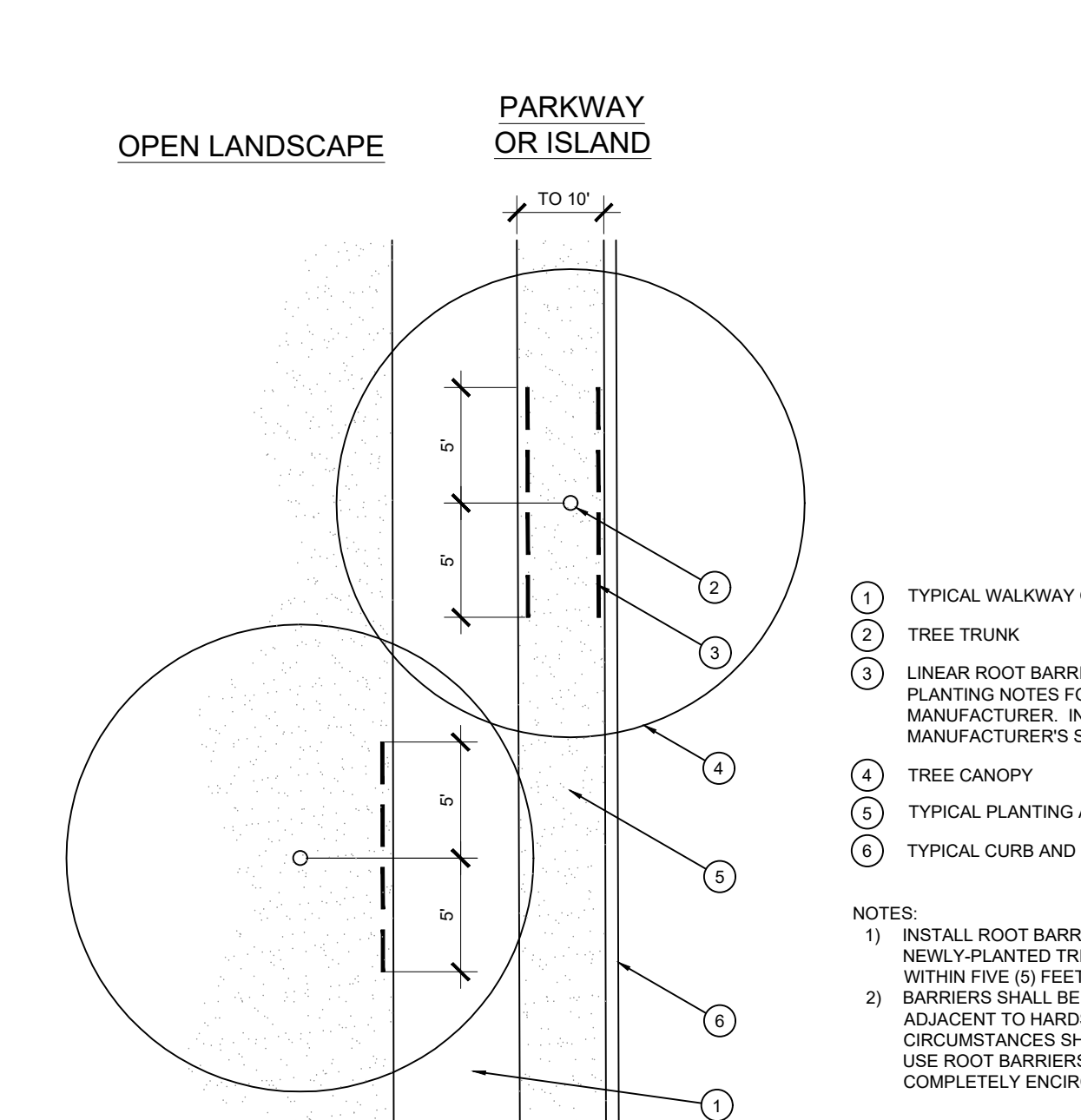


E PLANTING AT PARKING AREA SCALE: NOT TO SCALE

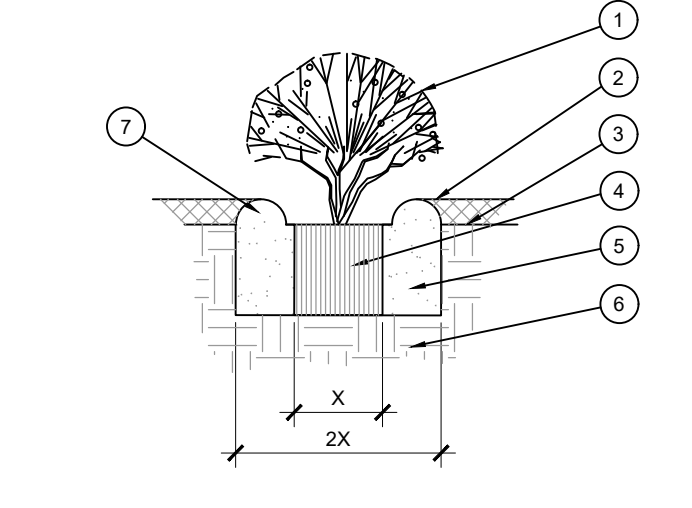


B SHRUB AND PERENNIAL PLANTING SCALE: NTS

- 1. SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
2. MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
3. FINISH GRADE.
4. ROOT BALL.
5. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
6. UNDISTURBED NATIVE SOIL.
7. 3" HIGH EARTHEN WATERING BASIN.

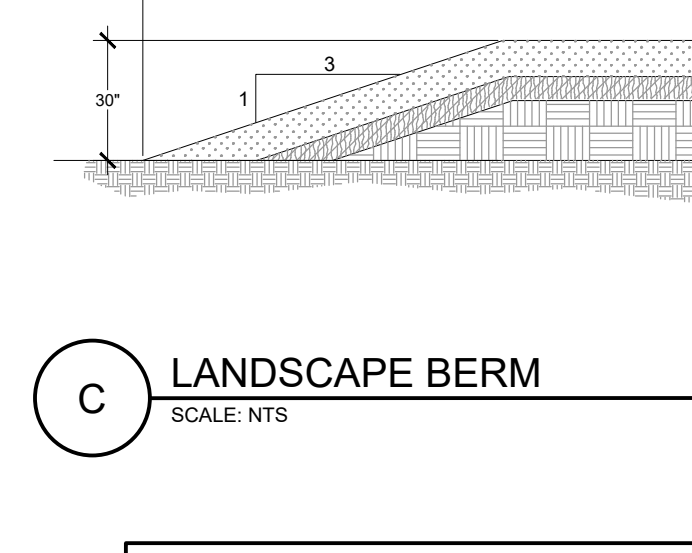


F ROOT BARRIER - PLAN VIEW SCALE: NOT TO SCALE



C LANDSCAPE BERM SCALE: NTS

- 1. CLEAN FILL DIRT
2. BLENDED LAYER OF CLEAN FILL DIRT & GARDEN SOIL
3. GARDEN SOIL MIX - TO INCLUDE CLEAN FILL, MANURE COMPOST, SAND, & AGED SAWDUST
4. EXISTING SUBGRADE SOIL
5. FINISHED GRADE



NOTES:
1) INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 20__.

WITNESS OUR HANDS, this ____ day of ____, 20__.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

Table with project information: CASE #: SP2021-021, OWNER: PRUDENT GROUP, APPLICANT: THE DIMENSION GROUP, LEGAL DESCRIPTION: LOT 1, BLOCK A, CREEKSIDE COMMONS ADDITION, CITY: ROCKWALL, STATE: TEXAS, COUNTY: ROCKWALL, SURVEY: WILLIAM W. FORD, ABSTRACT NO.: 80.

Project information and logos: EVERGREEN DISTRICT GROUP, THE DIMENSION GROUP, SEAL OF THE CITY OF ROCKWALL, TEXAS, PROJECT NO. 200-672, DATE 8/03/2021, SHEET LP-2.

TREE PROTECTION SPECIFICATIONS

MATERIALS

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL 'T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

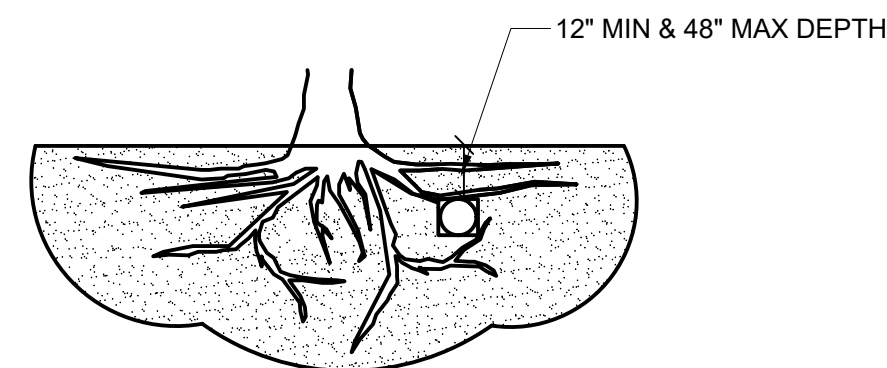
CONSTRUCTION METHODS

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERRECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ) EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERRECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ:
 - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
 - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
 - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
 - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
 - DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
 - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.

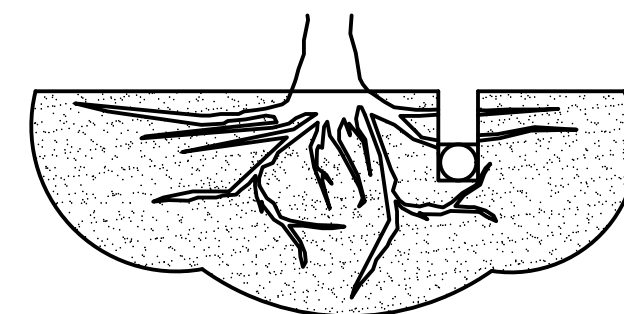
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTATION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.

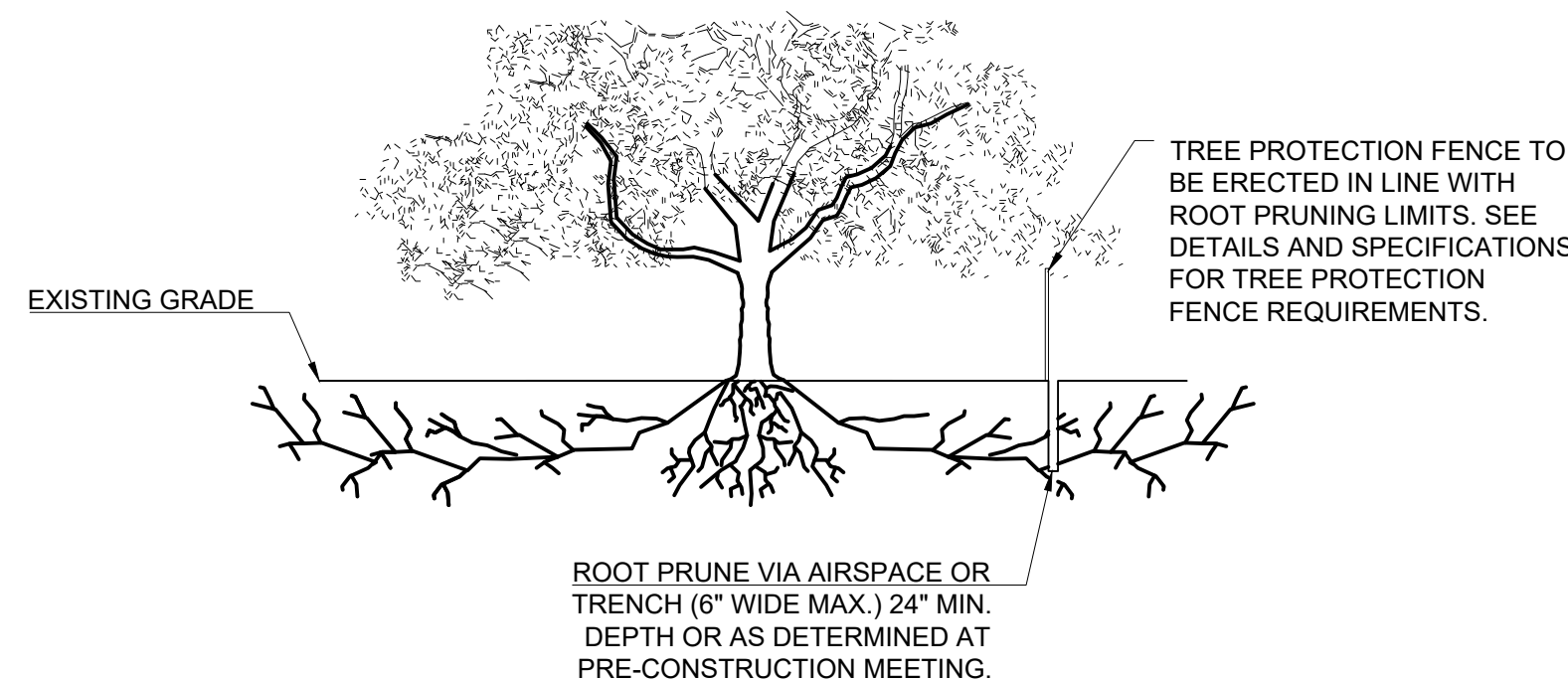


OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

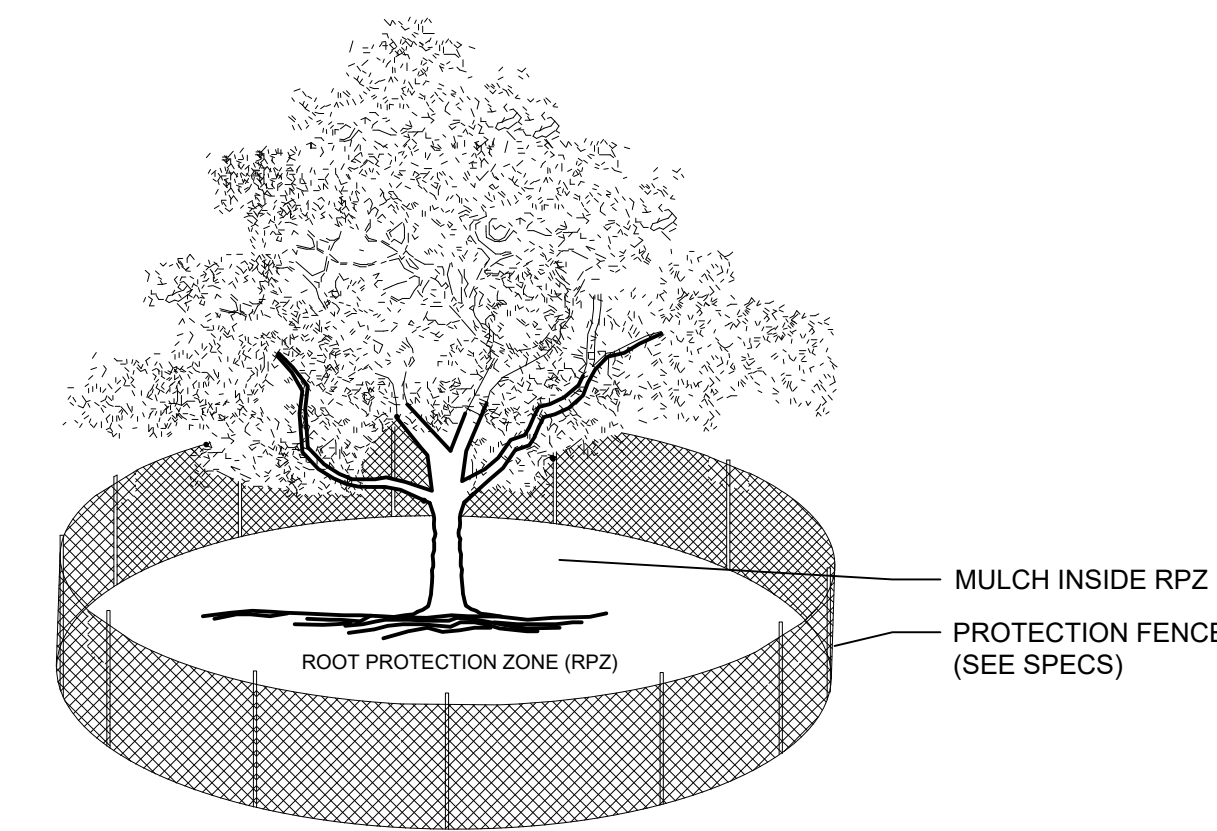
C BORING THROUGH ROOT PROTECTION ZONE
SCALE: NOT TO SCALE

NOTES

- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
- EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
- TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
- ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
- ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
- SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



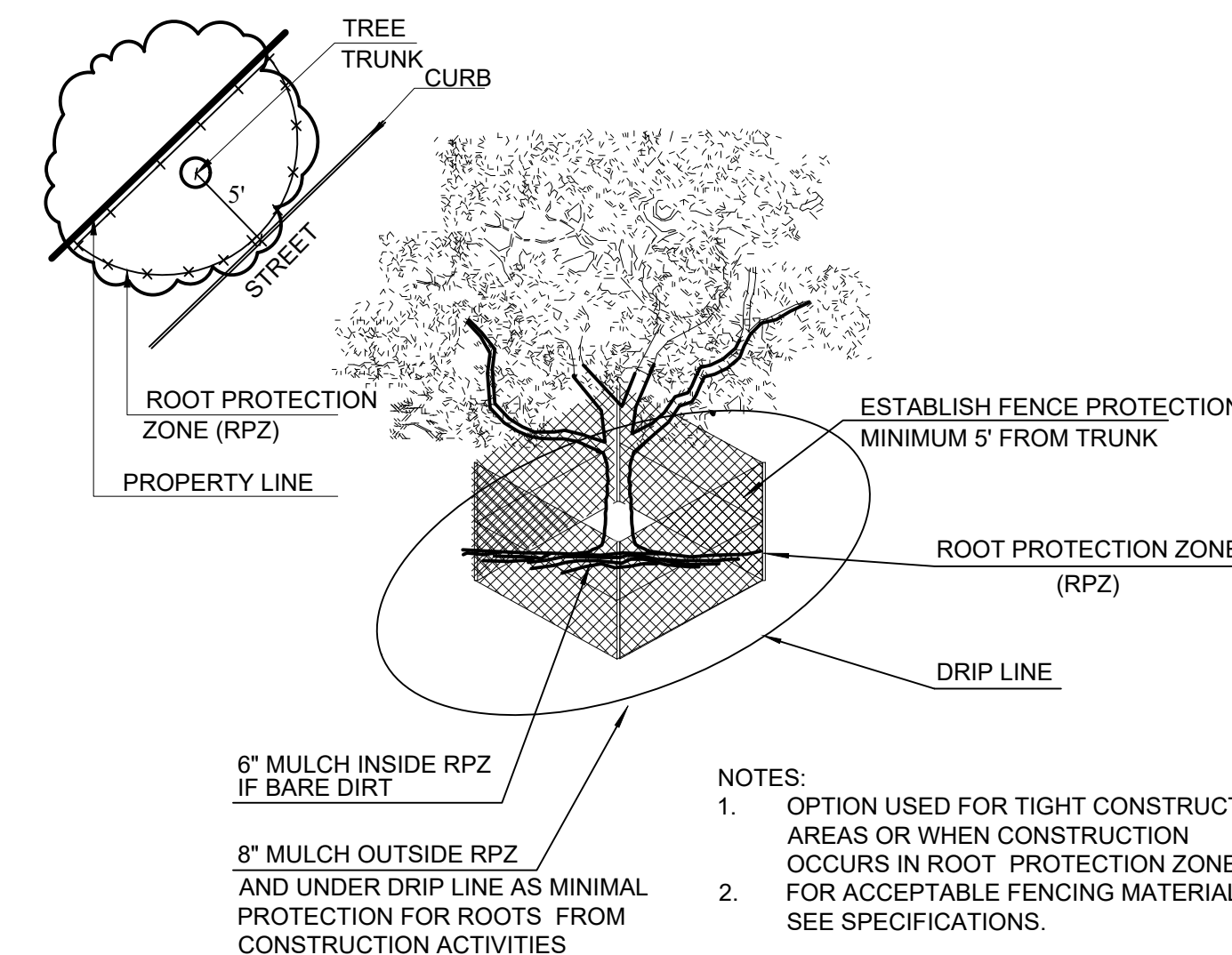
D ROOT PRUNING DETAIL
SCALE: NOT TO SCALE



NOTES:

- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

A TREE PROTECTION FENCE
SCALE: NOT TO SCALE



B TREE PROTECTION FENCE - TIGHT CONSTRUCTION
SCALE: NOT TO SCALE

- NOTES:**
- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
 - FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

TREE PROTECTION GENERAL NOTES

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
 - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
 - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
 - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 20____.

WITNESS OUR HANDS, this ____ day of _____, 20____.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

CASE # : SP2021-021	
OWNER:	
PRUDENT GROUP 10755 SANDHILL ROAD DALLAS, TX 75238	PHONE: 214-271-4630 CONTACT: MICHAEL HAMPTON
APPLICANT:	
THE DIMENSION GROUP 10755 SANDHILL ROAD DALLAS, TX 75238	PHONE: 214-343-9400 CONTACT: KEATON L. MAI, PE
LEGAL DESCRIPTION:	
LOT 1, BLOCK A, CREEKSIDE COMMONS ADDITION NWC STATE HIGHWAY 205 & F.M. 549 1.50 ACRE TRACT OF LAND	
CITY: ROCKWALL	STATE: TEXAS
COUNTY: ROCKWALL	SURVEY: WILLIAM W. FORD
ABSTRACT NO.: 80	

ARCHITECTURE - CIVIL ENGINEERING - LAND PLANNING
5608 S. COLEMAN BLVD. SUITE 200
DALLAS, TEXAS 75206
TEL: 714.526.1182
www.dimensiongroup.com

EVERGREEN DESIGN GROUP
10898 (68) 4630
15455 Dallas Pkwy, Ste. 600
Addicks, TX 75001
www.EvergreenDesignGroup.com

#	DATE	REVISION DESCRIPTION

BY: _____
DESIGNED BY: _____
DATE: 8/03/2021 - 10:54 am
DRAWN BY: _____
DATE: 7-11 Rockwall TX, TD_2021-07-15.dwg
APPROVED BY: _____

TREE DISPOSITION SPECS & DETAILS

7-ELEVEN STORE
NWC STATE HIGHWAY 205 & FM 549
ROCKWALL, TEXAS

SHEET

TD-2

Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
	7	CPY-FLAT-C	SINGLE	1.000	4520	31	CPY250-B-DM-F-C-UL-BZ-57K-HZ
	1	XSPMD-2ME	SINGLE	1.000	23600	184	XSPMD-D-HT-2ME-24L-57K7-UL-BZ-N
	1	XSPMD-4ME	SINGLE	1.000	11875	95	XSPMD-D-HT-4ME-12L-57K7-UL-BZ-N
	1	XSPMD-4ME-BLS	SINGLE	1.000	8675	95	XSPMD-D-HT-4ME-12L-57K7-UL-BZ-N w_XA-SP2BLS
	9	XSPW	WALL MOUNT	1.000	4270	31	XSPW-B-WM-3ME-4L-57K-UL-BZ
	28	SL-E	SINGLE	1.000	5249	46	CAN-304-SL-RS-04-E-UL-WH-350
	4	3MB-E	SINGLE	1.000	4729	46	CAN-304-3MB-RS-04-E-UL-WH-350

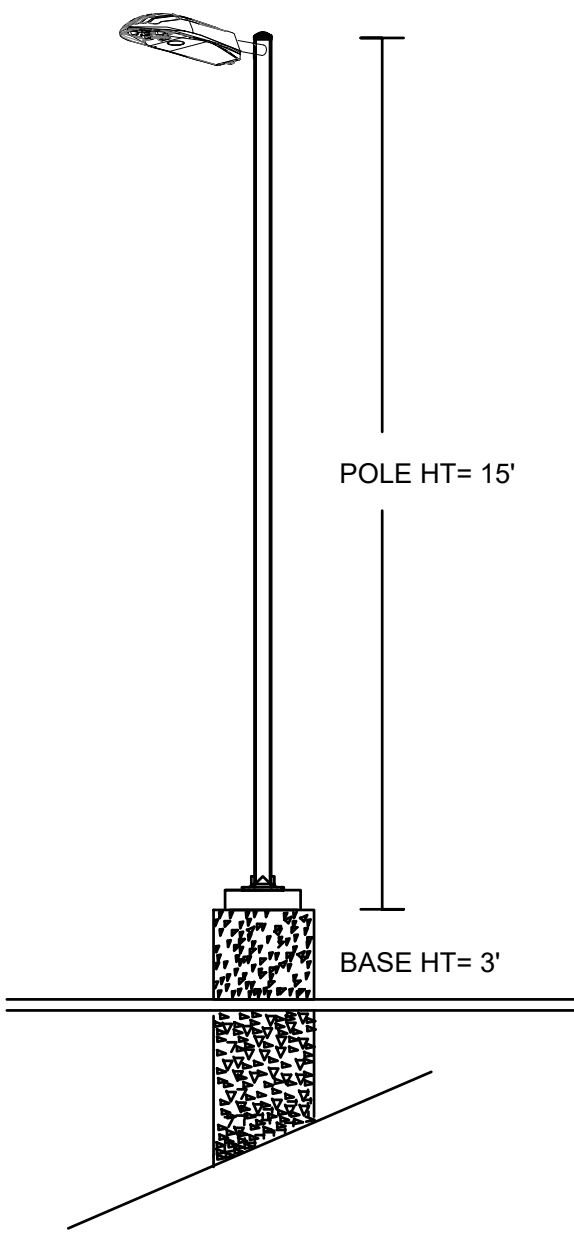
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Fc	0.63	20.6	0.0	N.A.	N.A.
GAS CANOPY	Fc	23.06	30	1	23.06	30.00
PROPERTY LINE	Fc	0.06	0.2	0.0	N.A.	N.A.

Pole Schedule
 (3) SSS-4-11-15-CW-BS-OT-C-BZ (15' X 4" X 11ga STEEL SQUARE POLE)
 Proposed poles meet 140 MPH sustained winds.

Additional Equipment:
 (3) PD-1H4BZ (Single Head Tenon)
 (1) XA-SP2BLS (Backlight Shield)

*** CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER ***

XSP Pole Mount



BOM: Complete Part Description

07	CPY250-B-DM-F-C-UL-WH-57K-HZ
07	XSPMD-D-HT-2ME-12L-57K-UL-BZ-N
03	XSPMD-D-HT-3ME-12L-57K-UL-BZ-N
10	XSPMD-D-HT-4ME-12L-57K-UL-BZ-N
09	XSPW-B-WM-3ME-4L-57K-UL-BZ
03	SSS-4-11-15-CW-BS-OT-N-BZ
03	PD-1H4BZ
28	CAN-304-SL-RS-04-E-UL-WH-350
04	CAN-304-3MB-RS-04-E-UL-WH-350
01	XA-SP2BLS

DATA SUMMARY TABLE

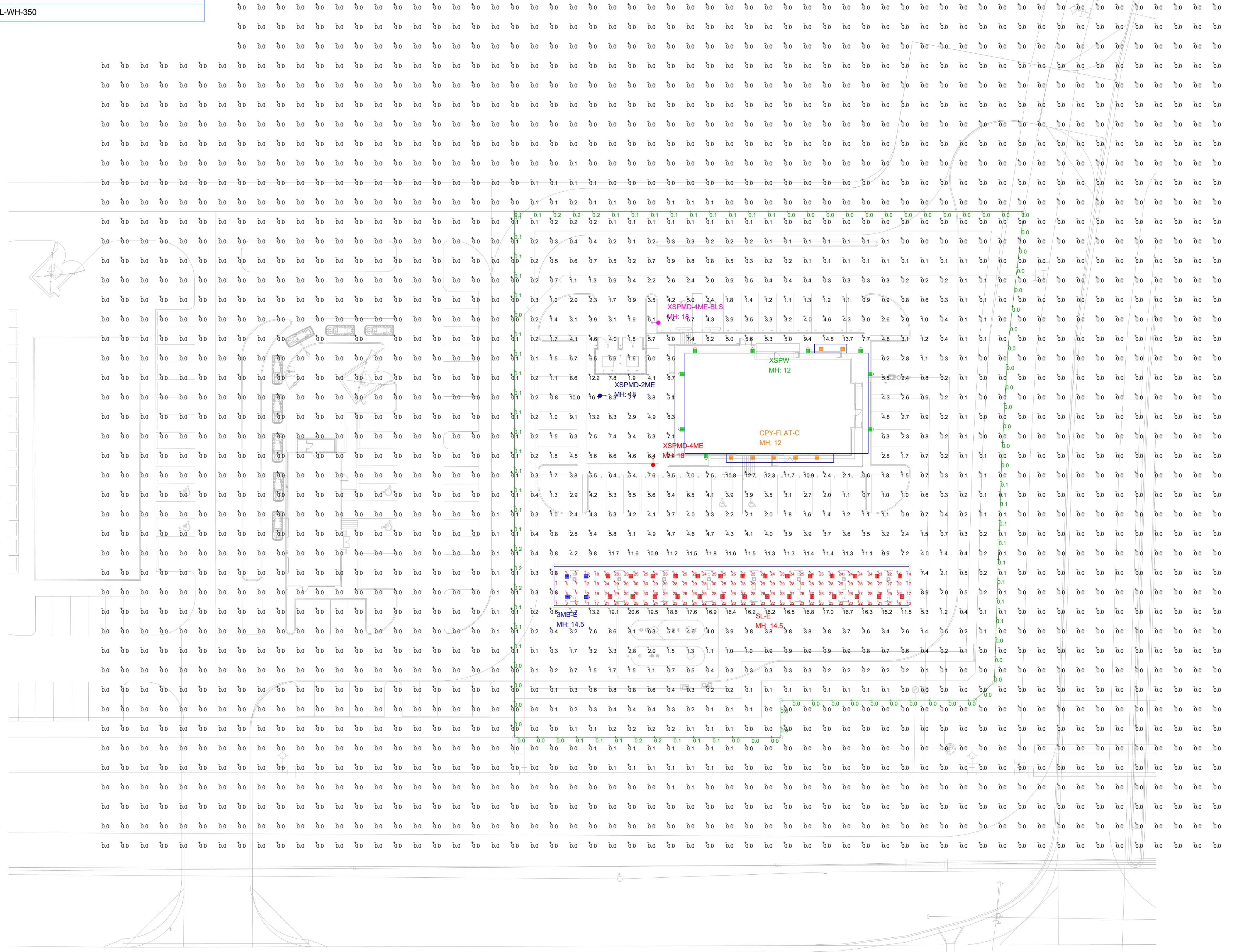
USE	COMMERCIAL (CONVENIENCE STORE W/FUEL SALES)
LOT AREA	65,466 S.F. (1.50 ACRES)
BUILDING SQUARE FOOTAGE	5,206 S.F.
CANOPY SQUARE FOOTAGE	3,640 S.F.
FAR	0.13:1
BUILDING HEIGHT	18'-8"
CANOPY HEIGHT	17'-6"
TOTAL PERVIOUS COVER	15,734 S.F. OR 24%
TOTAL IMPERVIOUS COVER	49,732 S.F. OR 76%
PARKING REQUIRED	21 SPACES (1/250 G.F.A.)
PARKING PROVIDED	40 SPACES
HANDICAP PARKING REQUIRED	2 SPACES
HANDICAP PARKING PROVIDED	4 SPACES

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 20____.

WITNESS OUR HANDS, this ____ day of _____, 20____.

 Planning & Zoning Commission, Chairman Director of Planning and Zoning

CITY PROJECT #SP2021-021



Simulation results shown on this lighting design are based on project parameters provided to Cree Lighting used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting or energy code.

Project Name: 7-Eleven #1049078 Rockwall, TX

SR-35615

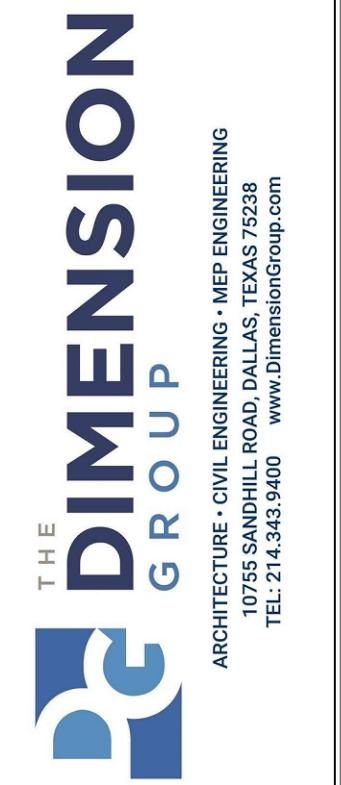
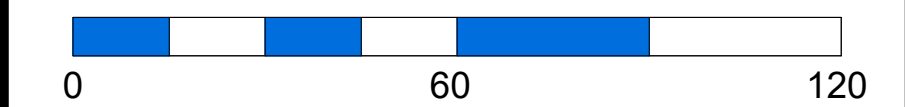
Footcandles calculated at grade

Filename: 711-210513RWTXCSR2.AGI

Layout By:
Chris Schlitz

Date: 8/3/2021

Scale 1" = 30'



TBPE FIRM REGISTRATION
#F-8396

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BY	REVISION DESCRIPTION	DATE	DATE

PHOTOMETRIC PLAN
 7-ELEVEN STORE
 NWC STATE HIGHWAY 205 & FM 549
 ROCKWALL, TEXAS

SHEET
 C11.1

[24x36] (18x24) (12x18) (9x12) (6x9) (4x6) (3x4) (2x3) (1x2) (1/2x1) (1/4x1/2) (1/8x1/4) (1/16x1/8) (1/32x1/16) (1/64x1/32) (1/128x1/64) (1/256x1/128) (1/512x1/256) (1/1024x1/512) (1/2048x1/1024) (1/4096x1/2048) (1/8192x1/4096) (1/16384x1/8192) (1/32768x1/16384) (1/65536x1/32768) (1/131072x1/65536) (1/262144x1/131072) (1/524288x1/262144) (1/1048576x1/524288) (1/2097152x1/1048576) (1/4194304x1/2097152) (1/8388608x1/4194304) (1/16777216x1/8388608) (1/33554432x1/16777216) (1/67108864x1/33554432) (1/134217728x1/67108864) (1/268435456x1/134217728) (1/536870912x1/268435456) (1/1073741824x1/536870912) (1/2147483648x1/1073741824) (1/4294967296x1/2147483648) (1/8589934592x1/4294967296) (1/17179869184x1/8589934592) (1/34359738368x1/17179869184) (1/68719476736x1/34359738368) (1/137438953472x1/68719476736) (1/274877906944x1/137438953472) (1/549755813888x1/274877906944) (1/1099511627776x1/549755813888) (1/2199023255552x1/1099511627776) (1/4398046511104x1/2199023255552) 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304 Series™

LED Recessed Canopy Luminaire

Rev. Date: V5 06/24/2020

Product Description

Luminaire housing is constructed from rugged die cast aluminum components (RS Mount) or die cast and extruded aluminum components (RD Mount). LED driver is mounted in a sealed weathertight center chamber that allows for access from below the fixture. Luminaire mounts directly to the canopy deck and is secured in place with die cast aluminum trim frame. Luminaire housing is provided with factory applied foam gasket that provides a watertight seal between luminaire housing and canopy deck. Suitable for use in single or double skin canopies with 16" (406 mm) wide panels. Designed for canopies of 19-22 gauge (maximum 0.040" [1 mm] thickness).

Applications: Petroleum stations, convenience stores, drive-thru banks and restaurants, retail and grocery

Performance Summary

Patented NanoOptic® Product Technology

Assembled in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI

CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard

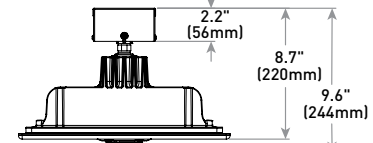
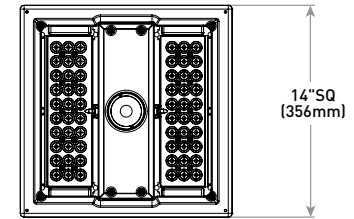
Limited Warranty†: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

† See <http://creelighting.com/warranty> for warranty terms

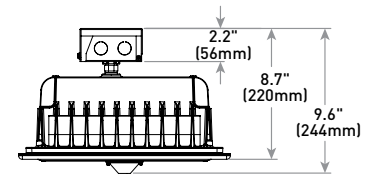
Accessories

Field-Installed
Hand-Held Remote XA-SENSREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required

RS Mount



Programmable Multi-level Sensor location (ordered as an option)



Weight
22.0 lbs. (9.9kg)

Ordering Information

Example: CAN-304-5M-RS-04-E-UL-SV-350

Product	Optic	Mounting	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options
CAN-304				E				
CAN-304	5M Type V Medium 5S Type V Short PS Petroleum Symmetric SL Sparkle Petroleum	RS Recessed Single Skin RD Recessed Double Skin	04 06	E	UL Universal 120-277V UH Universal 347-480V	BK Black BZ Bronze SV Silver WH White	350 350mA 525 525mA 700* 700mA	DIM 0-10V Dimming - Control by others - Refer to Dimming spec sheet for details - Can't exceed specified drive current PML Programmable Multi-Level - Refer to PML spec sheet for details 40K 4000K Color Temperature - Minimum 70 CRI - Color temperature per luminaire TRL Amber Turtle Friendly LEDs - Available only with 350mA - Lumen multiplier from 5700K: 0.32 (350mA) - Power multiplier: 0.76 - 600nm dominant wavelength - Additional shielding (by others) may be required for Florida Fish and Wildlife Conservation Commission compliance

* 60 LED luminaire requires marked spacing: 48" x 24" x 6" [1,219mm x 610mm x 152mm]; 48" [1,219mm] center-to-center of adjacent luminaires, 24" [610mm] luminaire center to side building member, 6" [152mm] top of luminaire to overhead building member



US: creelighting.com (800) 236-6800

Canada: creelighting-canada.com (800) 473-1234



304 Series™ LED Recessed Canopy Luminaire

Product Specifications

CONSTRUCTION & MATERIALS

- RS Mount luminaire housing is constructed from rugged die cast aluminum and incorporates integral, high performance heatsink fins specifically designed for LED canopy applications
- RD Mount luminaire housing is constructed from rugged die cast aluminum and features high performance extruded aluminum heatsinks specifically designed for LED canopy applications
- LED driver is mounted in a sealed weathertight center chamber that allows for access from below the luminaire
- Field adjustable drive current between 350mA, 525mA and 700mA on Non-IC rated luminaires
- Luminaire housing provided with factory applied foam gasket and provides for a watertight seal between luminaire housing and canopy deck
- Mounts directly to the canopy deck and is secured in place with a die cast aluminum trim frame
- RS mount includes integral junction box which allows ease of installation without need to open luminaire
- Suitable for use in single (RS Mount) or double (RD Mount) skin canopies with 16" (406mm) wide panels
- Designed for canopies of 19-22 gauge (maximum 0.040" [1mm] thickness)
- See 228 Series™ canopy luminaires for canopies using 12" (305mm) deck sections
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, silver, and white are available

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral weathertight electrical box with terminal strips (12Ga-20Ga) for easy power hookup
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- **10V Source Current:** 0.15mA
- Consult factory if in-luminaire fusing is required

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions
- Enclosure meets IP66 requirements per IEC 60529
- ANSI C136.2 10kV surge protection, tested in accordance with IEEE/ANSI C62.41.2
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- DLC qualified when ordered with PS or SL optics and 525 or 700mA drive current. Please refer to www.designlights.org/QPL for most current information
- RoHS Compliant. Consult factory for additional details
- Meets Buy American requirements within ARRA
- **CA RESIDENTS WARNING:** Cancer and Reproductive Harm – www.p65warnings.ca.gov

Electrical Data*							
LED Count (x10)	System Watts 120-480V	Total Current (A)					
		120V	208V	240V	277V	347V	480V
350mA							
04	46	0.39	0.24	0.22	0.21	0.15	0.12
06	69	0.57	0.34	0.30	0.27	0.21	0.16
525mA							
04	71	0.59	0.35	0.31	0.28	0.21	0.16
06	101	0.84	0.49	0.43	0.38	0.30	0.22
700mA							
04	94	0.79	0.46	0.40	0.36	0.28	0.21
06	135	1.14	0.65	0.57	0.50	0.40	0.29

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-277V or 347-480V

304 Series™ Ambient Adjusted Lumen Maintenance ¹						
Ambient	CCT	Initial LMF	25K hr Reported ² LMF	50K hr Reported ² LMF	75K hr Estimated ³ LMF	100K hr Estimated ³ LMF
5°C (41°F)	30K/40K/50K/57K	1.04	1.01	0.99	0.98	0.96
	TRL	1.06	1.06	1.06	1.06	1.06
10°C (50°F)	30K/40K/50K/57K	1.03	1.00	0.98	0.97	0.95
	TRL	1.04	1.04	1.04	1.04	1.04
15°C (59°F)	30K/40K/50K/57K	1.02	0.99	0.97	0.96	0.94
	TRL	1.03	1.03	1.03	1.03	1.03
20°C (68°F)	30K/40K/50K/57K	1.01	0.98	0.96	0.95	0.93
	TRL	1.01	1.01	1.01	1.01	1.01
25°C (77°F)	30K/40K/50K/57K	1.00	0.97	0.95	0.94	0.92
	TRL	1.00	1.00	1.00	1.00	1.00

¹ Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the [Temperature Zone Reference Document](#) for outdoor average nighttime ambient conditions.

² In accordance with IES TM-21, Reported values represent interpolated values based on time durations that are up to 6x the tested duration in the IES LM-80 report for the LED.

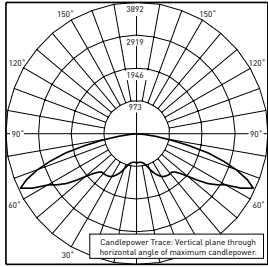
³ Estimated values are calculated and represent time durations that exceed the 6x test duration of the LED.

CREE  **LIGHTING**

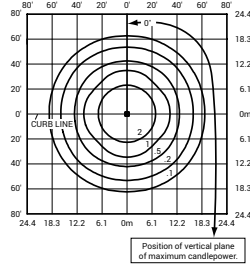
Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/canopy-and-soffit/304-series-1#>

5M



ITL Test Report #: 77285
 PKG-304-5M-**-06-E-UL-700-40K
 Initial Delivered Lumens: 11,681

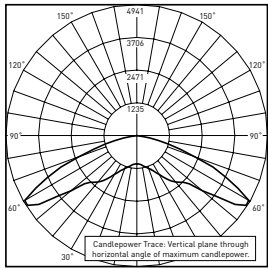


CAN-304-5M-**-06-E-UL-700-40K
 Mounting Height: 15' (4.6m)
 Initial Delivered Lumens: 11,613
 Initial FC at grade

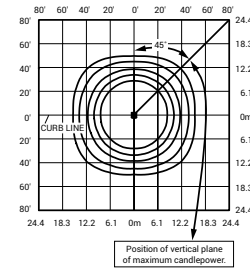
Type V Medium Distribution				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
04	4,600	B3 U1 G1	4,777	B3 U1 G1
06	6,831	B3 U1 G1	7,094	B3 U1 G2
525mA				
04	6,441	B3 U1 G1	6,688	B3 U1 G1
06	9,563	B3 U1 G2	9,931	B3 U1 G2
700mA				
04	7,821	B3 U1 G2	8,122	B3 U1 G2
06	11,613	B4 U1 G2	12,059	B4 U1 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

55



ITL Test Report #: 77876
 PKG-304-55-**-06-E-UL-700-40K
 Initial Delivered Lumens: 12,738



CAN-304-55-**-06-E-UL-700-40K
 Mounting Height: 15' (4.6m)
 Initial Delivered Lumens: 12,903
 Initial FC at grade

Type V Short Distribution				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
04	5,112	B2 U1 G1	5,308	B2 U1 G1
06	7,590	B3 U1 G1	7,882	B3 U1 G1
525mA				
04	7,156	B3 U1 G1	7,432	B3 U1 G1
06	10,626	B3 U1 G2	11,035	B3 U1 G2
700mA				
04	8,690	B3 U1 G1	9,024	B3 U1 G1
06	12,903	B3 U1 G2	13,399	B4 U1 G2

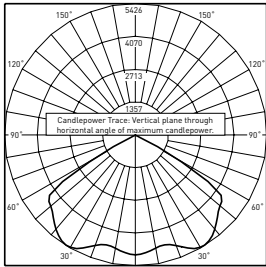
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

304 Series™ LED Recessed Canopy Luminaire

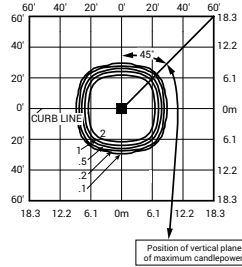
Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/canopy-and-soffit/304-series-1#>

PS



ITL Test Report #: 76940
CAN-304-PS-**-06-E-UL-700-40K
Initial Delivered Lumens: 13,581

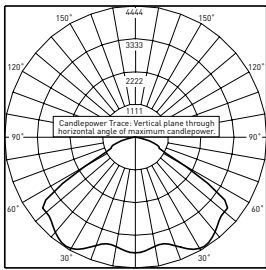


CAN-304-PS-**-06-E-UL-700-40K
Mounting Height: 15' (4.6m)
Initial Delivered Lumens: 13,190
Initial FC at grade

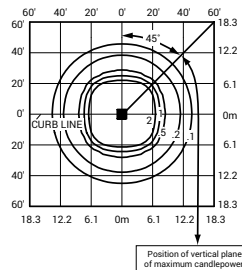
Petroleum Symmetric Distribution				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
04	5,225	B2 U0 G0	5,426	B2 U0 G0
06	7,759	B3 U0 G0	8,057	B3 U0 G0
525mA				
04	7,315	B3 U0 G0	7,597	B3 U0 G0
06	10,862	B3 U0 G0	11,280	B3 U0 G0
700mA				
04	8,883	B3 U0 G0	9,225	B3 U0 G0
06	13,190	B3 U0 G0	13,697	B3 U0 G0

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

SL



ITL Test Report #: 77415
CAN-304-SL-**-06-E-UL-700-40K
Initial Delivered Lumens: 12,707



CAN-304-SL-**-06-E-UL-700-40K
Mounting Height: 15' (4.6m)
Initial Delivered Lumens: 12,760
Initial FC at grade

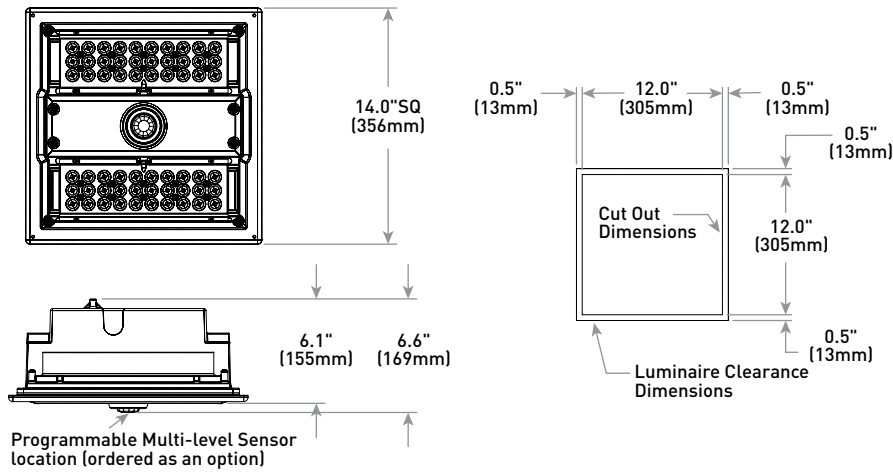
Sparkle Petroleum Distribution				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
04	5,055	B2 U0 G1	5,249	B2 U0 G1
06	7,506	B2 U0 G1	7,794	B3 U0 G1
525mA				
04	7,077	B2 U0 G1	7,349	B2 U0 G1
06	10,508	B3 U0 G1	10,912	B3 U0 G1
700mA				
04	8,593	B3 U0 G1	8,924	B3 U0 G1
06	12,760	B3 U0 G1	13,250	B3 U0 G1

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>



304 Series™ LED Recessed Canopy Luminaire

RD Mount



Weight
22.0 lbs. (9.9kg)

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 Canada: creelighting-canada.com (800) 473-1234



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CPY Series - Version B

CPY250® LED Canopy/Soffit Luminaire

Rev. Date: V16 03/02/2020

Product Description

The CPY250® LED Canopy/Soffit Luminaire has an extremely thin profile constructed of rugged cast aluminum. It can be surface mounted easily from below the canopy deck and can be pendant mounted. Direct imaging of the LEDs is eliminated with a highly efficient patterned flat or 0.91" (23mm) drop glass lens.

Applications: Petroleum canopies, CNG fueling stations, soffits

Performance Summary

Assembled in the U.S.A. of U.S. and imported parts

Initial Delivered Lumens: Up to 20,080

Efficacy: Up to 151 LPW

CRI: Minimum 70 CRI

CCT: 3000K (+/- 300K), 4000K (+/- 300K), 5700K (+/- 500K)

Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

IP66 Rated (Direct Mount only)

Class I, Division 2 Hazardous Location for select models

*See <http://creelighting.com/warranty> for warranty terms

Accessories

Field-Installed	
Direct Mount Luminaires	
Canopy Upgrade Kits (18 ga. steel, except where noted)	
CPY-AP304* - for use with Cree Lighting CAN-304 luminaires, 16 ga. 5052 aluminum	
XA-BXCCMW - for use with Jet-Philips, 21.60" (549mm) square, white	
XA-BXCCNW - for use with ElSCO Franciscan, 22.06" (560mm) square, white	
XA-BXCCPW - for use with LSI Dakota or Masters, 22.50" (572mm) square, white	
XA-BXCCQW - for use with Whiteway Riviera or Rig-A-Lite, 20.60" (523mm) square, white	
XA-BXCCRW - for use with ElSCO Merrit, 18.06" (459mm) square, white	
XA-BXCCSW - for use with LSI Richmond or Whiteway Civic, 23.00" (584mm) L x 13.00" (330mm) W, white	
Direct Mount Junction Box/Stem Kit	
XA-BXCCJBOX - 6.0" (152mm) H x 3/4" (19mm) NPT Stem	
- Watertight	
- Rated for feed through 8 (4 in, 4 out) #12 AWC conductors	
Direct Mount Beauty Plates	
XA-BXCCBPW - 26.17" (665mm) Beauty Plate Only (18 ga. steel), white	
XA-BXCCBPB12W - 26.17" (665mm) Beauty Plate (18 ga. steel) w/12" (305mm) Backer Plate (16 ga. steel), white	
- For use in canopies where deck opening is larger than what is required for mounting the CPY250 luminaire. Maximum deck opening 10.75" x 15" (183mm x 375mm)	
XA-BXCCBPB16W - 26.17" (665mm) Beauty Plate (18 ga. steel) w/16" (406mm) Backer Plate (16 ga. steel), white	
- For use in canopies where deck opening is larger than what is required for mounting the CPY250 luminaire. Maximum deck opening 12" x 15" (305mm x 375mm)	
Pendant Mount Luminaires	
Pendant Mount Kits	
XA-PS12KIT* - 5" (127mm) pendant	
XA-PS18KIT* - 11" (279mm) pendant	
XA-PS22KIT* - 15" (381mm) pendant	
- Includes two conduit fittings and 3/4-14 NPT pipe threaded on two ends	
Hand-Held Remote	
XA-SENSREM	
- For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required	

* Must specify color: BK (Black), BZ (Bronze), SV (Silver) or WH (White)

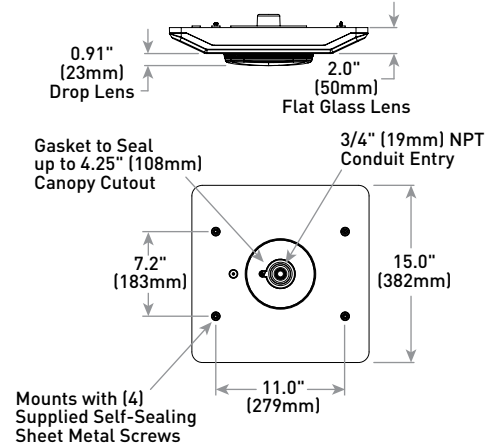
DM Mount



Flat Lens



Drop Lens



Weight

12.5 lbs. (5.7kg)

Ordering Information

Example: CPY250-B-DM-D-A-UL-SV

Product	Version	Mounting	Optic	Lumen Package/ Input Power Designator	Voltage	Color Options	CCT	Options
CPY250	B	DM Direct HC Hook & Cord PD Pendant	D 0.91" (23mm) Drop Lens F Flat Lens	A 60W 13L 91W B 96W C 31W E 145W F 85W	UL Universal 120-277V UH* Universal 347-480V - Available with B, E & F input power designators only - Must specify either 34 or 48 voltage with 13L, A and C 34* 347V - Available with 13L lumen package and A & C input power designators only 48* 480V - Available with 13L lumen package and A & C input power designators only	BK Black BZ Bronze SV Silver WH White	30K 3000K 40K 4000K 57K 5700K	DIM 0-10V Dimming - Control by others - Refer to Dimming spec sheet for details - Can't exceed wattage of specified lumen package/ Input Power Designator HZ Class I, Div. 2 Hazardous Location Certification - Available with DM and PD mounts only - A & C input power designators are available for DM and PD mounts except PD mount with 34 & 48 voltages in Canada - Not available with K or PML options K NSF 2 Certification - Luminaires include NSF certification mark - Available with the DM mount only - Not available with the HZ or PML options PML Programmable Multi-Level - Available with UL voltage only - Refer to PML spec sheet for details

* 13L lumen package and A & C input power designators utilize a magnetic step-down transformer. For input power for 347 and 480V, refer to the Electrical Data table



CREE LIGHTING

US: creelighting.com T (800) 236-6800

Canada: creelighting-canada.com T (800) 473-1234

CPY250® LED Canopy/Soffit Luminaire - Version B

Product Specifications

CONSTRUCTION & MATERIALS

- Slim, low profile design
- Easy mounting and servicing from below the deck
- Luminaire housing is constructed of rugged cast aluminum with integral heat sink specifically designed for LED
- Flat lens is 0.125" tempered Solite® glass
- Drop lens is 0.157" molded borosilicate glass
- Direct mount is suitable for use in single or double skin canopies with a minimum 4.0" (102mm) wide panels and a minimum 22 gauge, 0.030" (0.7mm) canopy thickness
- Direct mount luminaire mounts directly to the canopy deck with the drilling of a single 2" to 4" (51mm to 102mm) round hole, is secured in place with self-sealing screws that provide a weathertight seal and includes 3/4" (19mm) conduit entry for direct wire feed
- Hook and cord mount includes a 3' (0.91m) cord out of the luminaire and is intended to hang from the single hook
- Standard pendant mount includes a mounting bracket and a J-Box for customer wiring and is intended to be mounted by 3/4" IP pendant (by others)
- Hazardous location pendant mount has a threaded hub which accepts 3/4" NPT conduit (by others) and secures with a 1/4"-20 set screw
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, silver and white are available
- **Weight:** 12.5 lbs. (5.7kg)

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral 6kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current

CONTROLS

- Continuous dimming to 10% with 0-10V DC control protocol
- **10V Source Current:** 0.15mA
- Use only lighting controls with neutral connection or controls intended for use with LED fixtures
- Reference LED Dimming spec sheet for additional dimming information

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations when ordered with DM and DM mount with HZ option. Covered ceiling required only when not used with cULus Listed, wet location junction box or XA-BXCCJBBOX accessory
- Suitable for damp locations when ordered with HC and PD mounts. Designed for indoor use only
- Suitable for wet locations when ordered with PD mount and HZ option
- Enclosure rated IP66 per IEC 60529 when ordered with DM mount. Exceptions apply when HZ option is selected
- Consult factory for CE Certified products
- 6kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Meets Buy American requirements within ARRA
- RoHS compliant. Consult factory for additional details
- Class I, Division 2 Hazardous Location rated when ordered with the DM or PD mount and the HZ option. A & C input power designators are available for DM and PD mounts except PD mount with 34 & 48 voltages in Canada. Not available with K or PML options. Rated for Groups A, B, C & D. Bears a T3C (160°C) temperature classification within a 25°C ambient
- NSF Certified when ordered with DM mount and K option. Not available with HZ or PML options. Refer to <http://info.nsf.org/Certified/Food/> for additional details
- DLC and DLC Premium qualified versions available. Please refer to <https://www.designlights.org/search/> for most current information
- Dark Sky Friendly, IDA Approved when ordered with 30K CCT and Flat Lens (F). Please refer to <https://www.darksky.org/our-work/lighting/lighting-for-industry/fsa/fsa-products/> for most current information
- **CA RESIDENTS WARNING:** Cancer and Reproductive Harm – www.p65warnings.ca.gov

Electrical Data*								
Lumen Package/ Input Power Designator	System Watts 120-277V	System Watts 347-480V; 347/480V	Total Current (A)					
			120V	208V	240V	277V	347V	480V
A	60	68	0.51	0.29	0.25	0.22	0.20	0.14
13L	91	102	0.79	0.45	0.39	0.34	0.30	0.21
B	96	96	0.82	0.47	0.40	0.35	0.28	0.20
C	31	33	0.26	0.15	0.13	0.11	0.10	0.07
E	145	145	1.22	0.70	0.61	0.53	0.42	0.30
F	85	85	0.72	0.41	0.36	0.31	0.24	0.18

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-277V or 347-480V +/- 10%

CPY Series (Version B) Ambient Adjusted Lumen Maintenance ¹						
Ambient	Lumen Package/ Input Power Designator	Initial LMF	25K hr Reported ² LMF	50K hr Reported ² LMF	75K hr Estimated ³ LMF	100K hr Estimated ³ LMF
5°C (41°F)	A/B/C/E/F	1.03	1.00	0.96	0.93	0.90
	13L	1.04	1.01	1.00	0.98	0.97
10°C (50°F)	A/B/C/E/F	1.02	0.99	0.95	0.92	0.89
	13L	1.03	1.00	0.99	0.97	0.96
15°C (59°F)	A/B/C/E/F	1.02	0.99	0.95	0.92	0.89
	13L	1.02	0.99	0.98	0.96	0.95
20°C (68°F)	A/B/C/E/F	1.01	0.98	0.95	0.91	0.88
	13L	1.01	0.98	0.97	0.95	0.94
25°C (77°F)	A/B/C/E/F	1.00	0.97	0.94	0.90	0.87
	13L	1.00	0.97	0.96	0.94	0.93
30°C (86°F)	A/B/C/E/F	0.99	0.96	0.93	0.90	0.87
	13L	0.99	0.96	0.95	0.93	0.92

¹ Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the [Temperature Zone Reference Document](#) for outdoor average nighttime ambient conditions.

² In accordance with IES TM-21, Reported values represent interpolated values based on time durations that are up to 6x the tested duration in the IES LM-80 report for the LED.

³ Estimated values are calculated and represent time durations that exceed the 6x test duration of the LED.

Operating Temperature Range			
Lumen Package/ Input Power Designator	Direct Mount to Plywood	Direct Mount to Sheet Metal/ Suspended	Class 1, Division 2 Hazardous Location
			Direct Mount to Plywood
A	-40°C to +40°C	-40°C to +45°C	-40°C to +25°C
13L/B	-40°C to +35°C	-40°C to +40°C	
C	-40°C to +45°C	-40°C to +50°C	
E	-40°C to +35°C	-40°C to +40°C	
F	-40°C to +40°C	-40°C to +45°C	

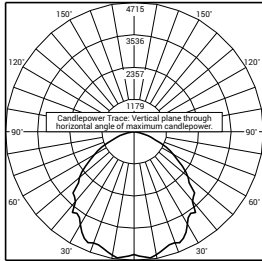
WARNING: Exceeding maximum operating temperature may result in thermal foldback

Photometry

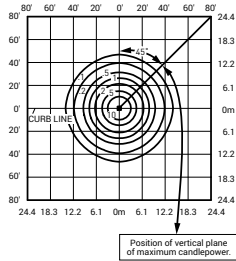
All published luminaire photometric testing performed to IES LM-79-08 standards.

To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/canopy-and-soffit/cpy-series>

DROP LENS



CESTL Test Report #: PL08412-001A
 CPY250-B-**-D-B-UL-**-57K
 Initial Delivered Lumens: 12,403



CPY250-B-**-D-B-UL-**-57K
 Mounting Height: 15' [4.6m] A.F.G.
 Initial Delivered Lumens: 12,860
 Initial FC at grade

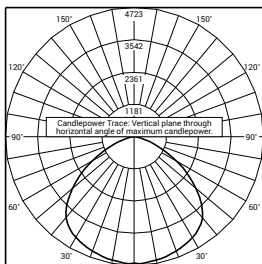
Drop Lens Distribution

Lumen Package/ Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
A	7,250	B3 U2 G1	7,600	B3 U2 G1	7,720	B3 U2 G1
13L	11,900	B3 U2 G1	12,800	B3 U2 G1	12,825	B3 U2 G1
B	11,850	B3 U2 G1	12,380	B3 U2 G1	12,860	B3 U2 G1
C	4,210	B2 U2 G1	4,420	B2 U2 G1	4,520	B2 U2 G1
E	19,100	B4 U3 G2	19,600	B4 U3 G2	20,080	B4 U3 G2
F	11,850	B3 U2 G1	12,380	B3 U2 G1	12,860	B3 U2 G1

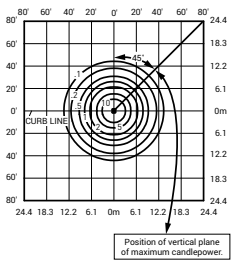
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

FLAT LENS



CESTL Test Report #: PL08165-001C
 CPY250-B-**-F-B-UL-**-57K
 Initial Delivered Lumens: 13,040



CPY250-B-**-F-B-UL-**-57K
 Mounting Height: 15' [4.6m] A.F.G.
 Initial Delivered Lumens: 12,860
 Initial FC at grade

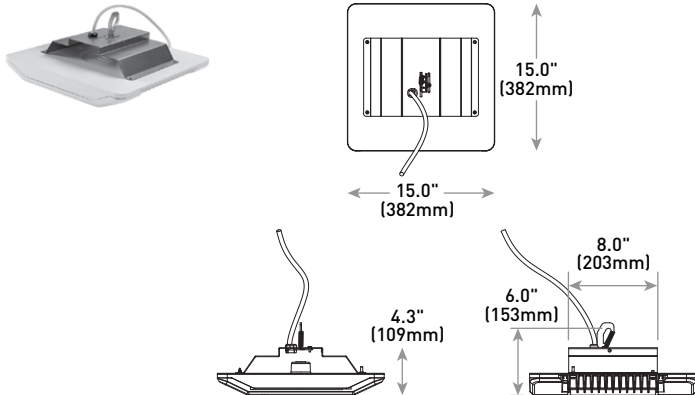
Flat Lens Distribution

Lumen Package/ Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
A	7,250	B3 U0 G1	7,600	B3 U0 G1	7,720	B3 U0 G1
13L	11,900	B3 U0 G1	12,800	B3 U0 G1	12,825	B3 U0 G1
B	11,850	B3 U0 G1	12,380	B3 U0 G1	12,860	B3 U0 G1
C	4,210	B2 U0 G1	4,420	B2 U0 G1	4,520	B2 U0 G1
E	19,100	B4 U0 G1	19,600	B4 U0 G1	20,080	B4 U0 G1
F	11,850	B3 U0 G1	12,380	B3 U0 G1	12,860	B3 U0 G1

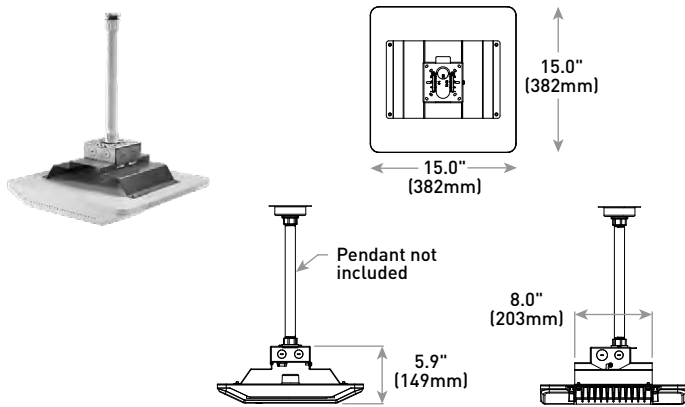
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

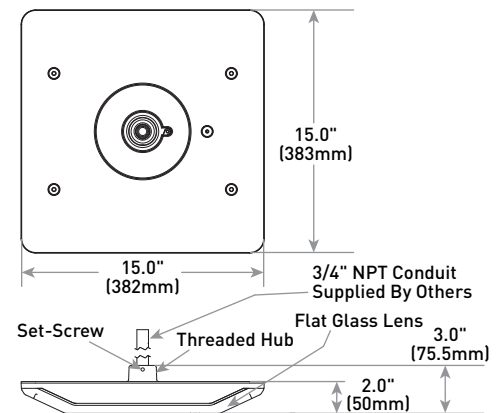
HC Mount



PD Mount



PD Mount w/HZ Option



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US: creelighting.com T (800) 236-6800
 Canada: creelighting-canada.com T (800) 473-1234

XSP Series

XSPLG LED Street/Area Luminaire – Large

Rev. Date: V5 02/07/2020

Product Description

Designed from the ground up as a totally optimized LED street and area lighting system, the XSP Series delivers incredible efficiency without sacrificing application performance. Beyond substantial energy savings and reduced maintenance, Cree Lighting achieves greater optical control with our NanoOptic® Precision Delivery Grid™ optic when compared to traditional cobra head luminaires. The XSP Series is the better alternative for traditional street and area lighting with quick payback and improved performance.

Applications: Multi-lane freeways, express ways, major roads, parking lots, and general area spaces

Performance Summary

NanoOptic® Precision Delivery Grid™ optic

Assembled in the U.S.A. of U.S. and imported parts

Initial Delivered Lumens: Up to 23,800

Efficacy: Up to 139 LPW

CRI: Minimum 70 CRI

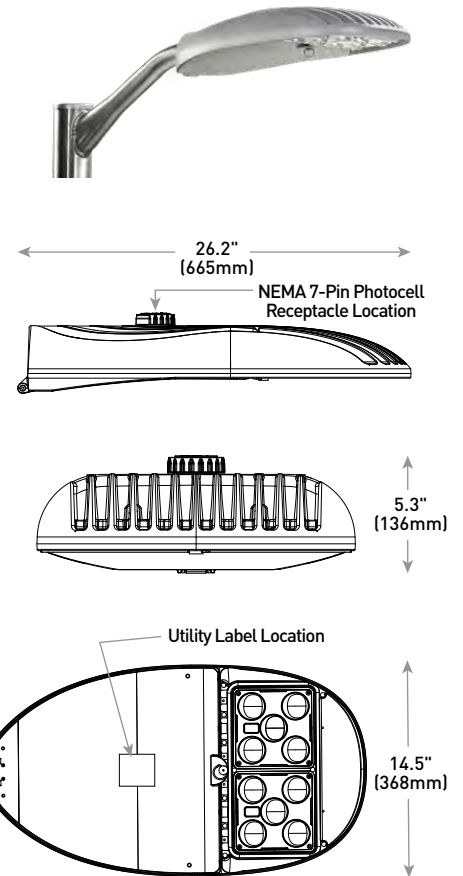
CCT: 2700K, 3000K, 4000K, 5000K, 5700K

Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

* See <http://creelighting.com/warranty> for warranty terms

Accessories

Field-Installed		
Backlight Control Shield XA-SP2BLS - Provides 1 mounting height cutoff - Polycarbonate construction - Refer to initial delivered lumen tables for lumen output	Bird Spikes XSP-BRDGRDL	Shorting Cap XA-XSLSHRT



Weight
23.4 lbs. (10.6kg)

Ordering Information

Example: XSPLG-D-HT-2LG-24L-27K7-UL-SV-N

XSPLG	D	HT						N	
Product	Version	Mounting	Optic	Lumen Package**	CCT/CRI	Voltage	Color Options	Utility Label/Receptacle	Options
XSPLG	D	HT Horizontal Tenon	Asymmetric 2LG* Type II Long 2ME* Type II Medium 3ME* Type III Medium 4ME* Type IV Medium Symmetric 5SH Type V Short	18L 18,000 Lumens 24L 24,000 Lumens	27K7 2700K, 70 CRI 30K7 3000K, 70 CRI 40K7 4000K, 70 CRI 50K7 5000K, 70 CRI 57K7 5700K, 70 CRI	UL Universal 120-277V UH Universal 347-480V	BK Black BZ Bronze SV Silver WH White	N Utility Label and NEMA® 7-Pin Photocell Receptacle - External wattage label per ANSI C136.15 - 7-pin receptacle per ANSI C136.41 - Receptacle leads are factory connected to the driver - Requires photocell or shorting cap (by others)	DLI DALI Compatible - Available with UL voltage only - Not available with Q or X options G Small Four Bolt Mounting - Mounts to 1.25" (32mm) IP, 1.66" (42mm) O.D. horizontal tenon J Large Four Bolt Mounting - Mounts to 2" (51mm) IP, 2.375" (60mm) O.D. horizontal tenon Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1 Field Adjustable Output - Must select Q9, Q8, Q7, Q6, Q5, Q4, Q3, Q2, or Q1 - Offers full range lumen adjustability - Includes wattage label for setting selected - Refer to pages 8 and 9 for power and lumen values - Luminaire may also be dimmed through 7-Pin receptacle with use of dimming control by others X8/X7/X6/X5/X4/X3/X2/X1 Locked Lumen Output - Must select X8, X7, X6, X5, X4, X3, X2, or X1 - Lumen output is permanently locked to the setting selected - Includes wattage label for setting selected - Refer to pages 8 and 9 for power and lumen values - Dimming is only available through 7-Pin receptacle with use of dimming control by others

* Available with Backlight Shield when ordered with field-installed accessory (see table above)

** Lumen Package codes identify approximate light output only. Actual lumen output levels may vary depending on CCT and optic selection. Refer to Initial Delivered Lumen tables for specific lumen values



US: creelighting.com (800) 236-6800

Canada: creelighting-canada.com (800) 473-1234

Product Specifications

CONSTRUCTION & MATERIALS


- Die cast aluminum housing
- Tool-less entry
- Mounts on 1.25" (32mm) IP, 1.66" (42mm) O.D. or 2" (51mm) IP, 2.375" (60mm) O.D. horizontal tenon (minimum 8" [203mm] in length) and is adjustable +/- 5° to allow for fixture leveling (includes two axis T-level to aid in leveling)
- Luminaire secures with two 410 stainless steel mounting bolts; optional four point mounting available
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable black, bronze, silver or white powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion
- **Weight:** 23.4 lbs. (10.6kg)

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- Consult factory if in-luminaire fusing is required
- Designed with 0-10V dimming capabilities. Controls by others
- **10V Source Current:** 0.15mA
- Luminaires with DLI option are DALI compatible per IEC 62386
- **Operating Temperature Range:** -40°C - +40°C (-40°F - +104°F)

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Certified to ANSI C136.31-2001, 3G bridge and overpass vibration standards
- Meets CALTrans 611 Vibration testing
- ANSI C136.2 10kV surge protection, tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Meets Buy American requirements within ARRA
- RoHS compliant. Consult factory for additional details
- Dark Sky Friendly, IDA Approved when ordered with 27K7 or 30K7 CCTs. Please refer to <https://www.darksky.org/our-work/lighting/lighting-for-industry/fsa/fsa-products/> for most current information
- DLC and DLC Premium qualified versions available. Please refer to <https://www.designlights.org/search/> for most current information.

 **CA RESIDENTS WARNING:** Cancer and Reproductive Harm – www.p65warnings.ca.gov

Electrical Data*										
Lumen Package	Optics	CCT/ CRI	System Watts 120-480V	Utility Label Wattage	Total Current (A)					
					120V	208V	240V	277V	347V	480V
18L	All	All	135	140	1.13	0.65	0.57	0.49	0.39	0.28
24L	All	All	184	180	1.54	0.89	0.77	0.67	0.54	0.39

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-277V or 347-480V +/- 10%

XSP Series (XSPLG) Ambient Adjusted Lumen Maintenance ¹						
Ambient	Optics	Initial LMF	25K hr Reported ² LMF	50K hr Reported ² LMF	75K hr Reported ² / Estimated ³ LMF	100K hr Reported ² / Estimated ³ LMF
5°C (41°F)	Asymmetric	1.03	1.02	1.00	0.98 ²	0.96 ²
	Symmetric	1.04	1.03	1.03	1.03 ³	1.03 ³
10°C (50°F)	Asymmetric	1.03	1.02	1.00	0.98 ²	0.96 ²
	Symmetric	1.03	1.02	1.02	1.02 ³	1.02 ³
15°C (59°F)	Asymmetric	1.02	1.01	0.99	0.97 ²	0.95 ²
	Symmetric	1.02	1.01	1.01	1.01 ³	1.01 ³
20°C (68°F)	Asymmetric	1.01	1.00	0.98	0.96 ²	0.94 ²
	Symmetric	1.01	1.01	1.00	1.00 ³	1.00 ³
25°C (77°F)	Asymmetric	1.00	0.99	0.97	0.95 ²	0.93 ²
	Symmetric	1.00	0.99	0.99	0.99 ³	0.99 ³

¹ Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the [Temperature Zone Reference Document](#) for outdoor average nighttime ambient conditions.

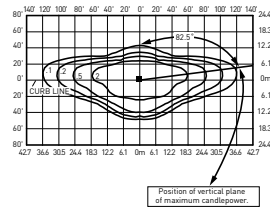
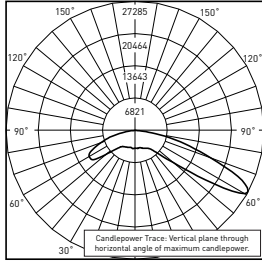
² In accordance with IES TM-21, Reported values represent interpolated values based on time durations that are up to 6x the tested duration in the IES LM-80 report for the LED.

³ Estimated values are calculated and represent time durations that exceed the 6x test duration of the LED.

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/street-and-roadway/xsp-series>

2LG

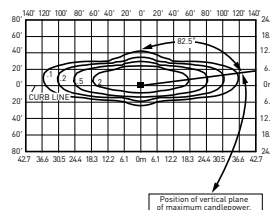
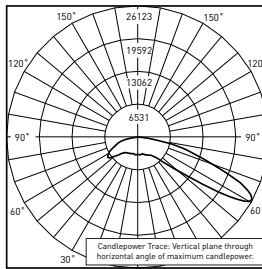


RESTL Test Report #: PL12765-007B
XSPLG-D--2LG-24L-40K7-UL-**-N**
Initial Delivered Lumens: 23,437

XSPLG-D--2LG-24L-40K7-UL-**-N**
Mounting Height: 25' [7.6m] A.F.G.
Initial Delivered Lumens: 23,600
 Initial FC at grade

Type II Long Distribution										
Lumen Package	2700K		3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
18L	17,500	B3 U0 G3	18,100	B3 U0 G3	18,700	B3 U0 G3	18,800	B3 U0 G3	18,800	B3 U0 G3
24L	22,300	B4 U0 G3	23,000	B4 U0 G3	23,600	B4 U0 G3	23,800	B4 U0 G3	23,800	B4 U0 G3

* Initial delivered lumens at 25°C [77°F]. Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>



RESTL Test Report #: PL12765-008B
XSPLG-D--2LG-24L-40K7-UL-**-N**
w/XA-SP2BLS
Initial Delivered Lumens: 17,373

XSPLG-D--2LG-24L-40K7-UL-**-N**
w/XA-SP2BLS
Mounting Height: 25' [7.6m] A.F.G.
Initial Delivered Lumens: 17,500
 Initial FC at grade

Type II Long w/BLS Distribution										
Lumen Package	2700K		3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
18L	12,950	B2 U0 G2	13,400	B2 U0 G2	13,850	B2 U0 G2	13,900	B2 U0 G2	13,900	B2 U0 G2
24L	16,500	B3 U0 G2	17,000	B3 U0 G3	17,500	B3 U0 G3	17,600	B3 U0 G3	17,600	B3 U0 G3

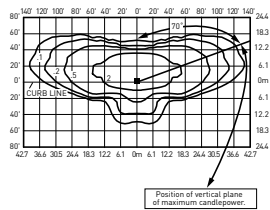
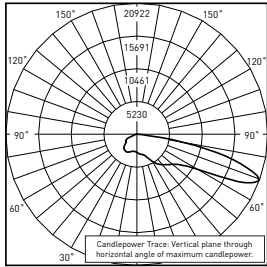
* Initial delivered lumens at 25°C [77°F]. Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

XSPLG LED Street/Area Luminaire – Large

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/street-and-roadway/xsp-series>

2ME

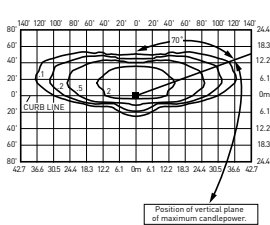
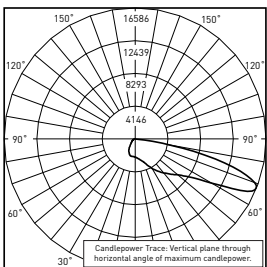


RESTL Test Report #: PL12765-003B
XSPLG-D--2ME-24L-40K7-UL-**-N**
Initial Delivered Lumens: 23,168

XSPLG-D--2ME-24L-40K7-UL-**-N**
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 23,600
 Initial FC at grade

Type II Medium Distribution										
Lumen Package	2700K		3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
18L	17,500	B3 U0 G3	18,100	B3 U0 G3	18,700	B3 U0 G3	18,800	B3 U0 G3	18,800	B3 U0 G3
24L	22,300	B3 U0 G3	23,000	B3 U0 G3	23,600	B3 U0 G3	23,800	B3 U0 G3	23,800	B3 U0 G3

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>



RESTL Test Report #: PL12765-004B
XSPLG-D--2ME-24L-40K7-UL-**-N**
w/XA-SP2BLS
Initial Delivered Lumens: 17,757

XSPLG-D--2ME-24L-40K7-UL-**-N**
w/XA-SP2BLS
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 18,200
 Initial FC at grade

Type II Medium w/BLS Distribution										
Lumen Package	2700K		3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
18L	13,475	B1 U0 G2	13,925	B1 U0 G2	14,400	B1 U0 G2	14,475	B1 U0 G2	14,475	B1 U0 G2
24L	17,200	B2 U0 G3	17,700	B2 U0 G3	18,200	B2 U0 G3	18,300	B2 U0 G3	18,300	B2 U0 G3

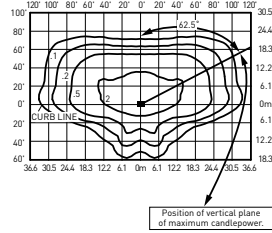
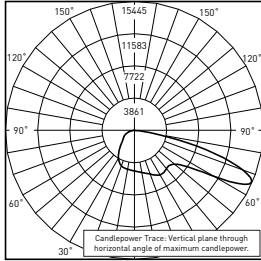
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

XSPLG LED Street/Area Luminaire – Large

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/street-and-roadway/xsp-series>

3ME

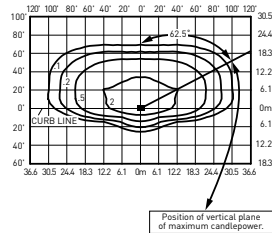
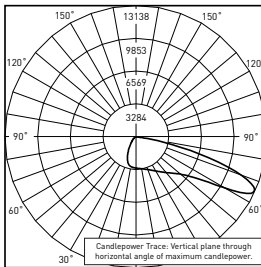


RESTL Test Report #: PL12765-001B
XSPLG-D--3ME-24L-40K7-UL-**-N**
Initial Delivered Lumens: 23,083

XSPLG-D--3ME-24L-40K7-UL-**-N**
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 23,600
 Initial FC at grade

Type III Medium Distribution										
Lumen Package	2700K		3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
18L	17,500	B3 U0 G3	18,100	B3 U0 G3	18,700	B3 U0 G3	18,800	B3 U0 G3	18,800	B3 U0 G3
24L	22,300	B3 U0 G3	23,000	B3 U0 G3	23,600	B3 U0 G4	23,800	B3 U0 G4	23,800	B3 U0 G4

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>



RESTL Test Report #: PL12765-002B
XSPLG-D--3ME-24L-40K7-UL-**-N**
w/XA-SP2BLS
Initial Delivered Lumens: 16,503

XSPLG-D--3ME-24L-40K7-UL-**-N**
w/XA-SP2BLS
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 16,800
 Initial FC at grade

Type III Medium w/BLS Distribution										
Lumen Package	2700K		3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
18L	12,425	B2 U0 G2	12,850	B2 U0 G2	13,275	B2 U0 G2	13,350	B2 U0 G2	13,350	B2 U0 G2
24L	15,800	B2 U0 G3	16,300	B2 U0 G3	16,800	B2 U0 G3	16,900	B2 U0 G3	16,900	B2 U0 G3

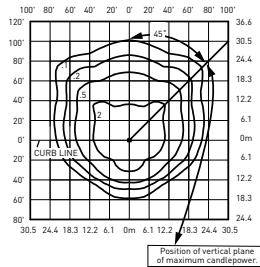
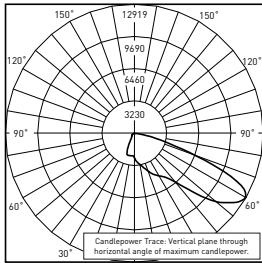
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

XSPLG LED Street/Area Luminaire – Large

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/street-and-roadway/xsp-series>

4ME

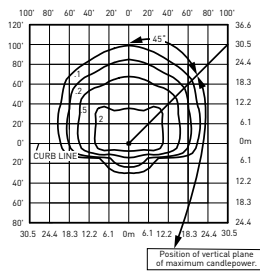
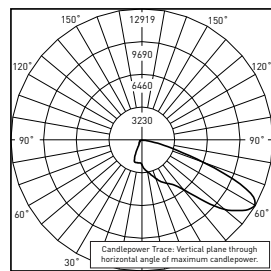


RESTL Test Report #: PL12765-005B
XSPLG-D--4ME-24L-40K7-UL-**-N**
Initial Delivered Lumens: 23,195

XSPLG-D--4ME-24L-40K7-UL-**-N**
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 23,600
Initial FC at grade

Type IV Medium Distribution										
Lumen Package	2700K		3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
18L	17,500	B3 U0 G3	18,100	B3 U0 G3	18,700	B3 U0 G3	18,800	B3 U0 G3	18,800	B3 U0 G3
24L	22,300	B3 U0 G3	23,000	B3 U0 G3	23,600	B3 U0 G3	23,800	B4 U0 G3	23,800	B4 U0 G3

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
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RESTL Test Report #: PL12765-006B
XSPLG-D--4ME-24L-40K7-UL-**-N**
w/XA-SP2BLS
Initial Delivered Lumens: 16,941

XSPLG-D--4ME-24L-40K7-UL-**-N**
w/XA-SP2BLS
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 17,200
Initial FC at grade

Type IV Medium w/BLS Distribution										
Lumen Package	2700K		3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
18L	12,775	B2 U0 G2	13,225	B2 U0 G2	13,650	B2 U0 G2	13,725	B2 U0 G2	13,725	B2 U0 G2
24L	16,300	B2 U0 G2	16,800	B2 U0 G2	17,200	B2 U0 G3	17,400	B2 U0 G3	17,400	B2 U0 G3

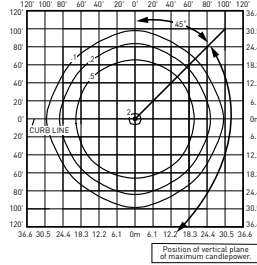
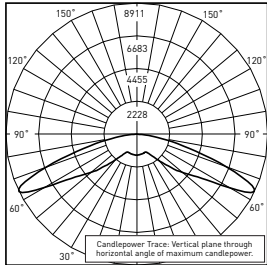
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

XSPLG LED Street/Area Luminaire – Large

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/street-and-roadway/xsp-series>

5SH



RESTL Test Report #: PL14063-001A
XSPLG-D-**-5SH-24L-30K7-UL-**-N
Initial Delivered Lumens: 21,359

XSPLG-D-**-5SH-24L-30K7-UL-**-N
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 21,700
Initial FC at grade

Type V Short Distribution										
Lumen Package	2700K		3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
18L	14,925	B4 U0 G3	18,100	B4 U0 G3	19,000	B5-U0-G3	19,000	B5 U0 G3	19,000	B5 U0 G3
24L	17,900	B4 U0 G3	21,700	B5 U0 G3	22,800	B5-U0-G3	22,800	B5 U0 G3	22,800	B5 U0 G3

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

Luminaire EPA

Horizontal Tenon Mount – Weight: 23.4 lbs. (10.6kg)				
Single	2 @ 90°	2 @ 180°	3 @ 90°	4 @ 90°
Tenon Configuration If used with Cree Lighting tenons, please add tenon EPA with luminaire EPA				
PD-1H4; PT-1H	PD-2H4(90); PT-2H(90)	PD-2H4(180); PT-2H(180)	PD-3H4(90); PT-3H(90)	PD-4H4(90); PT-4H(90)
0.69	1.14	1.38	1.83	2.28

Tenon EPA

Part Number	EPA
PD Series Tenons	0.09
PT Series Tenons	0.10
WM-2L	0.13
XA-TMDA8	0.19

Tenons and Brackets [†] (must specify color)	
Square Internal Mount Horizontal Tenons (Aluminum) - Mounts to 4" [102mm] square aluminum or steel poles PD-1H4 – Single PD-3H4(90) – 90° Triple PD-2H4(90) – 90° Twin PD-4H4(90) – 90° Quad PD-2H4(180) – 180° Twin	Round External Mount Horizontal Tenons (Aluminum) - Mounts to 2.375"-3" [60-76mm] O.D. round aluminum or steel poles or tenons - Mounts to 3" [76mm], 4" [102mm], 5" [127mm], or 6" [152mm] square pole with PB-1A* tenon PT-1H – Single PT-3H(90) – 90° Triple PT-2H(90) – 90° Twin PT-4H(90) – 90° Quad PT-2H(180) – 180° Twin
Wall Mount Brackets - Mounts to wall or roof WM-2L – Extended Horizontal	Direct Arm Pole Adaptor Bracket - Mounts to 3-6" [76-152mm] round or square aluminum or steel poles XA-TMDA8

[†] Refer to the [Bracket and Tenons spec sheet](#) for more details
* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"] for single, double or triple luminaire orientation or 4 [4"], 5 [5"] or 6 [6"] for quad luminaire orientation

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the street and area luminaire within the XSP Series on this page to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected lumen output, will be fully adjustable between the outputs, and will include a wattage label that indicates the wattage of the luminaire at the selected lumen output (Rounded to nearest 10 watts per ANSI C136.15-2015.). Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the XSP Series street and area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected, and will include a wattage label that indicates the wattage of the setting selected. When this option is selected, the luminaire output is not able to be adjusted in the field except if a dimming control (by others) is used in the 7-Pin receptacle.

Q & X Option Power & Lumen Data – 18L

Q Option Setting	X Option Setting	CCT/ CRI	System Watts [†]		Lumen Values [†]						Optics Qualified on DLC QPL	
			120-480V	Label Wattage	2LG/2ME/ 3ME/4ME	5SH	2LG w/ BLS	2ME w/ BLS	3ME w/BLS	4ME w/BLS	Standard	Premium
Q9	N/A (Full Power)	27K7	135	140	17,500	14,925	12,950	13,475	12,425	12,775	5SH	2LG, 2ME, 3ME, 4ME
		30K7			18,100	18,100	13,400	13,925	12,850	13,225		2LG, 2ME, 3ME, 4ME, 5SH
		40K7			18,700	19,000	13,850	14,400	13,275	13,650		2LG, 2ME, 3ME, 4ME, 5SH
		50K7			18,800	19,000	13,900	14,475	13,350	13,725		2LG, 2ME, 3ME, 4ME, 5SH
		57K7			18,800	19,000	13,900	14,475	13,350	13,725		2LG, 2ME, 3ME, 4ME, 5SH
Q8	X8	27K7	128	130	16,700	14,475	12,350	12,850	11,850	12,200	5SH	2LG, 2ME, 3ME, 4ME
		30K7			17,300	17,500	12,800	13,325	12,275	12,625		2LG, 2ME, 3ME, 4ME, 5SH
		40K7			17,900	18,700	13,250	13,775	12,700	13,075		2LG, 2ME, 3ME, 4ME, 5SH
		50K7			18,000	18,200	13,325	13,850	12,775	13,150		2LG, 2ME, 3ME, 4ME, 5SH
		57K7			18,000	18,200	13,325	13,850	12,775	13,150		2LG, 2ME, 3ME, 4ME, 5SH
Q7	X7	27K7	121	120	16,000	13,875	11,850	12,325	11,350	11,675	5SH	2LG, 2ME, 3ME, 4ME
		30K7			16,500	16,800	12,200	12,700	11,725	12,050		2LG, 2ME, 3ME, 4ME, 5SH
		40K7			17,100	17,900	12,650	13,175	12,150	12,475		2LG, 2ME, 3ME, 4ME, 5SH
		50K7			17,200	17,500	12,725	13,250	12,200	12,550		2LG, 2ME, 3ME, 4ME, 5SH
		57K7			17,200	17,500	12,725	13,250	12,200	12,550		2LG, 2ME, 3ME, 4ME, 5SH
Q6	X6	27K7	115	120	15,400	13,450	11,400	11,850	10,925	11,250		2LG, 2ME, 3ME, 4ME, 5SH
		30K7			15,900	16,300	11,775	12,250	11,300	11,600		2LG, 2ME, 3ME, 4ME, 5SH
		40K7			16,500	17,400	12,200	12,700	11,725	12,050		2LG, 2ME, 3ME, 4ME, 5SH
		50K7			16,600	17,000	12,275	12,775	11,775	12,125		2LG, 2ME, 3ME, 4ME, 5SH
		57K7			16,600	17,000	12,275	12,775	11,775	12,125		2LG, 2ME, 3ME, 4ME, 5SH
Q5	X5	27K7	105	110	14,275	12,400	10,575	11,000	10,125	10,425		2LG, 2ME, 3ME, 4ME, 5SH
		30K7			14,750	14,975	10,925	11,350	10,475	10,775		2LG, 2ME, 3ME, 4ME, 5SH
		40K7			15,300	16,000	11,325	11,775	10,875	11,175		2LG, 2ME, 3ME, 4ME, 5SH
		50K7			15,400	15,600	11,400	11,850	10,925	11,250		2LG, 2ME, 3ME, 4ME, 5SH
		57K7			15,400	15,600	11,400	11,850	10,925	11,250		2LG, 2ME, 3ME, 4ME, 5SH
Q4	X4	27K7	95	100	13,025	11,625	9,650	10,025	9,250	9,500		2LG, 2ME, 3ME, 4ME, 5SH
		30K7			13,475	14,075	9,975	10,375	9,575	9,825		2LG, 2ME, 3ME, 4ME, 5SH
		40K7			13,975	15,000	10,350	10,750	9,925	10,200		2LG, 2ME, 3ME, 4ME, 5SH
		50K7			14,025	14,700	10,375	10,800	9,950	10,250		2LG, 2ME, 3ME, 4ME, 5SH
		57K7			14,025	14,700	10,375	10,800	9,950	10,250		2LG, 2ME, 3ME, 4ME, 5SH
Q3	X3	27K7	85	90	11,875	10,550	8,800	9,150	8,425	8,675		2LG, 2ME, 3ME, 4ME, 5SH
		30K7			12,275	12,750	9,075	9,450	8,725	8,950		2LG, 2ME, 3ME, 4ME, 5SH
		40K7			12,725	13,600	9,425	9,800	9,025	9,300		2LG, 2ME, 3ME, 4ME, 5SH
		50K7			12,775	13,300	9,450	9,825	9,075	9,325		2LG, 2ME, 3ME, 4ME, 5SH
		57K7			12,775	13,300	9,450	9,825	9,075	9,325		2LG, 2ME, 3ME, 4ME, 5SH
Q2	X2	27K7	76	80	10,725	9,575	7,925	8,250	7,625	7,825		2LG, 2ME, 3ME, 4ME, 5SH
		30K7			11,075	11,575	8,200	8,525	7,875	8,075		2LG, 2ME, 3ME, 4ME, 5SH
		40K7			11,475	12,350	8,500	8,825	8,150	8,375		2LG, 2ME, 3ME, 4ME, 5SH
		50K7			11,525	12,100	8,525	8,875	8,175	8,425		2LG, 2ME, 3ME, 4ME, 5SH
		57K7			11,525	12,100	8,525	8,875	8,175	8,425		2LG, 2ME, 3ME, 4ME, 5SH
Q1	X1	27K7	67	70	9,525	8,750	7,050	7,325	6,775	6,950		2LG, 2ME, 3ME, 4ME, 5SH
		30K7			9,850	10,575	7,300	7,575	7,000	7,200		2LG, 2ME, 3ME, 4ME, 5SH
		40K7			10,200	11,275	7,550	7,850	7,250	7,450		2LG, 2ME, 3ME, 4ME, 5SH
		50K7			10,250	11,000	7,575	7,900	7,275	7,475		2LG, 2ME, 3ME, 4ME, 5SH
		57K7			10,250	11,000	7,575	7,900	7,275	7,475		2LG, 2ME, 3ME, 4ME, 5SH

[†] Electrical and lumen data at 25°C (77°F). Actual wattage and lumen output may differ by +/-10% when operating between 120-277V or 347-480V +/-10%

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the street and area luminaire within the XSP Series on this page to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected lumen output, will be fully adjustable between the outputs, and will include a wattage label that indicates the wattage of the luminaire at the selected lumen output (Rounded to nearest 10 watts per ANSI C136.15-2015.). Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the XSP Series street and area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected, and will include a wattage label that indicates the wattage of the setting selected. When this option is selected, the luminaire output is not able to be adjusted in the field except if a dimming control (by others) is used in the 7-Pin receptacle.

Q & X Option Power & Lumen Data – 24L

Q Option Setting	X Option Setting	CCT/ CRI	System Watts [†]		Lumen Values [†]						Optics Qualified on DLC QPL	
			120-480V	Label Wattage	2LG/2ME/ 3ME/4ME	5SH	2LG w/ BLS	2ME w/ BLS	3ME w/ BLS	4ME w/BLS	Standard	Premium
Q9	N/A (Full Power)	27K7	184	180	22,300	17,900	16,500	17,200	15,800	16,300	5SH	2LG, 2ME, 3ME, 4ME
		30K7			23,000	21,700	17,000	17,700	16,300	16,800	2LG, 2ME, 3ME, 4ME, 5SH	
		40K7			23,600	22,800	17,500	18,200	16,800	17,200	2LG, 2ME, 3ME, 4ME, 5SH	
		50K7			23,800	22,800	17,600	18,300	16,900	17,400	2LG, 2ME, 3ME, 4ME, 5SH	
		57K7			23,800	22,800	17,600	18,300	16,900	17,400	2LG, 2ME, 3ME, 4ME, 5SH	
Q8	X8	27K7	174	170	21,600	17,400	16,000	16,600	15,300	15,800	5SH	2LG, 2ME, 3ME, 4ME
		30K7			22,300	21,000	16,500	17,200	15,800	16,300	2LG, 2ME, 3ME, 4ME, 5SH	
		40K7			22,900	22,400	16,900	17,600	16,300	16,700	2LG, 2ME, 3ME, 4ME, 5SH	
		50K7			23,000	21,900	17,000	17,700	16,300	16,800	2LG, 2ME, 3ME, 4ME, 5SH	
		57K7			23,000	21,900	17,000	17,700	16,300	16,800	2LG, 2ME, 3ME, 4ME, 5SH	
Q7	X7	27K7	164	160	20,700	16,700	15,300	15,900	14,700	15,100	5SH	2LG, 2ME, 3ME, 4ME
		30K7			21,300	20,100	15,800	16,400	15,100	15,500	2LG, 2ME, 3ME, 4ME, 5SH	
		40K7			21,900	21,500	16,200	16,900	15,500	16,000	2LG, 2ME, 3ME, 4ME, 5SH	
		50K7			22,100	21,000	16,400	17,000	15,700	16,100	2LG, 2ME, 3ME, 4ME, 5SH	
		57K7			22,100	21,000	16,400	17,000	15,700	16,100	2LG, 2ME, 3ME, 4ME, 5SH	
Q6	X6	27K7	156	160	20,100	16,200	14,875	15,500	14,275	14,675	5SH	2LG, 2ME, 3ME, 4ME
		30K7			20,700	19,500	15,300	15,900	14,700	15,100	2LG, 2ME, 3ME, 4ME, 5SH	
		40K7			21,300	20,800	15,800	16,400	15,100	15,500	2LG, 2ME, 3ME, 4ME, 5SH	
		50K7			21,400	20,400	15,800	16,500	15,200	15,600	2LG, 2ME, 3ME, 4ME, 5SH	
		57K7			21,400	20,400	15,800	16,500	15,200	15,600	2LG, 2ME, 3ME, 4ME, 5SH	
Q5	X5	27K7	143	140	18,500	14,875	13,700	14,250	13,125	13,500	5SH	2LG, 2ME, 3ME, 4ME
		30K7			19,000	18,000	14,050	14,625	13,500	13,875	2LG, 2ME, 3ME, 4ME, 5SH	
		40K7			19,600	19,200	14,500	15,100	13,925	14,300	2LG, 2ME, 3ME, 4ME, 5SH	
		50K7			19,700	18,700	14,575	15,200	13,975	14,375	2LG, 2ME, 3ME, 4ME, 5SH	
		57K7			19,700	18,700	14,575	15,200	13,975	14,375	2LG, 2ME, 3ME, 4ME, 5SH	
Q4	X4	27K7	128	130	17,400	13,975	12,875	13,400	12,350	12,700	5SH	2LG, 2ME, 3ME, 4ME
		30K7			17,800	16,900	13,175	13,700	12,650	13,000	2LG, 2ME, 3ME, 4ME, 5SH	
		40K7			18,400	18,000	13,625	14,175	13,075	13,425	2LG, 2ME, 3ME, 4ME, 5SH	
		50K7			18,500	17,600	13,700	14,250	13,125	13,500	2LG, 2ME, 3ME, 4ME, 5SH	
		57K7			18,500	17,600	13,700	14,250	13,125	13,500	2LG, 2ME, 3ME, 4ME, 5SH	
Q3	X3	27K7	116	120	15,800	12,650	11,700	12,175	11,225	11,525	5SH	2LG, 2ME, 3ME, 4ME
		30K7			16,200	15,300	12,000	12,475	11,500	11,825	2LG, 2ME, 3ME, 4ME, 5SH	
		40K7			16,700	16,300	12,350	12,850	11,850	12,200	2LG, 2ME, 3ME, 4ME, 5SH	
		50K7			16,800	15,900	12,425	12,925	11,925	12,275	2LG, 2ME, 3ME, 4ME, 5SH	
		57K7			16,800	15,900	12,425	12,925	11,925	12,275	2LG, 2ME, 3ME, 4ME, 5SH	
Q2	X2	27K7	103	100	14,325	11,500	10,600	11,025	10,175	10,450	5SH	2LG, 2ME, 3ME, 4ME
		30K7			14,725	13,900	10,900	11,350	10,450	10,750	2LG, 2ME, 3ME, 4ME, 5SH	
		40K7			15,100	14,825	11,175	11,625	10,725	11,025	2LG, 2ME, 3ME, 4ME, 5SH	
		50K7			15,300	14,500	11,325	11,775	10,875	11,175	2LG, 2ME, 3ME, 4ME, 5SH	
		57K7			15,300	14,500	11,325	11,775	10,875	11,175	2LG, 2ME, 3ME, 4ME, 5SH	
Q1	X1	27K7	91	90	13,075	10,500	9,675	10,075	9,275	9,550		2LG, 2ME, 3ME, 4ME, 5SH
		30K7			13,450	12,675	9,950	10,350	9,550	9,825	2LG, 2ME, 3ME, 4ME, 5SH	
		40K7			13,825	13,525	10,225	10,650	9,825	10,100	2LG, 2ME, 3ME, 4ME, 5SH	
		50K7			13,925	13,200	10,300	10,725	9,875	10,175	2LG, 2ME, 3ME, 4ME, 5SH	
		57K7			13,925	13,200	10,300	10,725	9,875	10,175	2LG, 2ME, 3ME, 4ME, 5SH	

[†] Electrical and lumen data at 25°C (77°F). Actual wattage and lumen output may differ by +/-10% when operating between 120-277V or 347-480V +/-10%

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US: creeighting.com (800) 236-6800

Canada: creeighting-canada.com (800) 473-1234



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XSP Series

XSPMD LED Street/Area Luminaire – Medium

Rev. Date: V6 04/14/2020

Product Description

Designed from the ground up as a totally optimized LED street and area lighting system, the XSP Series delivers incredible efficiency without sacrificing application performance. Beyond substantial energy savings and reduced maintenance, Cree Lighting achieves greater optical control with our NanoOptic® Precision Delivery Grid™ optic when compared to traditional cobra head luminaires. The XSP Series is the better alternative for traditional street and area lighting with quick payback and improved performance.

Applications: Collector roads, major roads, parking lots, and general area spaces

Performance Summary

NanoOptic® Precision Delivery Grid™ optic

Assembled in the U.S.A. of U.S. and imported parts

Initial Delivered Lumens: Up to 11,875

Efficacy: Up to 125 LPW

CRI: Minimum 70 CRI

CCT: 2700K, 3000K, 4000K, 5000K, 5700K

Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

* See <http://creelighting.com/warranty> for warranty terms

Accessories

Field-Installed		
Backlight Control Shield XA-SP1BLS - Provides 1 mounting height cutoff - Polycarbonate construction - Refer to initial delivered lumen tables for lumen output	Bird Spikes XSP-BRDGRDM	Shorting Cap XA-XSLSHRT

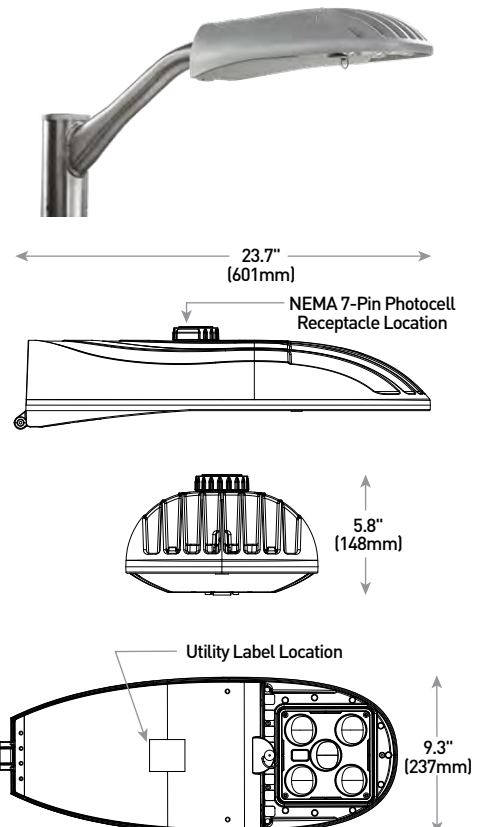
Ordering Information

Example: XSPMD-D-HT-2LG-12L-27K7-UL-SV-N

XSPMD	D	HT		12L				N	
Product	Version	Mounting	Optic	Lumen Package**	CCT/CRI	Voltage	Color Options	Utility Label/Receptacle	Options
XSPMD	D	HT Horizontal Tenon	Asymmetric 2LG* Type II Long 2ME* Type II Medium 3ME* Type III Medium 4ME* Type IV Medium Symmetric 5SH Type V Short	12L 12,000 Lumens	27K7 2700K, 70 CRI 30K7 3000K, 70 CRI 40K7 4000K, 70 CRI 50K7 5000K, 70 CRI 57K7 5700K, 70 CRI	UL Universal 120-277V UH Universal 347-480V	BK Black BZ Bronze SV Silver WH White	N Utility Label and NEMA® 7-Pin Photocell Receptacle - External wattage label per ANSI C136.15 - 7-pin receptacle per ANSI C136.41 - Receptacle leads are factory connected to the driver - Requires photocell or shorting cap (by others)	DLI DALI Compatible - Available with UL voltage only - Not available with Q or X options G Small Four Bolt Mounting - Mounts to 1.25" [32mm] IP, 1.66" [42mm] O.D. horizontal tenon J Large Four Bolt Mounting - Mounts to 2" [51mm] IP, 2.375" [60mm] O.D. horizontal tenon Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1 Field Adjustable Output - Must select Q9, Q8, Q7, Q6, Q5, Q4, Q3, Q2, or Q1 - Offers full range lumen adjustability - Includes wattage label for setting selected - Refer to page 8 for power and lumen values - Luminaire may also be dimmed through 7-Pin receptacle with use of dimming control by others X8/X7/X6/X5/X4/X3/X2/X1 Locked Lumen Output - Must select X8, X7, X6, X5, X4, X3, X2, or X1 - Lumen output is permanently locked to the setting selected - Includes wattage label for setting selected - Refer to page 8 for power and lumen values - Dimming is only available through 7-Pin receptacle with use of dimming control by others

* Available with Backlight Shield when ordered with field-installed accessory (see table above)

** Lumen Package codes identify approximate light output only. Actual lumen output levels may vary depending on CCT and optic selection. Refer to Initial Delivered Lumen tables for specific lumen values



Weight
14.2 lbs. [6.4kg]



CREE LIGHTING

US: creelighting.com (800) 236-6800

Canada: creelighting-canada.com (800) 473-1234

Product Specifications

CONSTRUCTION & MATERIALS

- Die cast aluminum housing
- Tool-less entry
- Mounts on 1.25" [32mm] IP, 1.66" [42mm] O.D. or 2" [51mm] IP, 2.375" [60mm] O.D. horizontal tenon (minimum 8" [203mm] in length) and is adjustable +/- 5° to allow for fixture leveling (includes two axis T-level to aid in leveling)
- Luminaire secures with two 410 stainless steel mounting bolts; optional four point mounting available
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable black, bronze, silver or white powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion
- **Weight:** 14.2 lbs. (6.4kg)

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- Consult factory if in-luminaire fusing is required
- Designed with 0-10V dimming capabilities. Controls by others
- **10V Source Current:** 0.15mA
- Luminaires with DLI option are DALI compatible per IEC 62386
- **Operating Temperature Range:** -40°C - +40°C (-40°F - +104°F)

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Certified to ANSI C136.31-2001, 3G bridge and overpass vibration standards
- Meets CALTrans 611 Vibration testing
- ANSI C136.2 10kV surge protection, tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Meets Buy American requirements within ARRA
- RoHS compliant. Consult factory for additional details
- Dark Sky Friendly, IDA Approved when ordered with 27K7 or 30K7 CCTs. Please refer to <https://www.darksky.org/our-work/lighting/lighting-for-industry/tsa/tsa-products/> for most current information
- DLC and DLC Premium qualified versions available. Please refer to <https://www.designlights.org/search/> for most current information

CA RESIDENTS WARNING: Cancer and Reproductive Harm – www.p65warnings.ca.gov

Product Specifications

**SYNAPSE® SIMPLYSNAP INTELLIGENT CONTROL
FOR NON-STREET LIGHTING APPLICATIONS ONLY**

The XSP Series is compatible with the Synapse® SimplySNAP platform. A highly intuitive connected lighting solution for Site and Area applications only. The system features a reliable and robust self-healing mesh network with a browser-based interface that runs on smartphones, tablets, and PCs. Using a Twist-Lock Lighting Controller and Site Controller, SimplySnap provides: energy productivity, code compliance and a better light experience for non-street lighting installations. SimplySNAP is optimized to create and manage networks for campus wide Area and Site applications which differs from networking requirements for street lighting applications.

Synapse Wireless Control Accessories (for Non-Street Lighting Applications only)	
Twist-Lock Lighting Controller TL7-B2 - Suitable for 120-277V (UL) voltage only - Requires NEMA/ANSI C136.41 7-Pin Dimming Receptacle - Not for use with Q options - Provides On/Off switching, dimming, power metering, digital sensor input, and status monitoring of luminaires - Refer to TL7-B2 spec sheet for details	SimplySNAP On-Site Controller SS450-002 - Verizon® LTE-enabled - Designed for indoor applications - Refer to SS450-002 spec sheet for details Building Management System (BMS) Gateway BMS-GW-002 - Required for BACnet integration - Refer to BMS-GW-002 spec sheet for details Outdoor Antennas (Optional, for increased range, 8dB gain) KIT-ANT4205M - Kit includes antenna, 20' cable and bracket KIT-ANT360 - Kit includes antenna, 30' cable and bracket KIT-ANT600 - Kit includes antenna, 50' cable and bracket - Refer to Outdoor antenna spec sheet for details
SimplySNAP Central Base Station CBSSW-450-002 - Includes On-Site Controller (SS450-002) and 5-button switch - Indoor and Outdoor rated - Refer to CBSSW-450-002 spec sheet for details	
Synapse Wireless Sensor WSN-DPM - Motion and light sensor - Control multiple zones - Refer to WSN-DPM spec sheet for details	

Electrical Data*										
Lumen Package	Optics	CCT/ CRI	System Watts 120-480V	Utility Label Wattage	Total Current (A)					
					120V	208V	240V	277V	347V	480V
12L	All	All	95	100	0.80	0.46	0.40	0.35	0.27	0.20

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-277V or 347-480V +/- 10%

XSP Series (XSPMD) Ambient Adjusted Lumen Maintenance ¹						
Ambient	Optics	Initial LMF	25K hr Reported ² LMF	50K hr Reported ² LMF	75K hr Reported ² / Estimated ³ LMF	100K hr Reported ² / Estimated ³ LMF
5°C (41°F)	Asymmetric	1.03	1.02	1.00	0.98 ²	0.96 ²
	Symmetric	1.04	1.03	1.03	1.03 ³	1.03 ³
10°C (50°F)	Asymmetric	1.03	1.02	1.00	0.98 ²	0.96 ²
	Symmetric	1.03	1.02	1.02	1.02 ²	1.02 ³
15°C (59°F)	Asymmetric	1.02	1.01	0.99	0.97 ²	0.95 ²
	Symmetric	1.02	1.01	1.01	1.01 ³	1.01 ³
20°C (68°F)	Asymmetric	1.01	1.00	0.98	0.96 ²	0.94 ²
	Symmetric	1.01	1.01	1.00	1.00 ³	1.00 ³
25°C (77°F)	Asymmetric	1.00	0.99	0.97	0.95 ²	0.93 ²
	Symmetric	1.00	0.99	0.99	0.99 ³	0.99 ³

¹ Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the [Temperature Zone Reference Document](#) for outdoor average nighttime ambient conditions.

² In accordance with IES TM-21, Reported values represent interpolated values based on time durations that are up to 6x the tested duration in the IES LM-80 report for the LED.

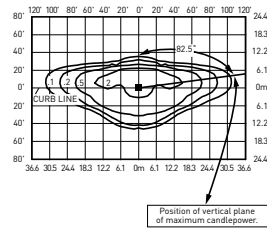
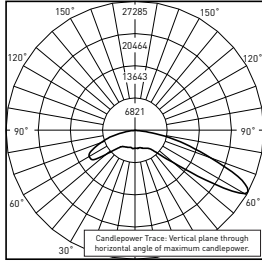
³ Estimated values are calculated and represent time durations that exceed the 6x test duration of the LED.

XSPMD LED Street/Area Luminaire – Medium

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/street-and-roadway/xsp-series>

2LG

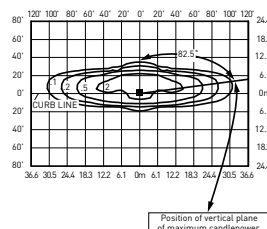
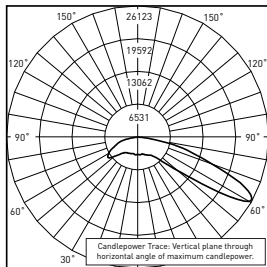


RESTL Test Report #: PL12765-007B
XSPMG-D--2LG-24L-40K7-UL-**-N**
Initial Delivered Lumens: 23,437

XSPMD-D--2LG-12L-40K7-UL-**-N**
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 11,800
 Initial FC at grade

Type II Long Distribution										
Lumen Package	2700K		3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
12L	11,150	B3 U0 G3	11,475	B3 U0 G3	11,800	B3 U0 G3	11,875	B3 U0 G3	11,875	B3 U0 G3

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>



RESTL Test Report #: PL12765-008B
XSPMG-D--2LG-24L-40K7-UL-**-N**
 w/XA-SP2BLS
Initial Delivered Lumens: 17,373

XSPMD-D--2LG-12L-40K7-UL-**-N**
 w/XA-SP1BLS
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 8,725
 Initial FC at grade

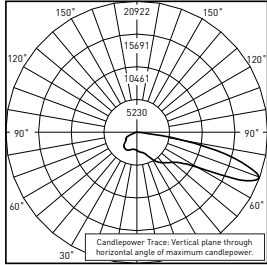
Type II Long w/BLS Distribution										
Lumen Package	2700K		3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
12L	8,250	B2 U0 G1	8,500	B2 U0 G2	8,725	B2 U0 G2	8,800	B2 U0 G2	8,800	B2 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

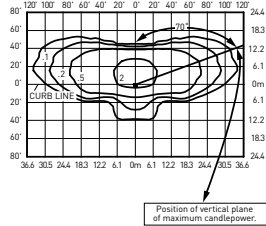
Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/street-and-roadway/xsp-series>

2ME



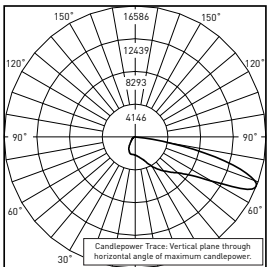
RECTL Test Report #: 12765-003B
XSPGL-D--2ME-24L-40K7-UL-**-N**
Initial Delivered Lumens: 23,168



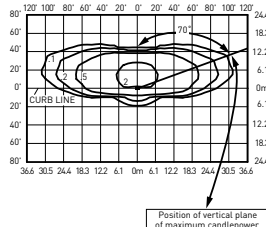
XSPMD-D--2ME-12L-40K7-UL-**-N**
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 11,800
 Initial FC at grade

Type II Medium Distribution										
Lumen Package	2700K		3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
12L	11,150	B2 U0 G2	11,475	B2 U0 G2	11,800	B2 U0 G2	11,875	B2 U0 G2	11,875	B2 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>



RECTL Test Report #: PL12765-004B
XSPGL-D--2ME-24L-40K7-UL-**-N**
w/XA-SP2BLS
Initial Delivered Lumens: 17,757



XSPMD-D--2ME-12L-40K7-UL-**-N**
w/XA-SP1BLS
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 9,075
 Initial FC at grade

Type II Medium w/BLS Distribution										
Lumen Package	2700K		3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
12L	8,575	B1 U0 G2	8,825	B1 U0 G2	9,075	B1 U0 G2	9,150	B1 U0 G2	9,150	B1 U0 G2

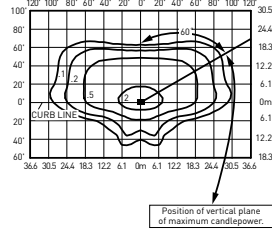
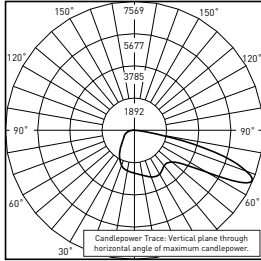
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

XSPMD LED Street/Area Luminaire – Medium

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/street-and-roadway/xsp-series>

3ME

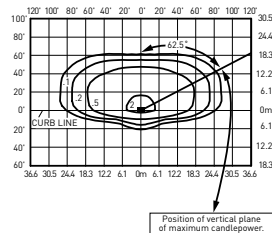
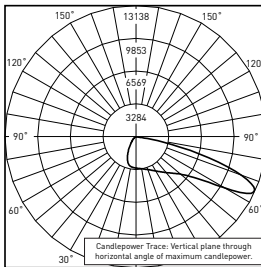


RESTL Test Report #: PL12611-001B
XSPMD-D--3ME-12L-40K7-UL-**-N**
Initial Delivered Lumens: 11,144

XSPMD-D--3ME-12L-40K7-UL-**-N**
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 11,800
Initial FC at grade

Type III Medium Distribution										
Lumen Package	2700K		3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
12L	11,150	B2 U0 G2	11,475	B2 U0 G2	11,800	B2 U0 G2	11,875	B2 U0 G2	11,875	B2 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>



RESTL Test Report #: PL12765-002B
XSPMG-D--3ME-24L-40K7-UL-**-N**
w/XA-SP2BLS
Initial Delivered Lumens: 16,503

XSPMD-D--3ME-12L-40K7-UL-**-N**
w/XA-SP1BLS
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 8,375
Initial FC at grade

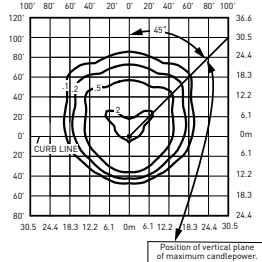
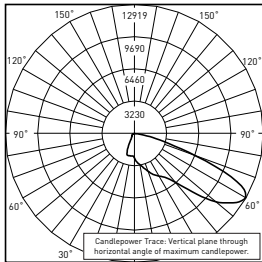
Type III Medium w/BLS Distribution										
Lumen Package	2700K		3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
12L	7,925	B1 U0 G2	8,150	B1 U0 G2	8,375	B1 U0 G2	8,425	B1 U0 G2	8,425	B1 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/street-and-roadway/xsp-series>

4ME

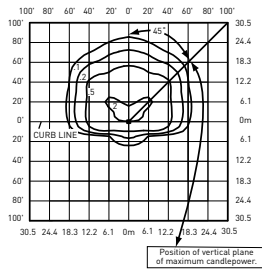
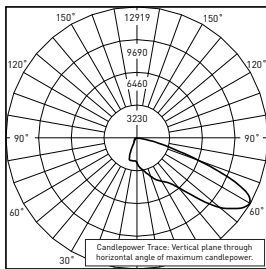


RESTL Test Report #: PL12765-005B
XSPMG-D--4ME-24L-40K7-UL-**-N**
Initial Delivered Lumens: 23,195

XSPMG-D--4ME-24L-40K7-UL-**-N**
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 23,600
Initial FC at grade

Type IV Medium Distribution										
Lumen Package	2700K		3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
12L	11,150	B2 U0 G2	11,475	B2 U0 G2	11,800	B2 U0 G2	11,875	B2 U0 G2	11,875	B2 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>



RESTL Test Report #: PL12765-006B
XSPMG-D--4ME-24L-40K7-UL-**-N**
w/XA-SP2BLS
Initial Delivered Lumens: 16,941

XSPMG-D--4ME-12L-40K7-UL-**-N**
w/XA-SP1BLS
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 8,625
Initial FC at grade

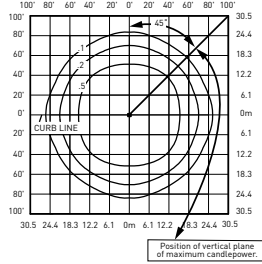
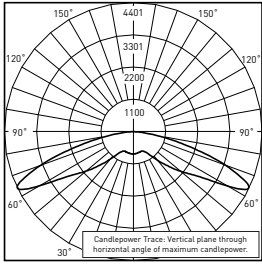
Type IV Medium w/BLS Distribution										
Lumen Package	2700K		3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
12L	8,150	B1 U0 G2	8,375	B1 U0 G2	8,625	B1 U0 G2	8,675	B1 U0 G2	8,675	B1 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/street-and-roadway/xsp-series>

5SH



RESTL Test Report #: PL12933-001B
 XSPMD-D-**-5SH-12L-30K7-UL-**-N
Initial Delivered Lumens: 11,090

XSPMD-D-**-5SH-12L-30K7-UL-**-N
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 11,325
 Initial FC at grade

Type V Short Distribution										
Lumen Package	2700K		3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
12L	9,350	B4 U0 G2	11,325	B4 U0 G2	11,875	B4 U0 G2	11,875	B4 U0 G2	11,875	B4 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

Luminaire EPA

Horizontal Tenon Mount – Weight: 14.2 lbs. (6.4kg)				
Single	2 @ 90°	2 @ 180°	3 @ 90°	4 @ 90°
Tenon Configuration If used with Cree Lighting tenons, please add tenon EPA with luminaire EPA				
PD-1H4; PT-1H	PD-2H4(90); PT-2H(90)	PD-2H4(180); PT-2H(180)	PD-3H4(90); PT-3H(90)	PD-4H4(90); PT-4H(90)
0.71	1.02	1.43	1.74	2.04

Tenon EPA

Part Number	EPA
PD Series Tenons	0.09
PT Series Tenons	0.10
WM-2L	0.13
XA-TMDA8	0.19

Tenons and Brackets* (must specify color)	
Square Internal Mount Horizontal Tenons (Aluminum) - Mounts to 4" (102mm) square aluminum or steel poles PD-1H4 – Single PD-3H4(90) – 90° Triple PD-2H4(90) – 90° Twin PD-4H4(90) – 90° Quad PD-2H4(180) – 180° Twin	Round External Mount Horizontal Tenons (Aluminum) - Mounts to 2.375"-3" (60-76mm) O.D. round aluminum or steel poles or tenons - Mounts to 3" (76mm), 4" (102mm), 5" (127mm), or 6" (152mm) square pole with PB-1A* tenon PT-1H – Single PT-3H(90) – 90° Triple PT-2H(90) – 90° Twin PT-4H(90) – 90° Quad PT-2H(180) – 180° Twin
Wall Mount Brackets - Mounts to wall or roof WM-2L – Extended Horizontal	Direct Arm Pole Adaptor Bracket - Mounts to 3-6" (76-152mm) round or square aluminum or steel poles XA-TMDA8

* Refer to the [Bracket and Tenons spec sheet](#) for more details
 * Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6") for single, double or triple luminaire orientation or 4 (4"), 5 (5") or 6 (6") for quad luminaire orientation

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the street and area luminaire within the XSP Series on this page to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected lumen output, will be fully adjustable between the outputs, and will include a wattage label that indicates the wattage of the luminaire at the selected lumen output (Rounded to nearest 10 watts per ANSI C136.15-2015.). Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the XSP Series street and area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected, and will include a wattage label that indicates the wattage of the setting selected. When this option is selected, the luminaire output is not able to be adjusted in the field except if a dimming control (by others) is used in the 7-Pin receptacle.

Q & X Option Power & Lumen Data – 12L

Q Option Setting	X Option Setting	CCT/ CRI	System Watts [†] 120-480V	Label Wattage	Lumen Values [†]						Optics Qualified on DLC QPL	
					2LG/2ME/ 3ME/4ME	5SH	2LG w/ BLS	2ME w/ BLS	3ME w/BLS	4ME w/BLS	Standard	Premium
Q9	N/A (Full Power)	27K7	95	100	11,150	9,350	8,250	8,575	7,925	8,150	5SH	2LG, 2ME, 3ME, 4ME
		30K7			11,475	11,325	8,500	8,825	8,150	8,375	2LG, 2ME, 3ME, 4ME, 5SH	
		40K7			11,800	11,875	8,725	9,075	8,375	8,625	2LG, 2ME, 3ME, 4ME, 5SH	
		50K7			11,875	11,875	8,800	9,150	8,425	8,675	2LG, 2ME, 3ME, 4ME, 5SH	
		57K7			11,875	11,875	8,800	9,150	8,425	8,675	2LG, 2ME, 3ME, 4ME, 5SH	
Q8	X8	27K7	90	90	10,825	9,075	8,000	8,325	7,675	7,900	5SH	2LG, 2ME, 3ME, 4ME
		30K7			11,125	10,975	8,225	8,575	7,900	8,125	2LG, 2ME, 3ME, 4ME, 5SH	
		40K7			11,425	11,700	8,450	8,800	8,100	8,350	2LG, 2ME, 3ME, 4ME, 5SH	
		50K7			11,500	11,425	8,500	8,850	8,175	8,400	2LG, 2ME, 3ME, 4ME, 5SH	
		57K7			11,500	11,425	8,500	8,850	8,175	8,400	2LG, 2ME, 3ME, 4ME, 5SH	
Q7	X7	27K7	85	90	10,375	8,700	7,675	8,000	7,375	7,575	5SH	2LG, 2ME, 3ME, 4ME
		30K7			10,650	10,500	7,875	8,200	7,550	7,775	2LG, 2ME, 3ME, 4ME, 5SH	
		40K7			10,950	11,225	8,100	8,425	7,775	8,000	2LG, 2ME, 3ME, 4ME, 5SH	
		50K7			11,025	10,950	8,150	8,500	7,825	8,050	2LG, 2ME, 3ME, 4ME, 5SH	
		57K7			11,025	10,950	8,150	8,500	7,825	8,050	2LG, 2ME, 3ME, 4ME, 5SH	
Q6	X6	27K7	81	80	10,050	8,425	7,425	7,750	7,125	7,325	5SH	2LG, 2ME, 3ME, 4ME
		30K7			10,325	10,200	7,650	7,950	7,325	7,525	2LG, 2ME, 3ME, 4ME, 5SH	
		40K7			10,625	10,875	7,875	8,175	7,550	7,750	2LG, 2ME, 3ME, 4ME, 5SH	
		50K7			10,700	10,625	7,925	8,250	7,600	7,800	2LG, 2ME, 3ME, 4ME, 5SH	
		57K7			10,700	10,625	7,925	8,250	7,600	7,800	2LG, 2ME, 3ME, 4ME, 5SH	
Q5	X5	27K7	74	70	9,250	7,775	6,850	7,125	6,575	6,750	5SH	2LG, 2ME, 3ME, 4ME
		30K7			9,525	9,375	7,050	7,325	6,775	6,950	2LG, 2ME, 3ME, 4ME, 5SH	
		40K7			9,775	10,025	7,225	7,525	6,950	7,125	2LG, 2ME, 3ME, 4ME, 5SH	
		50K7			9,850	9,775	7,300	7,575	7,000	7,200	2LG, 2ME, 3ME, 4ME, 5SH	
		57K7			9,850	9,775	7,300	7,575	7,000	7,200	2LG, 2ME, 3ME, 4ME, 5SH	
Q4	X4	27K7	67	70	8,700	7,300	6,450	6,700	6,175	6,350	5SH	2LG, 2ME, 3ME, 4ME
		30K7			8,925	8,825	6,600	6,875	6,325	6,525	2LG, 2ME, 3ME, 4ME, 5SH	
		40K7			9,175	9,400	6,800	7,075	6,525	6,700	2LG, 2ME, 3ME, 4ME, 5SH	
		50K7			9,250	9,200	6,850	7,125	6,575	6,750	2LG, 2ME, 3ME, 4ME, 5SH	
		57K7			9,250	9,200	6,850	7,125	6,575	6,750	2LG, 2ME, 3ME, 4ME, 5SH	
Q3	X3	27K7	60	60	7,875	6,600	5,825	6,075	5,600	5,750	5SH	2LG, 2ME, 3ME, 4ME
		30K7			8,100	7,975	6,000	6,225	5,750	5,925	2LG, 2ME, 3ME, 4ME, 5SH	
		40K7			8,325	8,525	6,150	6,400	5,900	6,075	2LG, 2ME, 3ME, 4ME, 5SH	
		50K7			8,375	8,325	6,200	6,450	5,950	6,125	2LG, 2ME, 3ME, 4ME, 5SH	
		57K7			8,375	8,325	6,200	6,450	5,950	6,125	2LG, 2ME, 3ME, 4ME, 5SH	
Q2*	X2*	27K7	54	50	7,150	6,000	5,300	5,500	5,075	5,225	5SH (120V & 347V)	2LG, 2ME, 3ME, 4ME (120V & 347V)
		30K7			7,350	7,250	5,450	5,650	5,225	5,375	2LG, 2ME, 3ME, 4ME, 5SH (120V & 347V)	
		40K7			7,550	7,750	5,575	5,825	5,350	5,500	2LG, 2ME, 3ME, 4ME, 5SH (120V & 347V)	
		50K7			7,625	7,575	5,650	5,875	5,425	5,575	2LG, 2ME, 3ME, 4ME, 5SH (120V & 347V)	
		57K7			7,625	7,575	5,650	5,875	5,425	5,575	2LG, 2ME, 3ME, 4ME, 5SH (120V & 347V)	
Q1*	X1*	27K7	48	50	6,525	5,475	4,830	5,025	4,630	4,760	5SH (120V & 347V)	2LG, 2ME, 3ME, 4ME (120V & 347V)
		30K7			6,700	6,625	4,960	5,150	4,760	4,890	2LG, 2ME, 3ME, 4ME, 5SH (120V & 347V)	
		40K7			6,900	7,075	5,100	5,325	4,900	5,025	2LG, 2ME, 3ME, 4ME, 5SH (120V & 347V)	
		50K7			6,950	6,900	5,150	5,350	4,930	5,075	2LG, 2ME, 3ME, 4ME, 5SH (120V & 347V)	
		57K7			6,950	6,900	5,150	5,350	4,930	5,075	2LG, 2ME, 3ME, 4ME, 5SH (120V & 347V)	

[†] Electrical and lumen data at 25°C (77°F). Actual wattage and lumen output may differ by +/-10% when operating between 120-277V or 347-480V +/-10% * DLC Qualified for 120V & 347V only

XSP Series

XSPW™ LED Wall Mount Luminaire featuring Cree TrueWhite® Technology

Rev. Date: VersionB V4 02/25/2020

Product Description

The XSPW™ LED wall mount luminaire has a slim, low profile design intended for outdoor wall mounted applications. The rugged lightweight aluminum housing and mounting box are designed for installation over standard single gang J-Boxes and mud ring single gang J-Boxes. The luminaire allows for through-wired or conduit entry from the top, bottom, sides and rear. The housing design is intended specifically for LED technology including a weathertight LED driver compartment and thermal management. Optic design features industry-leading NanoOptic® Precision Delivery Grid™ system in multiple distributions.

Applications: General area and security lighting

Performance Summary

NanoOptic® Precision Delivery Grid™ optic

Assembled in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI (3000K, 4000K & 5700K); 90 CRI (5000K)

CCT: 3000K, 4000K, 5000K, 5700K

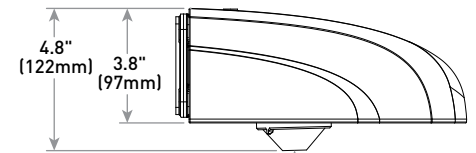
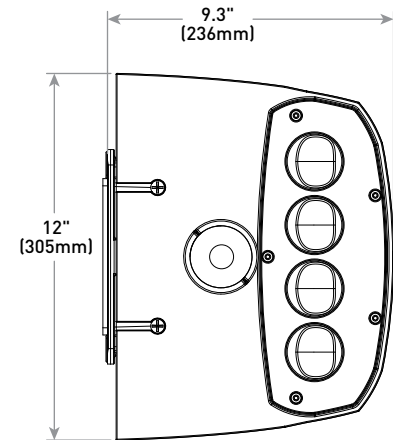
Limited Warranty[†]: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

[†] See <http://creelighting.com/warranty> for warranty terms

Accessories

Field-Installed	
Beauty Plate WM-PLT12** - 12" (305mm) Square WM-PLT14** - 14" (356mm) Square - Covers holes left by incumbent wall packs	Hand-Held Remote XA-SENSREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required

** Must specify color



Multi-Level Sensor location (ordered as an option)

Lumen Package	Weight
2L, 4L, 6L	11.0 lbs. (5.0kg)
8L	11.8 lbs. (5.4kg)

Ordering Information

Example: XSPW-B-WM-2ME-2L-30K-UL-BK

XSPW	B	WM						
Product	Version	Mounting	Optic	Lumen Package*	CCT	Voltage	Color Options	Options
XSPW	B	WM Wall	2ME Type II Medium 3ME Type III Medium 4ME Type IV Medium	2L 2,490 lumens 4L 4,270 lumens 6L 6,100 lumens 8L 8,475 lumens	30K 3000K - 70 CRI 40K 4000K - 70 CRI 50K 5000K - 90 CRI 57K 5700K - 70 CRI	UL Universal 120-277V UH Universal 347-480V 34 347V - For use with P option only	BK Black BZ Bronze SV Silver WH White	ML Multi-Level - Refer to ML spec sheet for details - Available with UL voltage only P Button Photocell - Not available with ML or PML options - Available with UL and 34 voltages only PML Programmable Multi-Level - Refer to PML spec sheet for details - Available with UL voltage only

* Lumen Package selection codes identify approximate light output only. Actual lumen output levels may vary depending on CCT and optic selection. Refer to Initial Delivered Lumen tables for specific lumen values



CREE LIGHTING

US: creelighting.com (800) 236-6800

Canada: creelighting-canada.com (800) 473-1234

Product Specifications

CREE TRUEWHITE® TECHNOLOGY

A revolutionary way to generate high-quality white light, Cree TrueWhite® Technology is a patented approach that delivers an exclusive combination of 90+ CRI, beautiful light characteristics and lifelong color consistency, all while maintaining high luminous efficacy – a true no compromise solution.

CONSTRUCTION & MATERIALS

- Slim, low profile design
- Luminaire housing specifically designed for LED applications with advanced LED thermal management and driver
- Luminaire mounting box designed for installation over standard single gang J-Boxes and mud ring single gang J-Boxes
- Luminaire can also be direct mounted to a wall and surface wired
- Secures to wall with four 3/16" (5mm) screws (by others)
- Conduit entry from top, bottom, sides, and rear
- Exclusive Colorfast DeltaGuard® finish features an E-coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Silver, black, white and bronze are available
- **Weight:** 2L, 4L, 6L - 11.0 lbs. (5.0kg); 8L - 11.8 lbs. (5.4kg)

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- Designed with 0-10V dimming capabilities. Controls by others
- **10V Source Current:** 0.15 mA
- Refer to [Dimming spec sheet](#) for details
- **Operating Temperature Range:** -40°C - +50°C (-40°F - +122°F)

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Designed for downlight applications only
- Enclosure rated IP66 per IEC 60598
- ANSI C136.2 10kV surge protection, tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Meets Buy American requirements within ARRA
- RoHS compliant. Consult factory for additional details
- Dark Sky Friendly, IDA Approved when ordered with 30K CCT. Please refer to <https://www.darksky.org/our-work/lighting/lighting-for-industry/fsa/fsa-products/> for most current information
- DLC and DLC Premium qualified versions available. Please refer to <https://www.designlights.org/search/> for most current information
- **CA RESIDENTS WARNING:** Cancer and Reproductive Harm – www.p65warnings.ca.gov

Electrical Data*									
Lumen Package	CCT/CRI	System Watts	Efficacy	Total Current (A)					
				120V	208V	240V	277V	347V	480V
2L	30K/70 CRI	20	125	0.17	0.10	0.08	0.07	0.06	0.05
	40K/70 CRI	19	131	0.16	0.09	0.08	0.07	0.06	0.04
	50K/90 CRI	24	104	0.20	0.11	0.10	0.08	0.07	0.05
	57K/70 CRI	19	131	0.16	0.09	0.08	0.07	0.06	0.04
4L	30K/70 CRI	33	129	0.28	0.16	0.14	0.13	0.10	0.07
	40K/70 CRI	31	138	0.27	0.15	0.13	0.12	0.09	0.07
	50K/90 CRI	40	107	0.34	0.20	0.17	0.16	0.12	0.09
	57K/70 CRI	31	138	0.26	0.15	0.13	0.12	0.09	0.07
6L	30K/70 CRI	51	120	0.43	0.25	0.22	0.19	0.14	0.11
	40K/70 CRI	47	130	0.40	0.23	0.20	0.18	0.14	0.10
	50K/90 CRI	60	102	0.51	0.29	0.25	0.23	0.17	0.13
	57K/70 CRI	47	130	0.40	0.23	0.20	0.17	0.14	0.10
8L	30K/70 CRI	77	110	0.65	0.38	0.32	0.28	0.22	0.16
	40K/70 CRI	72	118	0.61	0.35	0.31	0.27	0.21	0.15
	50K/90 CRI	78	89	0.66	0.37	0.33	0.29	0.22	0.16
	57K/70 CRI	71	119	0.60	0.35	0.30	0.26	0.20	0.15

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-277V or 347-480V +/- 10%

XSPW Series Ambient Adjusted Lumen Maintenance Factors ¹					
Ambient	Initial LMF	25K hr Reported ² LMF	50K hr Reported ² LMF	75K hr Estimated ³ LMF	100K hr Estimated ³ LMF
5°C (41°F)	1.03	0.98	0.96	0.94	0.92
10°C (50°F)	1.03	0.98	0.96	0.94	0.92
15°C (59°F)	1.02	0.97	0.95	0.93	0.92
20°C (68°F)	1.01	0.96	0.95	0.93	0.91
25°C (77°F)	1.00	0.96	0.94	0.92	0.90
30°C (86°F)	0.99	0.95	0.93	0.91	0.89
35°C (95°F)	0.98	0.94	0.92	0.90	0.88
40°C (104°F)	0.97	0.93	0.91	0.89	0.87

¹ Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the [Temperature Zone Reference Document](#) for outdoor average nighttime ambient conditions.

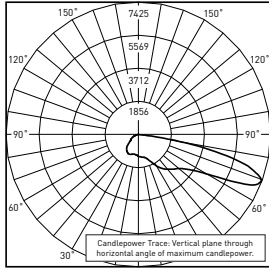
² In accordance with IES TM-21, Reported values represent interpolated values based on time durations that are up to 6x the tested duration in the IES LM-80 report for the LED.

³ Estimated values are calculated and represent time durations that exceed the 6x test duration of the LED.

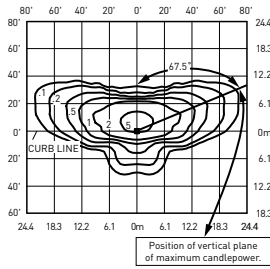
Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/wall-mount/xsp-series-wall>

2ME



CESTL Test Report #: PL12798-001A
 XSPW-B-**-2ME-8L-40K-UL
 Initial Delivered Lumens: 8,622

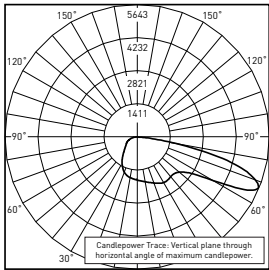


XSPW-B-**-2ME-8L-40K-UL
 Mounting Height: 15' (4.6) A.F.G.
 Initial Delivered Lumens: 8,475
 Initial FC at grade

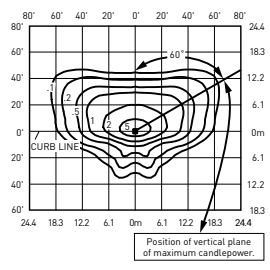
Type II Medium Distribution								
Lumen Package	3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
2L	2,490	B1 U0 G1	2,490	B1 U0 G1	2,490	B1 U0 G1	2,490	B1 U0 G1
4L	4,270	B1 U0 G1	4,270	B1 U0 G1	4,270	B1 U0 G1	4,270	B1 U0 G1
6L	6,100	B1 U0 G2	6,100	B1 U0 G2	6,100	B1 U0 G2	6,100	B1 U0 G2
8L	8,475	B2 U0 G2	8,475	B2 U0 G2	6,925	B1 U0 G2	8,475	B2 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

3ME



CESTL Test Report #: PL12366-007A
 XSPW-B-**-3ME-8L-40K-UL
 Initial Delivered Lumens: 8,543



XSPW-B-**-3ME-8L-40K-UL
 Mounting Height: 15' (4.6m) A.F.G.
 Initial Delivered Lumens: 8,475
 Initial FC at grade

Type III Medium Distribution								
Lumen Package	3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
2L	2,490	B1 U0 G1	2,490	B1 U0 G1	2,490	B1 U0 G1	2,490	B1 U0 G1
4L	4,270	B1 U0 G1	4,270	B1 U0 G1	4,270	B1 U0 G1	4,270	B1 U0 G1
6L	6,100	B1 U0 G2	6,100	B1 U0 G2	6,100	B1 U0 G2	6,100	B1 U0 G2
8L	8,475	B2 U0 G2	8,475	B2 U0 G2	6,925	B1 U0 G2	8,475	B2 U0 G2

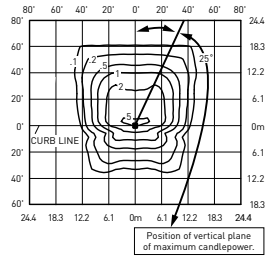
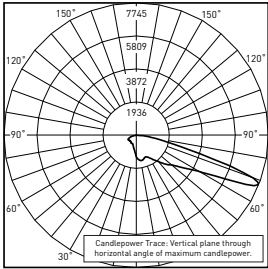
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

XSPW™ LED Wall Mount Luminaire

Photometry

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/wall-mount/xsp-series-wall>

4ME



RESTL Test Report #: PL14415-001A
 XSPW-B-**-4ME-8L-40K-UL
 Initial Delivered Lumens: 8,763

XSPW-B-**-4ME-8L-40K-UL
 Mounting Height: 15' (4.6m) A.F.G.
 Initial Delivered Lumens: 8,475
 Initial FC at grade

Type IV Medium Distribution								
Lumen Package	3000K		4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
2L	2,490	B1 U0 G1	2,490	B1 U0 G1	2,490	B1 U0 G1	2,490	B1 U0 G1
4L	4,270	B1 U0 G1	4,270	B1 U0 G1	4,270	B1 U0 G1	4,270	B1 U0 G1
6L	6,100	B1 U0 G2	6,100	B1 U0 G2	6,100	B1 U0 G2	6,100	B1 U0 G2
8L	8,475	B1 U0 G2	8,475	B1 U0 G2	6,925	B1 U0 G2	8,475	B1 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

182' (VERIFY)

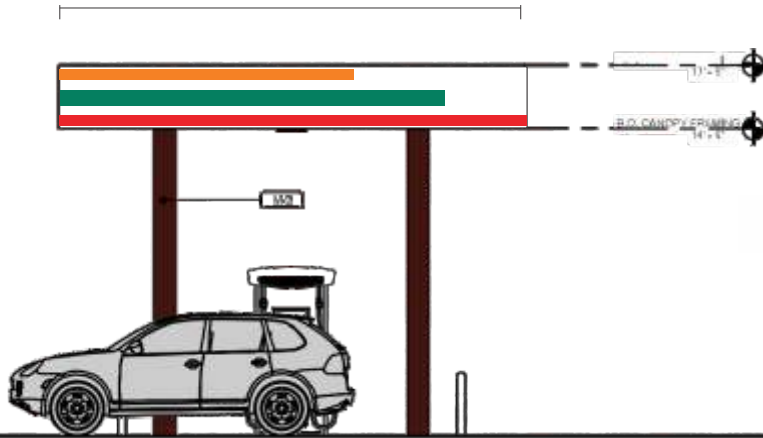
7-ELEVEN

FRONT (FACING STATE HWY. 205) - ILLUMINATED LETTERS & STRIPES BY CUMMINGS

182' (VERIFY)

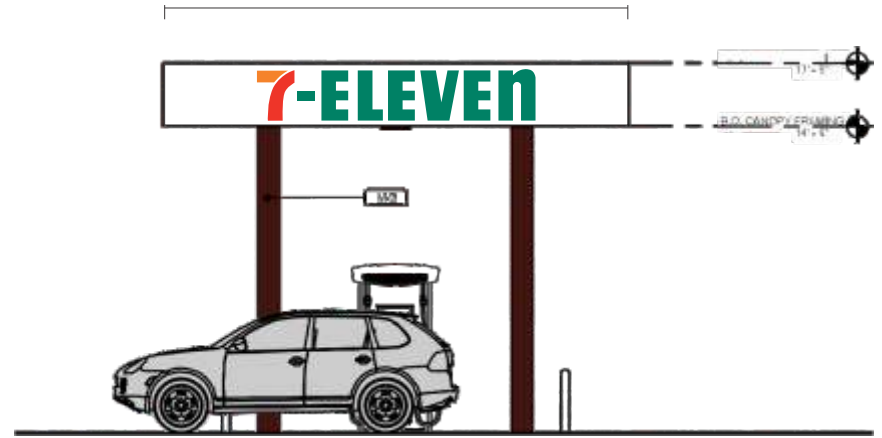
REAR (FACING STORE) - VINYL STRIPES BY OTHERS

20'



LEFTSIDE - VINYL STRIPES BY OTHERS

20'



RIGHT SIDE (FACING F.M. 49)
- ILLUMINATED LETTERS BY CUMMINGS



10755 Sandhill Road, Dallas, TX 75238, 214.343.9400, dimensiongrp.com
ARCHITECTURE • CIVIL ENGINEERING • MEP ENGINEERING • PLANNING

August 3, 2021

Re: 7-Eleven # 1049078
Site Plan - (SP2021-021)
4949 S. Goliad Street
Rockwall, TX 75032

Site Plan Comment Response-

Planning:

I.1 Noted

I.2 Noted

M.3 Case number (SP2021-021) added to plans.

I.4 Noted

M.5 Updated signature block added the landscape and treescape plans.

I.6 Noted

I.7 Noted

M.8

1. RTU's dashed in on updated elevations. RTU's are fully screened on roof.
2. Building setback labels updated on site plan.
3. Ice machine, propane exchange cage, nitrogen and CO2 tanks labeled on site plan. Dimensions for covered areas are included.
4. Dumpster enclosure updated on elevation to match stie plan.

M.9 Noted, signature block updated on landscape plan.

M.10 Noted, signature block updated on tree disposition plan.

720.536.3180

www.dimensiongrp.com

5600 South Quebec Street, Suite 310B, Greenwood Village, CO, 80111



10755 Sandhill Road, Dallas, TX 75238, 214.343.9400, dimensiongrp.com
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M.11

1. Lighting level was reduced at the property line to be 0.2 foot-candles at all locations.
2. Cut sheets for canopy lighting are provided.
3. Mounting height indicated on plans. Proposed height is 18-ft and does not exceed 20-ft maximum height.

M.12

1. RTU's dashed in on updated elevations. RTU's are fully screened on roof.
2. Noted, locations are included on site plan.
3. Noted, this is indicated on the exterior elevations.
4. Dumpster enclosure elevation updated to be 8-ft tall.

Variances:

A variance request letter indicating proposed variances and compensatory measures is included in this resubmittal package.

I.13 Noted

I.14 Noted

M.15 Noted, hard copy and USB included with resubmittal.

I.16 Noted

I.17 Noted

I.18 Noted

Engineering:

M.1 Driveway spacing revised to be 425-ft per TxDOT Standard

I.2 Informational comments will be addressed when submitting engineering plans.

Fire:

I.1 Noted, we will address this comment with engineering plans.

GIS:

I.1 Noted

720.536.3180
www.dimensiongrp.com

5600 South Quebec Street, Suite 310B, Greenwood Village, CO, 80111



10755 Sandhill Road, Dallas, TX 75238, 214.343.9400, dimensiongrp.com
ARCHITECTURE • CIVIL ENGINEERING • MEP ENGINEERING • PLANNING

August 3, 2021

To: City of Rockwall
Planning & Zoning Commission
385 S. Goliad Street
Rockwall, TX 75087

Re: 7-Eleven #1049078 (SP2021-021)
4949 S. Goliad Street
Rockwall, TX 75032
Variance Request Letter

The following letter is provided to request variances and identify the offsetting compensatory measures for the proposed 7-Eleven located at 4949 S. Goliad Street (SP21-0021). We are respectfully requesting the following variances to the City of Rockwall Unified Development Code:

1. Roof Design – All structures less than 6,000 sf building footprint require a pitched rood system.
2. Utility Placement- All overhead utilities within any overlay district shall be placed underground.

To offset these variances, we are providing the following compensatory measures:

1. Increased landscape buffer along FM 549 from 10-feet to 20-feet per ARB recommendation.
2. Increased parking lot landscaping to nine (9) percent (5 percent minimum).
3. Increased natural stone on exterior elevations to 35% of total area.
4. Increased awnings provided on building façade.
5. Increased glazing area (faux windows on rear elevation).

The additional landscaping and architectural elements aim to offset the lack of a pitched roof by enhancing the aesthetics of the site and building. Additionally, the overhead utility lines fronting the site along Hwy 205 will need to be relocated with the future TxDOT roadway expansion. Moving this portion of the line underground could complicate the future relocation of the utility. Therefore, we would like to leave the lines in the current location until this expansion occurs. We have reached out the utility owner to begin coordination but have not received a response at the time of writing this letter.

Thank you for your consideration and we appreciate your assistance with this matter.

Sincerely,

Keaton Mai, PE
Director of Civil Engineering

214.343.9400
www.dimensiongrp.com
10755 Sandhill Road, Dallas, TX 75238